



LAND INFORMATION MEMORANDUM

181 TIROHANGA ROAD TIROHANGA

Produced by Hutt City Council

23/12/2025

Statement of Passing Over Information

This information has been supplied by the vendor or the vendor's agents. Professionals, Redcoats Limited is merely passing over this information as supplied or researched by us. We cannot guarantee its accuracy and reliability as we have not checked, audited, or reviewed the information and all intending purchasers are advised to conduct their own due diligence investigation into this information.

To the maximum extent permitted by law we do not accept any responsibility to any party for the accuracy or use of the information herein.



Reference: LIM251590

A D Gray
181 Tirohanga Road
TIROHANGA 5010

Dear David Gray,

Land information memorandum for 181 Tirohanga Road TIROHANGA 5010

Please find enclosed your land information memorandum (LIM).

The LIM contains information Hutt City Council holds on record about the property and is required to provide in accordance with the requirements of section 44A of the Local Government Official Information and Meetings Act 1987, together with information it considers is relevant.

This LIM Report is an accurate representation of the information held on file and has been provided in good faith. It is not the result of any site visits. If you are unsure of what you are looking for, or how to read your LIM report, it is recommended you have your lawyer check it over with you.

While every care has been taken to ensure the information is correct, its accuracy cannot be guaranteed as third parties may have provided some of the details. Please also bear in mind the age of the building in assessing the comprehensiveness of this LIM. The older the building is, the greater the likelihood that alterations may have been made to it without the council having been informed, or that council's archives do not record the street address or legal description.

Hutt City Council accepts no liability for any errors in the report, in particular the exact location of property boundaries and private drains.

Other sources of information that may be of help include:

- Building inspectors: A building inspector can help to resolve questions about the building's structural soundness and the quality of workmanship. A register of independent building advisers can be found at the New Zealand Institute of Building Surveyors [website](#).
- Building consents and permits: More detailed information about building consents and building permits granted for work on the property can be viewed online for free using council's [Building Information Search](#) or at council's consents counter, 30 Laings Road, Lower Hutt.
- Council's plan for the city: The [Long Term Plan](#) outlines our priorities for the next 10 years, including what we plan to do. Council's [Annual Plan](#) is an operational look at the financial year ahead to ensure we're on track.
- The Proposed Lower Hutt District Plan was publicly notified on 6 February 2025. This is proposed to replace the current District Plan. The Proposed District Plan contains information, including new hazards and risks overlays, that may be relevant to this property. It is important to note that information from the Proposed District Plan has not been included in this LIM. Please refer to the District Plan section of this LIM for more information.
- Greater Wellington Regional Council: This council may hold information on the property. Ring 04 384 5708.
- Utilities: Electricity and gas companies may also hold information on the property.

Yours sincerely,
Rebecca Aumua
LIM Officer

Overview

PROPERTY ADDRESS

181 Tirohanga Road TIROHANGA

LEGAL DESCRIPTION

LOT 23 DP 72065 WN39B/272

VALUATION NUMBER

1610461100

LAND AREA

743 m²

DEPOSITED PLAN

See the attached deposited plan.

Contact Us

For any queries relating to a specific section of the LIM report, please refer to the contact details below.

Department	Phone	Email
Rates	04 570 6666	rates@huttcity.govt.nz
Building Consents, Permits and Weathertight Homes	04 570 6666	building.enquiries@huttcity.govt.nz
Resource Consent	04 570 6781	resource.consents@huttcity.govt.nz
Monitoring and Enforcement	04 570 6666	enforcement@huttcity.govt.nz
District Plan	04 570 6666	district.plan@huttcity.govt.nz
Plumbing and Drainage	04 570 6666	contact@huttcity.govt.nz
Inflow or Trade Waste	04 560 1092	tradewaste@huttcity.govt.nz
Road and Traffic	027 491 0395	transportlimsandbuildingconsent@huttcity.govt.nz
Encroachments	027 491 0395	encroachments@huttcity.govt.nz
Building Warrant of Fitness, Swimming Pool, Earthquake prone building	04 570 6666	compliancefollowups@huttcity.govt.nz
Environmental Health	04 570 6666	environmental.health@huttcity.govt.nz
Archives	04 570 6666	archives@huttcity.govt.nz
Flooding (Inundation, Alluvion, Avulsion)	04 912 4400	info@wellingtonwater.co.nz
Flood modelling	0800 496 734	info@gw.govt.nz
Contaminated Sites	0800 496 734	info@gw.govt.nz
Liquefaction and Ground Shaking	0800 496 734	info@gw.govt.nz

Property details

Type	Description
Suburb	Tirohanga
Ward	Western Ward
Rubbish Collection Day	Wednesday
District Plan – Activity Area	Medium Density Residential
District Plan – Flood Hazard Overlay	Inundation – Relevant. See Natural Hazard Section.
Tsunami Evacuation Zone	No Evacuation Tsunami Zone (Green Zone)
Exposure Zone (Sea spray)	NZS 3604:2011 – 4.2.3.2 Zone C: Medium
Wind Zone (Indicative only)	This land is in a very high wind zone in accordance with NZS 3604:2011.
Earthworks	Please see Archives Section
Geological and Nuclear Sciences 1:50,000 Soil Type	Deformed and indurated sandstone and mudstone.

1. Information about natural hazards that is required by section 44B

SECTION 44A(2)(A)

EROSION

Council holds no record of any erosion on the property.

CONTAMINATED SITES

It is recommended you check Greater Wellington Regional Council's [Selected Land Use Register \(HAIL database\)](#) to find out whether the property is recorded on the Selected Land Use Register (SLUR). If you have any questions please contact Greater Wellington Regional Council.

For further information, take a look at MFE's information <https://environment.govt.nz/facts-and-science/land/contaminated-land/>

WIND ZONE (INDICATIVE ONLY)

This land is in a very high wind zone in accordance with NZS 3604:2011.

FLOODING (INUNDATION, ALLUVION*, AVULSION)**

* The wash of the sea or of a river. **Sudden loss of soil from flood or from shift in course of stream.

Council holds no information about reported instances of flooding on the property.

Flood risk modelling investigations are being compiled for Lower Hutt suburbs, including Wainuiomata, Stokes Valley and more. Please see the Wellington Water rainfall flood risk website [Wellington Water Maps](#). If you are having trouble accessing this website, or require further information, please contact Wellington Water on 04 912 4400.

EXPOSURE ZONES

NZS 3604:2011 – 4.2.3.2 Zone C: Medium

SLOPE STABILITY (SLIPPAGE, FALLING DEBRIS, EROSION AND SUBSIDENCE)

Council does not hold any records showing slippage on the property.

Council records show landslip(s) has been recorded in the area. Please see below the Hazard Map for the location of the landslip(s). This information is considered relevant by the council as per Section 44A(3) of the Local Government Official Information and Meetings Act 1987.

Technical Report

1. Entity/person who commissioned the report	Hutt City Council
2. Purpose of the report	To identify areas in the Hutt City district that are susceptible to slope failure, for the purpose of informing the Council on areas that may warrant particular controls in the District Plan in order to best manage slope stability issues in relation to land use planning and development.
3. Scope of the report	The report provides a district-wide appraisal of slope failure susceptibility in the Hutt City district. It includes a desk study and landslide susceptibility mapping. It provides an appraisal of the stability issues, and recommendations for measures to manage the effects of land instability hazards.
4. How to access the report	Slope failure susceptibility assessment
5. Title	Slope failure susceptibility assessment
6. Date	9 September 2021
7. Author	WSP New Zealand Limited

DISTRICT PLAN OVERLAY

This site is identified in the Flood Hazard Inundation overlay of the City of Lower Hutt District Plan. The District Plan imposes additional rules on subdivision, land use and development to sites identified by the overlay, including standards on minimum floor heights for new buildings and extensions to existing buildings.

More information is available in [Chapter 14H: Natural Hazards](#) of the District Plan

EARTHQUAKE HAZARDS

Information relating to liquefaction, ground shaking, active faults and slope failure can be found on Greater Wellington Regional Council's website

TSUNAMI

The property is not in a tsunami warning zone.

The zoning is based on a report compiled in 2016 entitled Hydrodynamic Inundation Modelling. To see the report, go to <https://wremo.nz/hazards/tsunami>

Hazard information

Greater Wellington Regional Council holds information on natural hazards relevant to the region. Greater Wellington's hazard information has been developed to help the public, local authorities and others manage risk and make informed decisions about their exposure to natural hazards.

Please note this information has been produced at a range of scales and may not be property specific. Local Council District Plans may hold more detailed hazard information and rules on how they are applied in your area. This information is periodically updated as new studies and modelling is carried out.

- Fluvial (river) flood hazard
- Coastal flood hazard
- Tsunami hazard
- Wildfire hazard
- Seismic hazard

<https://www.gw.govt.nz/your-region/emergency-and-hazard-management/lim-hazard-information/>

<https://gwrc.maps.arcgis.com/apps/instant/sidebar/index.html?appid=75aa3e03d9774863beb914805732f312>

Climate change has the potential to exacerbate some of these hazards. More information about future changes to the regional climate can be found on the Greater Wellington website:

<https://mapping1.gw.govt.nz/gw/ClimateChange/> and

https://mapping1.gw.govt.nz/GW/ClimateChange_StoryMap/#

Please contact Greater Wellington Regional Council at info@gw.govt.nz for more information.

For information on fluvial flood hazard please contact the Greater Wellington Regional Council's Flood Advisory Team <https://www.gw.govt.nz/your-region/emergency-and-hazard-management/flood-protection/flood-hazard-advice/>

Be prepared

If your home, or place of work is vulnerable to a natural hazard we advise that you are prepared, with enough supplies for 7 days and an effective emergency plan. For further guidance please visit the Wellington Regional Emergency Management Office for more information <https://www.wremo.nz/>. It is also recommended that you check that your insurance cover is appropriate for the hazards present.

2. Information identifying any special features or characteristics of the land concern.

SECTION 44A(2) (AA)

STREAMS/OPEN DRAINS

Any streams or open drains on the property are the responsibility of the property owner. This includes ensuring the water is free flowing, vegetation and erosion control, maintaining any retaining structures (or driveway culvert crossings) and fencing of the drain.

GEOLOGICAL AND NUCLEAR SCIENCES 1:50,000 SOIL TYPE

Deformed and indurated sandstone and mudstone.

OVERLAND FLOW

No overland flow complaints reported or investigated.

SECONDARY FLOW PATH

No information is currently available

3. Private and public stormwater and sewerage drains

SECTION 44A(2)(B)

Information on private and public stormwater and sewerage drains are shown on the underground services map attached.

COUNCIL MAINS POSITIONS

Council records show the stormwater drain discharges from the property.

The property is connected to council's sewerage system.

Council records indicate there is a council stormwater main on the property. Council has right of access to the main to undertake any work on it deemed necessary.

Council does not allow building over council mains or within council easements unless otherwise approved.

PRIVATE PLUMBING AND DRAINAGE

There are plans (below) showing private drains on the property, although council cannot guarantee their accuracy. Only digging on site can confirm the pipes precise position.

OTHER UNDERGROUND SERVICES

There are a number of services in Lower Hutt such as power and gas lines that are not owned or maintained by council. They may not be shown in the maps in this LIM Report. If you plan on digging on your property, it is recommended that you utilise the [BeforeUDig](#) service.

Note: Private drainage is the responsibility of the land owner up to and including the point of connection to the public sewer or drain.

INFLOW

The council inspected the property for stormwater entering sewer pipes on 5/3/2019 and found that it complied.

LATERAL PIPE REPLACEMENT PROGRAMMES

No information is currently available

TRADE WASTE

No information is currently available

4. Information council holds regarding drinking water supply to the land

SECTION 44A(2) (BB)

METERED WATER SUPPLY

Not Available

DRINKING WATER SUPPLY

The property is connected to council's potable water supply.

5. Information relating to any rates owing in relation to the land

SECTION 44A(2)(C)

The following rates are based on the capital value of the property at the start of the current financial year beginning 1 July 2025

Annual rates	\$6,269.75
Rates due and payable	\$0.00
Capital Value	\$960,000.00
Land Value	\$620,000.00
Rating Category	Residential - Dwelling houses

WARM GREATER WELLINGTON HOME INSULATION SCHEME

Greater Wellington Regional Council (GWRC) offers the Warm Greater Wellington home insulation scheme by way of voluntary targeted rate to help fund the cost of home insulation. In other words, GWRC fund a specific activity (eg, insulation) on behalf of an individual ratepayer because the activity meets council policy objectives as well as benefits the ratepayer. While the scheme is currently on hold for new applications, please email warm@gw.govt.nz to check if the property has an existing Warm Wellington funding attached to it.

6. Information concerning any consent, certificate, notice, order, or requisition affecting the land or any building on the land previously issued by the territorial authority (whether under the Building Act 1991, the Building Act 2004, or any other Act)

SECTION 44A(2)(D)

Note: if the land is part of a cross-lease title or unit title, consents and permits for the other flats or units may be included in this lim. If the land has been subdivided there may be consents and permits included that relate to the original property. It is recommended that the full property file is viewed and compared with the actual building and activities on the land to identify any illegal or unauthorised building works or activities.

SECTION 73 NOTICES

No information is currently available

RAPID BUILDING ASSESSMENTS

No information is currently available

FINANCIAL / DEVELOPMENT CONTRIBUTIONS

Financial and development contributions are relevant for recently subdivided land, new residential units or where there is further development of a site. If any financial or development contribution has not been paid, Council can recover outstanding amounts from a subsequent owner of the land.

RESOURCE CONSENTS

Below is a list of resource consents (if applicable) that the council has issued from 1991 onwards under the Resource Management Act 1991. If there are any conditions, please refer to the Property File. The applicant should satisfy themselves as to whether all conditions of resource consents for this property have been met. To obtain Resource Consent documents you can search online for free using council's [Property search](#). It is important you ensure that the consent has been acted on and that each of the consent conditions are complied with, within the allocated timeframe (where applicable) from the decision date. The decision date is the date the resource consent was granted. You will find the consent conditions listed in the decision document. For more information on resource consents, click [here](#).

For dispensations council issued under the Town and Country Planning Act 1953, see the planning file references in the archives section.

Consent Number	Description	Status	Decision Date
RCNRN19031991_01	Subdivision: Stage 1 Water Supply	Granted	19/03/1991

MONITORING AND ENFORCEMENT

A resource consent relates to a property, not its owner at the time the resource consent was granted. If a building or parcel of land is sold without having satisfied the conditions of a resource consent, it becomes the responsibility of the subsequent owner to arrange council inspections and ensure compliance with resource consent conditions. Work for which the council grants a resource consent must be largely complete within five years. For the first year, the council actively monitors a project. For the next four, it makes periodic checks. See the contact list to make inquiries about a property with an outstanding resource consent.

BUILDING PERMITS AND CONSENTS

The building card (also called "Building Permit Record" or "Drainage and Plumbing Register"), a copy of which is below, contains a list of all known building permits and building consents for the property up until the early 2000s, at which point the records were digitised. Borough councils may have issued some of these building permits before their amalgamation into Hutt City Council.

Below is a list of building consents (if applicable) issued from 1991 onwards, copies of the following are included in this section:

- Code compliance certificate (CCC)
- Floor plans
- Elevation drawings

Note: Building consents, and code compliance certificates came into existence with the passing of the Building Act 1991. Before then, councils issued only building permits. Building work carried out earlier than 1 July 1992 may quite legitimately have no code compliance certificate.

Consent Number	Approval Date	Description	CCC issued date
ABA211407	05/10/2001	Dwelling Alteration	17/07/2007
ABA960227	21/06/1996	Building of New Premises	27/01/1997

For further information and copies of pre-1991 permits that may not be included in this report but held on file, you can search online for free using council's [Property search](#).

Alternatively you can also order a copy of this information in electronic or hard copy format ([fees apply](#)):

- by phoning us on 04 570 6666/0800 HUTT CITY
- or sending an [email](#)
- or request in person from our team at the [council offices](#).

NOTICE TO FIX

No information is currently available

OWNER SUPPLIED INFORMATION

No information is currently available

CERTIFICATE OF ACCEPTANCE

No information is currently available

COMPLIANCE SCHEDULES (BUILDING WARRANT OF FITNESS)

No building warrant of fitness is needed for a single household residence unless it has a cable car. A building warrant of fitness is a statement from a building owner confirming that the specified system has been properly maintained.

If you're unsure or require further information, please click [here](#) or contact the council on 04 570 6948.

FENCING OF SWIMMING POOLS

Under the Building Act 2004 residential pools capable of holding a depth of water of 40cm (400mm) or more are required to have barriers that restrict access by unsupervised children under 5 years of age to protect them from drowning. All residential pools (other than small heated pools, such as spa pools and hot tubs that don't follow the acceptable solutions for small heated pools), must be inspected every 3 years. For further information, please see [Safety guidance for pool owners | Building Performance](#)

EARTHQUAKE PRONE BUILDING

The earthquake-prone building provisions of the Building Act 2004 do not apply to a building if it is used wholly or mainly for residential purposes unless:

- it is two or more storeys; and either
 - is a hostel, boardinghouse, or other specialised accommodation; or
 - contains 3 or more household units.

This building is therefore outside of the scope of the earthquake-prone building provisions of the Building Act 2004. For more information on current legislation please visit the Ministry of Business Innovation and Employment website <https://www.building.govt.nz/managing-buildings/managing-earthquake-prone-buildings/>

CO-SEISMIC SUBSIDENCE

For information on estimated subsidence of the valley floor during a Wellington Fault rupture, the GNS Science Report *Estimating co-seismic subsidence in the Hutt Valley associated with rupture of the Wellington Fault* is available to download from the following website <http://shop.gns.cri.nz/estimating-co-seismic-subsidence-in-the-hutt-valley-associated-with-rupture-of-the-wellington-fault>

DANGEROUS GOODS (FOR COMMERCIAL ONLY)

No information is currently available

HAZARDOUS SUBSTANCES (CONTAMINATED BUILDINGS)

No information is currently available

7. Information notified under section 124 of the Weathertight Homes Resolution Services Act 2006

SECTION 44A(2) (EA)

MATTERS RELATING TO THE WEATHERTIGHT HOMES RESOLUTION SERVICES ACT 2006

The Ministry of Business, Innovation and Employment has sent council no correspondence about the building(s) on the property as it relates to the Weathertight Homes Resolution Services Act 2006.

8. Information relating to the use to which the land may be put and any conditions attached to that use

SECTION 44A(2)(F)

Purchasers or those intending to develop the land should satisfy themselves that the land is suitable for any intended use or future development proposal. In addition to any site-specific limitations recorded below, general restrictions that apply across the region may be relevant to any development proposals on this property.

THE DISTRICT PLAN

The Resource Management Act 1991 requires Hutt City Council to prepare a District Plan to manage land use and development within its jurisdiction. It contains rules that may affect any development or land use you may be considering. Click [here](#) to view the District Plan online.

ACTIVITY AREA

The property is in the Medium Density Residential area of the city's District Plan.

For more information on the rules relating to this activity area please read the corresponding chapter of the District Plan. It should be read in conjunction with the plan's general and subdivision rules in chapters 11 and 14. (The full version of the District Plan can be found [here](#)).

SPECIFIC HEIGHT OVERLAY

No information is currently available

PROPOSED DISTRICT PLAN AND PROPOSED PLAN CHANGES

The District Plan is subject to ongoing monitoring and review throughout its lifetime.

There is a list of proposed changes and completed changes to the District Plan available [here](#).

The Proposed Lower Hutt District Plan was publicly notified on 6 February 2025. This is proposed to replace the current District Plan. The Proposed District Plan contains information, including new hazards and risks overlays, which may be relevant to this property. This includes coastal inundation, fault, flooding, liquefaction, tsunami, and slope assessment overlays. These overlays are nonspecific to any particular properties and are based on scientific information that will be subject to public consultation and a statutory process before they are finalised. It is important to note that information from the Proposed District Plan has not been included in this LIM. Please check the Proposed District Plan maps to determine how this property may be affected. The Proposed District Plan can be accessed [here](#).

HERITAGE BUILDINGS

The District Plan does not recognise there being any heritage buildings or structures on the property.

PROTECTED TREE

A covenant, resource consent condition or consent notice may protect vegetation. See the record of title and/or resource consent(s) for any information in this regard.

INFORMATION CONCERNING CAVEAT, BOND, ENCUMBRANCE, CONSENT NOTICE AND COVENANT

For any information concerning Caveats, Bonds, Encumbrances, Consent Notices or Covenants, please refer to the Record of Title for this property.

9. Information regarding the land which has been notified to council by another statutory organisation

SECTION 44A(2)(G)

No information is currently available.

10. Information regarding the land which has been notified to council by any network utility operator pursuant to the building act 1991 or building act 2004

SECTION 44A(2)(H)

Underground Services and District Plan maps are attached.

Please note: Height restrictions apply where overhead power lines cross the site. Works near water services utilities may require approval. Works near high-pressure Gas, Oil or LPG pipelines create risk of damage and must first be approved. Please contact the relevant Utility provider in your area for further information.

Any escape of gas or liquid from the pipelines is potentially dangerous and requires immediate action as soon as discovered (Dial 111 and ask for the Fire Service).

11. Other information relevant to the land

SECTION 44A(3)

RECORD OF TITLE INTERESTS

Please carefully check the property's record of title for any entry under section 74 of the Building Act 2004, or its predecessor section 36(2) of the Building Act 1991, as they relate to building on land subject to natural hazards, which may invalidate statutory natural disaster insurance. Clause 3(D) of the Earthquake Commission Act 1993 states that in these circumstances the commission may decline a claim in whole or part.

ENCROACHMENTS

Council records show there is no road reserve encroachment licence relating to the property.

ISOLATION STRIP

Council records do not show any isolation strips barring access to a legal road.

PLANNED AND LONG-TERM ROAD WORKS

The council's long-term community plan does not list any road projects in the immediate area of the property.

VEHICLE CROSSING

Council records show that vehicle crossing(s) to the property are properly located and meet council construction standards.

ROAD RESERVE GARDENS

1. Authorised Road Reserve Gardens

Where a property owner has obtained formal approval from Hutt City Council to install and maintain a garden within the road reserve (the land between the private property boundary and the formed edge of the roadway), the ongoing responsibility for maintaining the garden rests with the current property owner. This responsibility continues with any subsequent property owner(s) in the event of a change of ownership.

Approval is granted on the condition that the garden is maintained to a standard that is safe, tidy, and does not obstruct pedestrian or vehicle access, visibility, or infrastructure.

2. Unauthorised Road Reserve Gardens – where officer consider the unauthorised gardens may remain

Where a property owner has planted a garden within the road reserve without prior approval from Hutt City Council, the responsibility for ongoing maintenance remains with the property owner. This responsibility also passes to new owners if the property is sold.

Should future owners not wish to assume maintenance responsibilities, they are required to reinstate the road reserve area to grass or an approved standard at their own cost.

3. Clarification of Responsibility

Property owners are encouraged to contact the Transport Maintenance and Renewals Team at Hutt City Council to confirm whether the area in question is the responsibility of the Council or the adjoining landowner, and to discuss approval requirements or reinstatement processes if applicable.

For enquiries, please contact: contact@huttcity.govt.nz

4. Restoration of Road Reserve Gardens Following Underground Service Works

When underground services are installed or maintained, any road reserve areas of private or public gardens that are impacted by the works will be reinstated to grass only. This includes the removal or disturbance of existing garden beds, plants, mulch, decorative features, or other landscaping elements, which will not be restored to their original condition. Instead, affected areas will be reseeded or covered with turf to establish a uniform grass surface.

NOISE CONTROL

Council has no record of having issued an abatement notice on the owner or occupant of the property for unreasonable noise under the provisions of section 322(1)(c) of the Resource Management Act 1991.

HEALTH ACT 1956 NOTICES

Council has issued no notices on the property under the provisions of the Health Act 1956.

LIQUOR LICENSING AND HEALTH REGISTRATIONS

Neither the Lower Hutt District Licensing Agency, or Alcohol, Regulatory and Licensing Authority has issued an alcohol licence for these premises.

OTHER LICENCES

There are no current licences recorded on this property. Further information regarding the Building Act 2004 and the Policy is available at Council.

1. Food Licences
2. Other Health Licences

NEIGHBOURING RESOURCE CONSENTS

The list below (if applicable) are neighbouring resource consents that have been applied for or granted within 50 metres of this property.

ARCHIVE FILE REFERENCES

Search Methodology

Council carries out searches of property-related files using the current street address, current and previous legal description (DP number) and any other search terms it can identify, such as owner or business names. Searches may exclude older files which have a greater likelihood of not recording the street addresses or legal descriptions.

In compiling your LIM document, the archives files may have been condensed to minimise the size of the document. If you want to view the complete, high resolution scan of the archive file it is available through our [website](#).

The Information Management Team has identified through their search of council archives that the following files may contain information about the property: Arch's 57712 and 80182 Subdivision files.

If you want to obtain a complete copy of an archive file, please contact the Information Management Team at the email address noted on the contact list at the top of the LIM report.

RUBBISH AND RECYCLING

Wednesday is the rubbish collection day for the property.

Every residential property in Lower Hutt has been provided with a red rubbish bin, a yellow recycling bin and blue glass crate. Households can also opt into receiving a green garden waste bin. Please visit our website for more information. If you have any enquiries, please call 04 570 6666 or email binchanges@huttcity.govt.nz.

Find out more about our bins, and what goes into them, on our website Too Good to Waste. Hutt City Council and councils in the Greater Wellington Region have partnered on a campaign to help support communities to reduce their waste. Please visit our joint council website and learn how to think differently about waste – from purchase to storage and transport, to reuse and repurpose so that we can work towards living lives that are waste free.

CAMPING GROUNDS

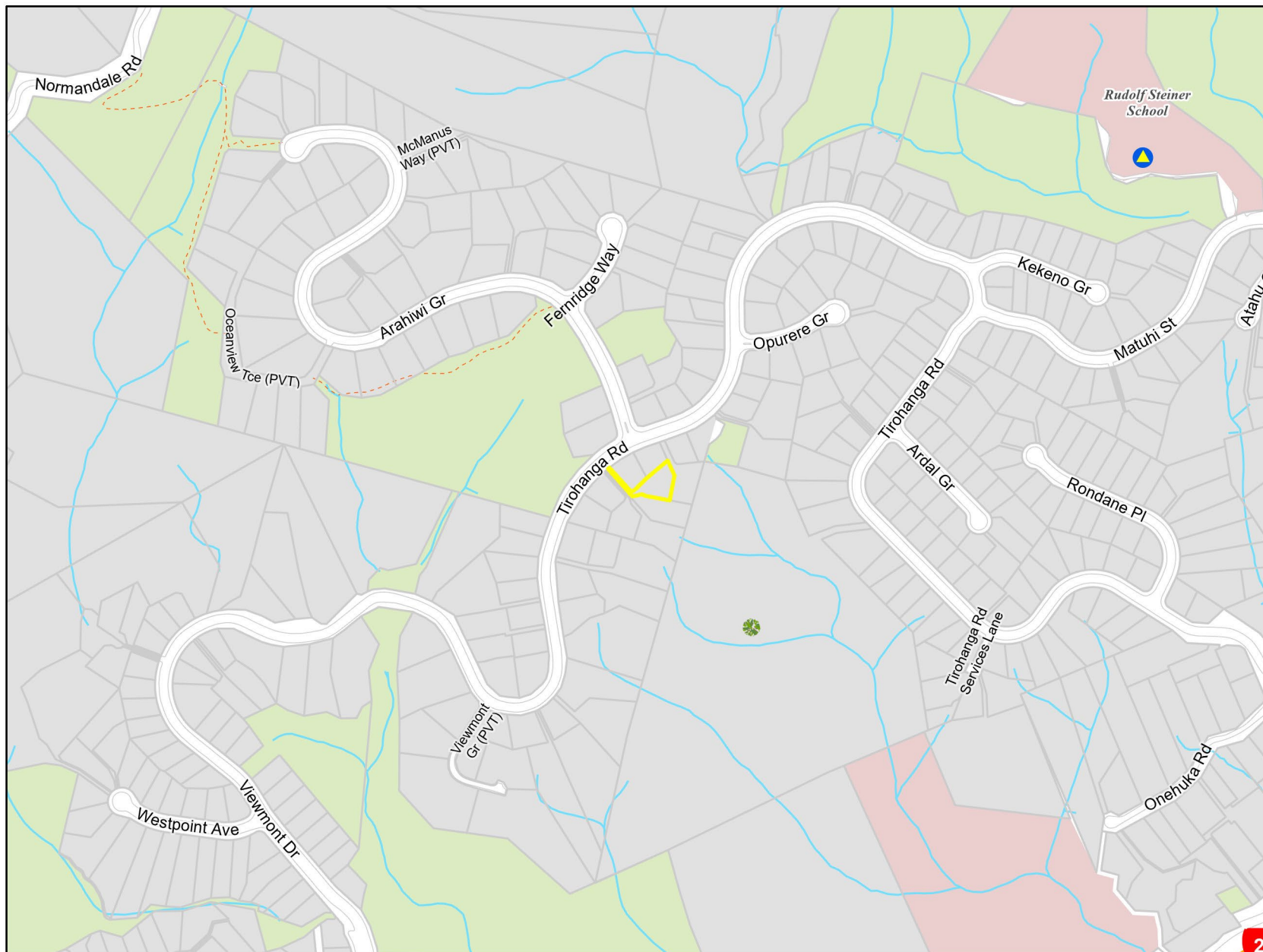
No information is currently available.

CULVERT DISCHARGES

No information is currently available.

The following pages contains maps showing:

Aerial (showing if applicable – LIM property, Easements, Contours, Reserves, Encroachments)
Underground Services
Hazards
District Plan
District Plan Overlay (if applicable)



- LIM Property
- Properties
- Schools
- Reserve
- Streams and Rivers
- State Highway
- Access Track
- ▲ Community Emergency Hub



LOCALITY MAP

Scale: 1:5,000



- LIM Property
- Contours
- Properties
- Easements
- Reserves



2025 AERIAL PHOTOGRAPH

Scale: 1:471

Although the information displayed has been prepared with care and in good faith, It is an information service and is designed to be illustrative only. The Council cannot guarantee the accuracy or completeness of the information and accepts no liability for any loss suffered as a result of reliance on the information. Parcel boundaries sourced from Land Information New Zealand data supplied under license to Hutt City Council. Crown Copyright Reserved.

Aerial photography flown in Jan-Mar 2021 and produced by AAM NZ Ltd for Hutt City Council and GWRC under the Creative Commons New Zealand Attribution v3.0 license. <http://creativecommons.org/licenses/by/3.0/nz/>



LIM Property

plumbing-ms

Properties

Privately owned assets

- Water Fixture
- Water Pipe
- Wastewater Pipe
- Storm Pipe

Council owned assets

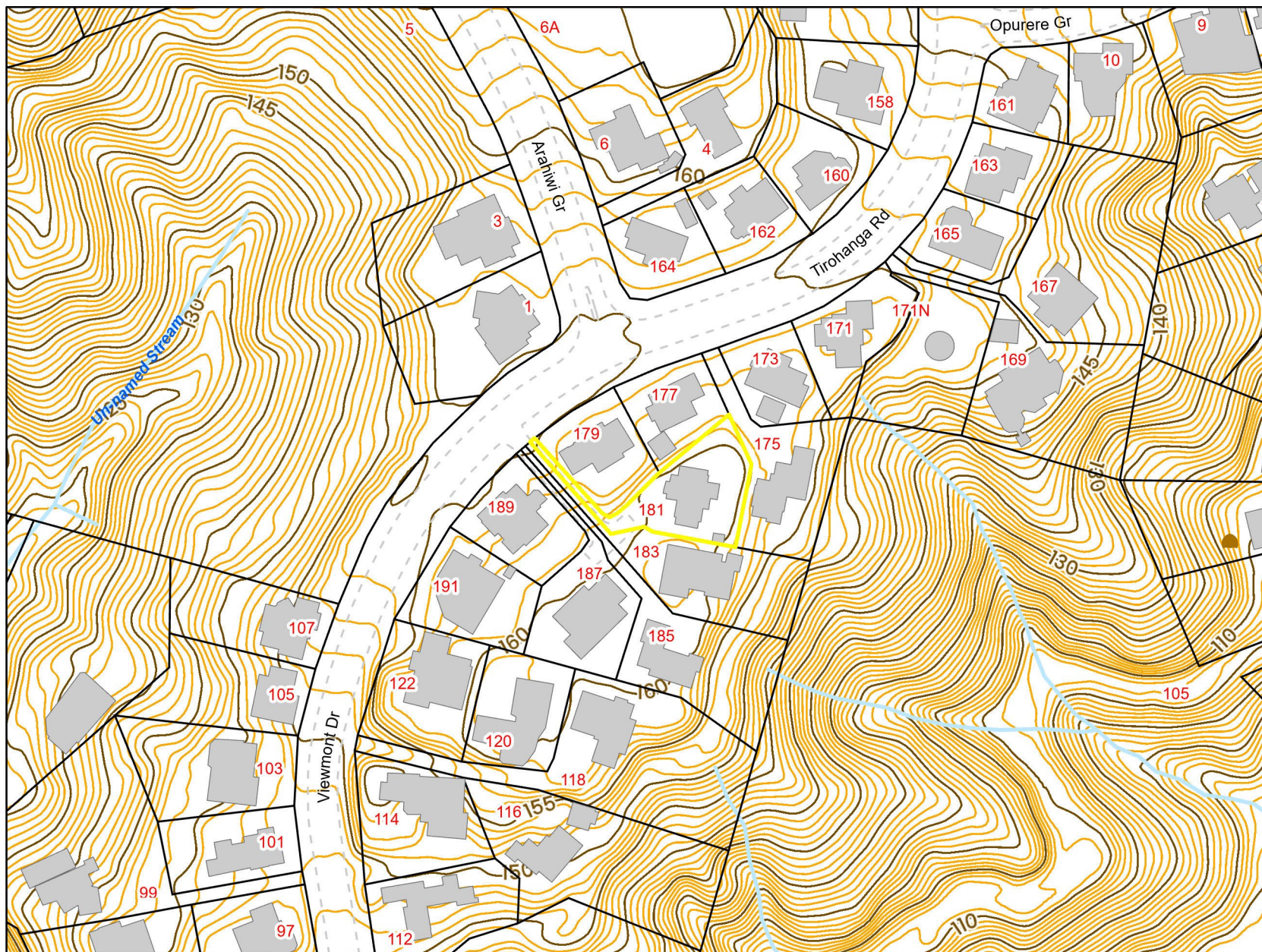
- Wastewater Fitting
- Stormwater Fixture
- Water Valve
- Water Pipe
- Wastewater Pipe
- Stormwater Pipe
- Service Connection
- HCC Water Pipes Private



UNDERGROUND SERVICES MAP

Scale: 1:471

Although the information displayed has been prepared with care and in good faith, It is an information service and is designed to be illustrative only. The Council cannot guarantee the accuracy or completeness of the information and accepts no liability for any loss suffered as a result of reliance on the information. Parcel boundaries sourced from Land Information New Zealand data supplied under license to Hutt City Council. Crown Copyright Reserved.



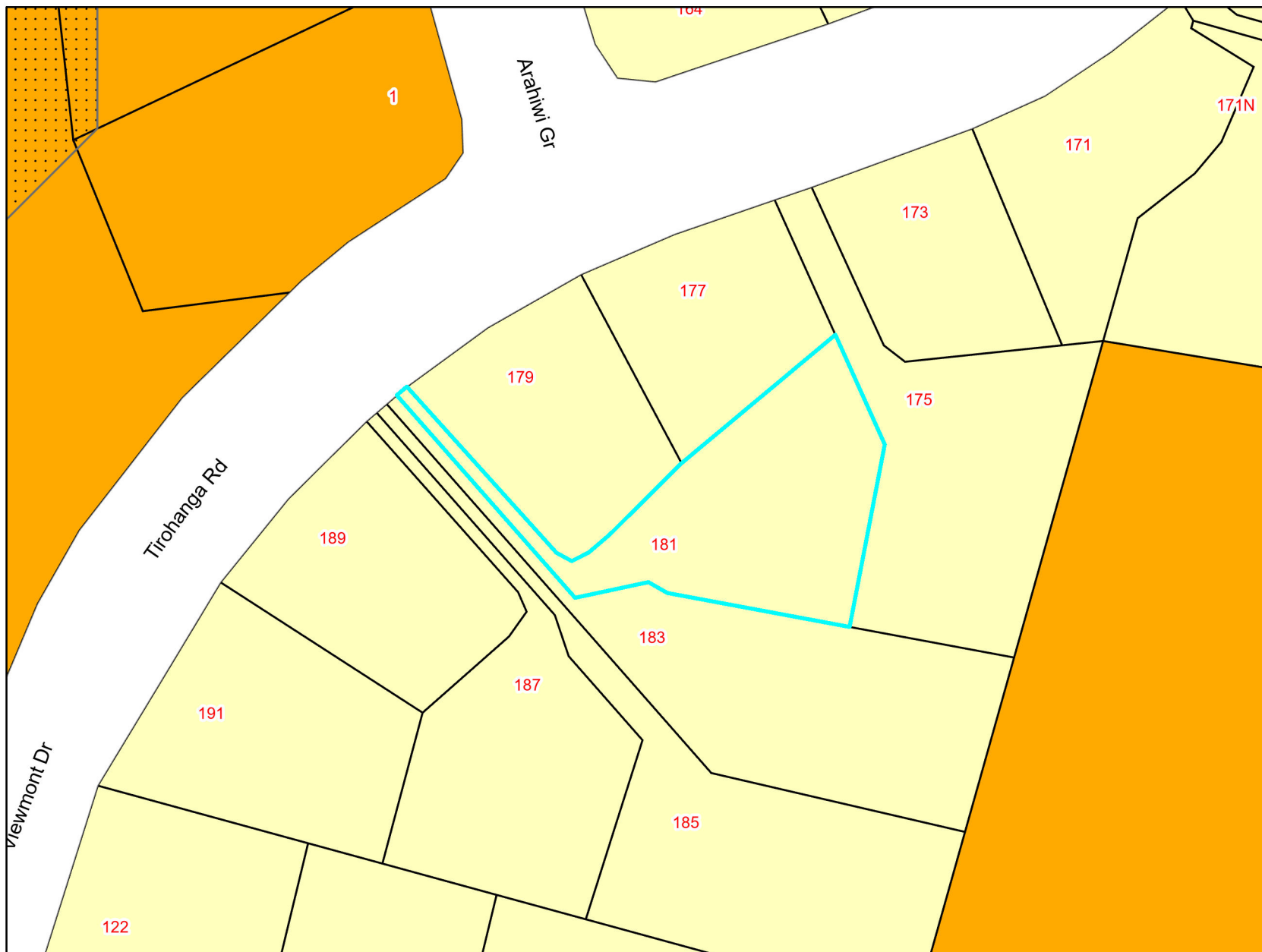
- LIM Property
- Contours
- Properties
- Building Outline (2025)
- Kerblines
- Water course
- HCC recorded landslip









HAZARDS MAP

Scale: 1:1,500

Although the information displayed has been prepared with care and in good faith, It is an information service and is designed to be illustrative only. The Council cannot guarantee the accuracy or completeness of the information and accepts no liability for any loss suffered as a result of reliance on the information. Parcel boundaries sourced from Land Information New Zealand data supplied under license to Hutt City Council. Crown Copyright Reserved.








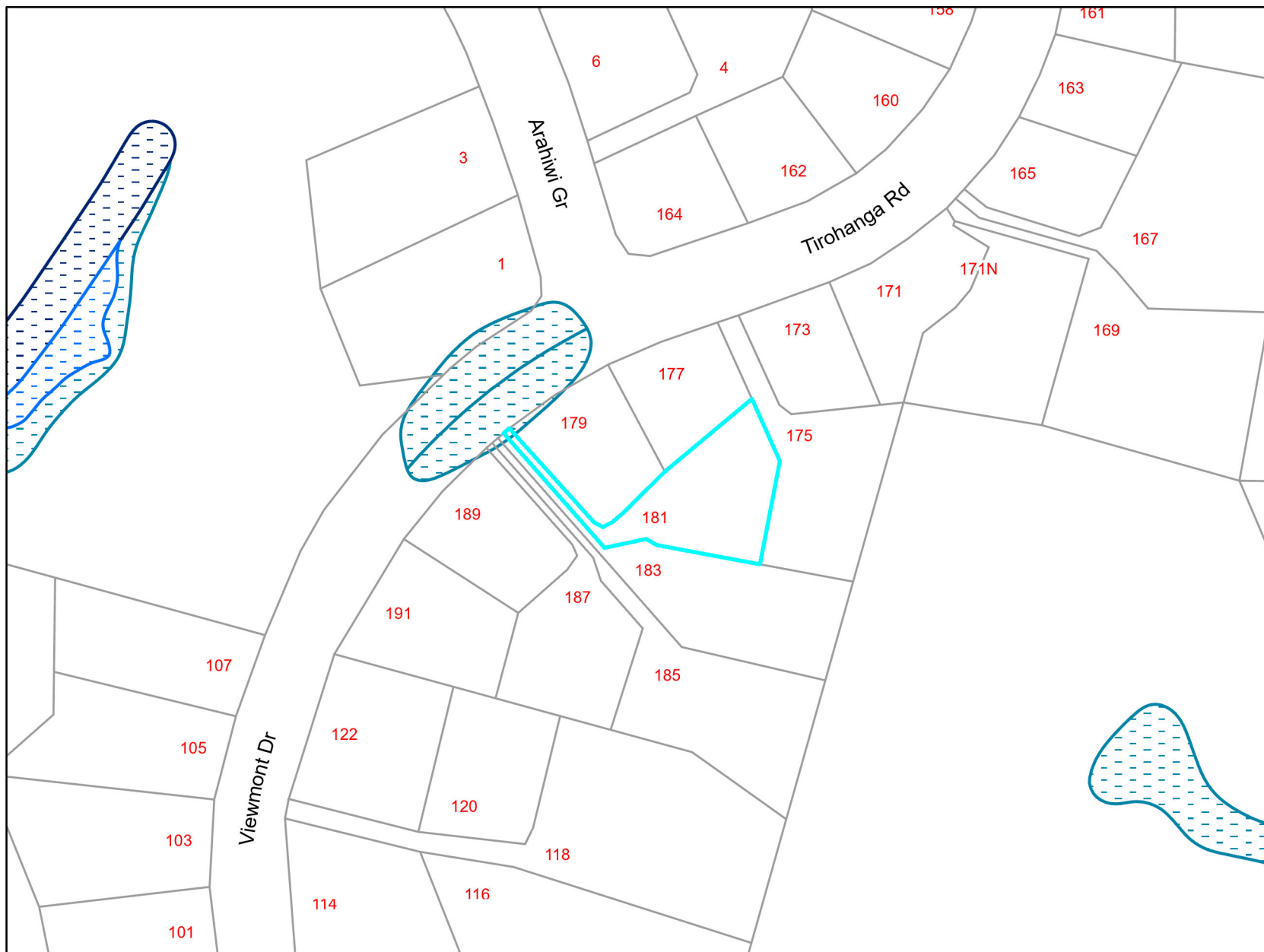
-  LIM Property
-  Properties
-  Significant Natural Resources
-  Road
-  Hill Residential
-  Medium Density Residential

DISTRICT PLAN

Scale: 1:681

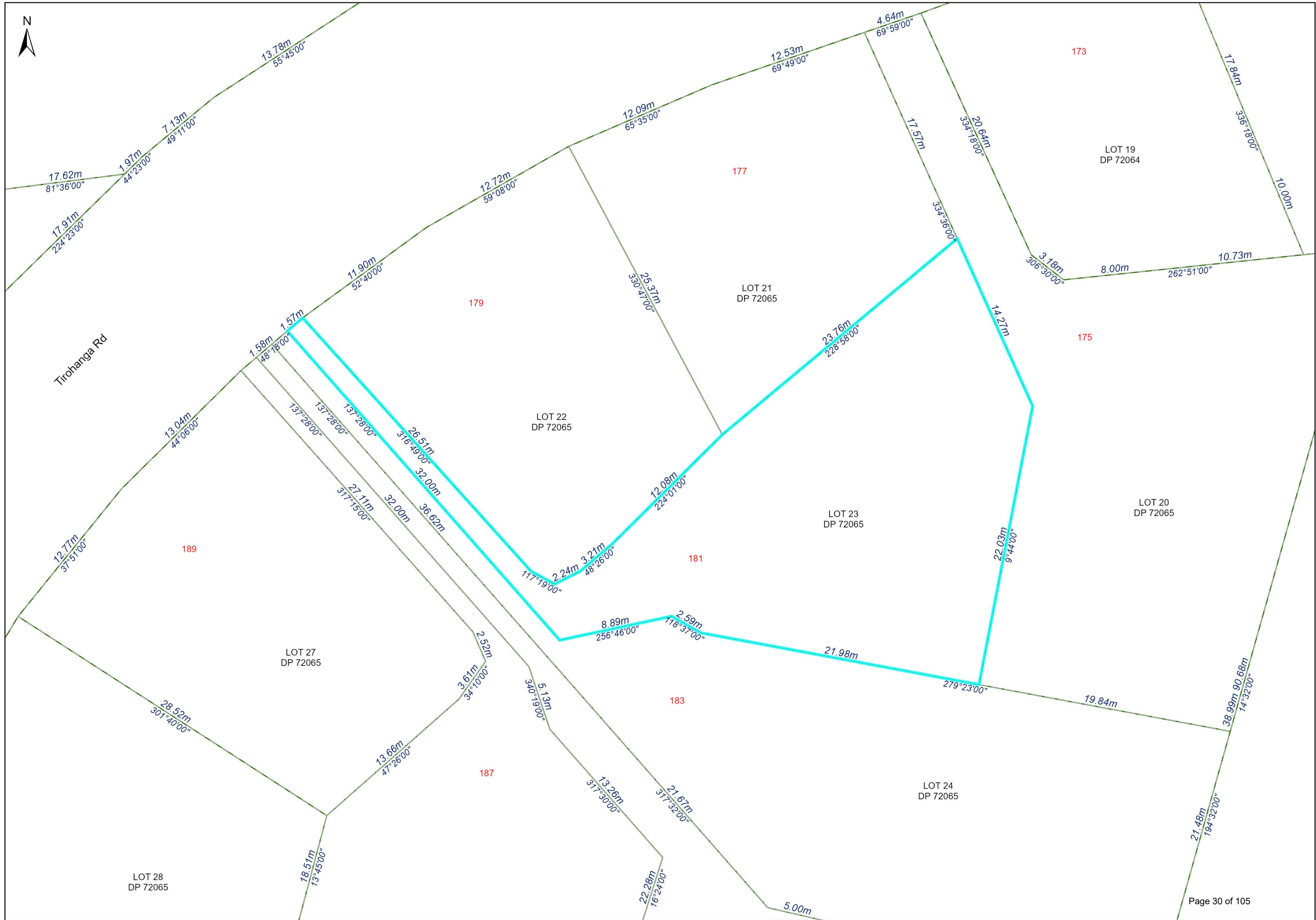


-  LIM Property
-  Properties
-  Overland Flow Path
-  Flood Inundation
-  Stream Corridor



DISTRICT PLAN: FLOOD HAZARD OVERLAY

Scale: 1:1,204



LOT 19
DP 72064

LOT 21
DP 72065

LOT 22
DP 72065

LOT 23
DP 72065

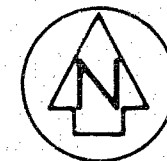
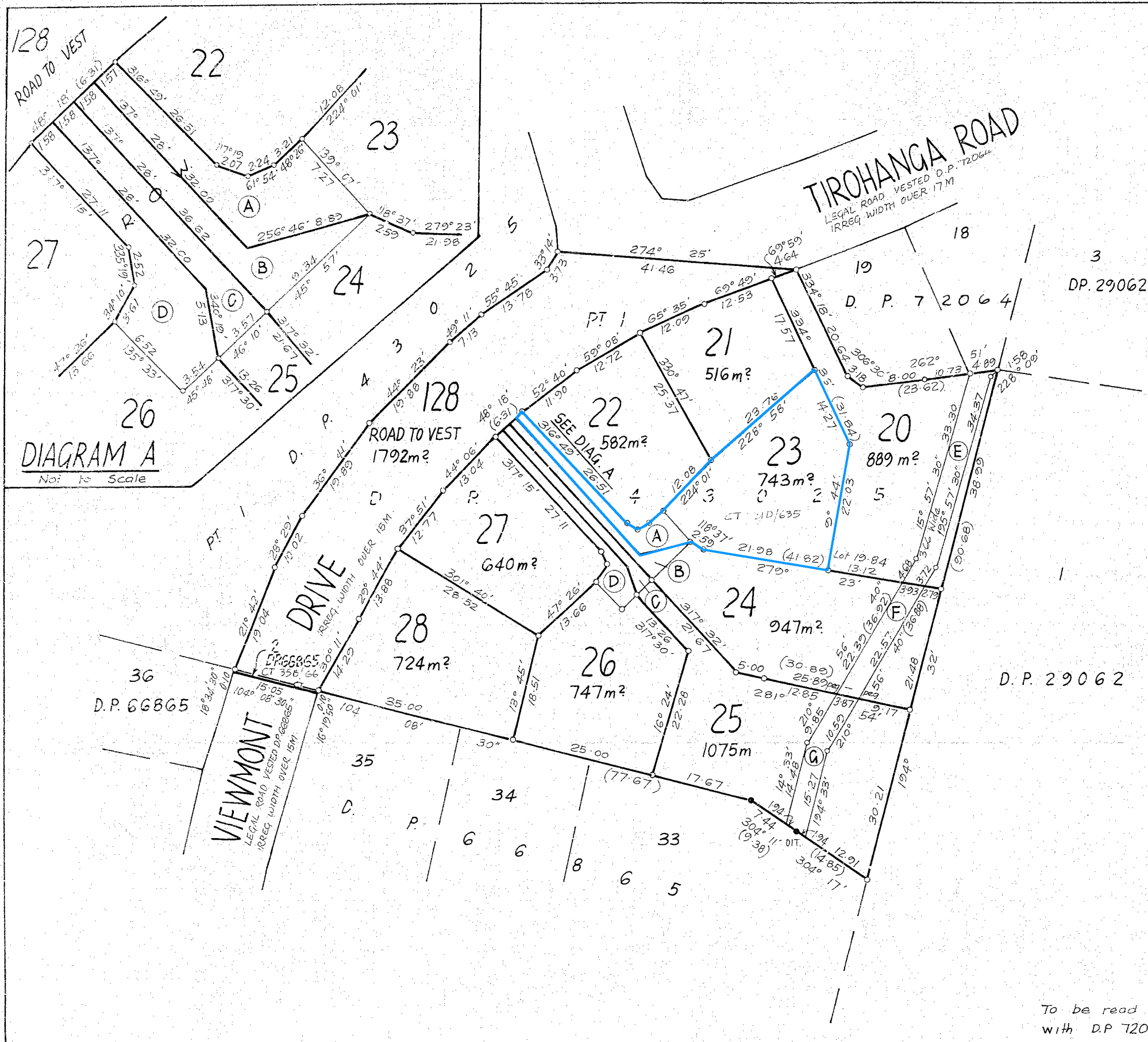
LOT 20
DP 72065

LOT 27
DP 72065

LOT 24
DP 72065

LOT 28
DP 72065

Tirohanga Rd



Approvals

REGISTERED PROPRIETOR

Pursuant to a resolution of the Lower Hutt City Council passed on the 11th day of February 1991 approving pursuant to section 306(1)(f) of the Local Government Act 1974 this survey plan condition 71 upon the granting or reserving of the easements shown in the memorandum endorsed hereon and certifying that the plan is in accordance with the requirements and provisions of the operative district scheme in force for the area to which the survey plan relates the common seal of the Lower Hutt City Council was affixed hereto in the presence of

City Secretary L.H.C.C.

Mayor

In the matter of Land Transfer Plan No 72062 and pursuant to Sec 306(1)(f) of the Local Government Act 1974, hereby certify that all the conditions shown on or referred to on the scheme plan of subdivision have been complied with to the satisfaction of the Lower Hutt City Council.

Dated at Wellington this 21st day of March 1991.

City Secretary L.H.C.C.

MEMORANDUM OF EASEMENTS				
SHOWN	PURPOSE	SERV. TEN.	DOM. TEN.	GRANTEE
A	RIGHT OF WAY	LOT 23	LOTS 24, 25, 26	
B	WATER, GAS, ELECTRICITY	LOT 24	LOTS 23, 25, 26	
C	SEWAGE & WATER	LOT 25	LOTS 23, 24, 26	
D	DRAINAGE	LOT 26	LOTS 23, 24, 25	
A	WATER & SEWAGE	LOT 23		LOWER HUTT CITY
B	SEWAGE	LOT 24		
C	DRAINAGE	LOT 25		
D	DRAINAGE	LOT 26		
A	TELEPHONE	LOT 23		TELECOM NEW ZEALAND LIMITED
B		LOT 24		
C		LOT 25		
D		LOT 26		
SCHEDULE OF EXISTING EASEMENTS				
SHOWN	PURPOSE	SERV. TEN.	GRANTEE	DOC.
E	WATER	LOT 20	LOWER HUTT CITY COUNCIL	T 757761
F	SUPPLY	LOT 24		
G		LOT 25		

Total Area 8655m²

Comprised in P.T. 399/577 P.T. CT 353/66 P.T. 111

I, Ian Murray, Practitioner
Registered Surveyor and holder of an annual practising certificate (or who may act as a registered surveyor pursuant to section 25 of the Survey Act 1986) hereby certify that this plan has been made from surveys executed by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof.

Dated at Wellington this 21st day of March 1991

Signature [Signature]

Field Book Reg 9 p. 3 Traverse Book 486 p. 89, 102
Reference Plans D.P. 66865, 22296, 22262, 23025, 71265, 28735, 22061, 72064
Examined P. Barry Correct [Signature]

Approved as to Survey

8.15.91

Chief Surveyor

Deposited this 26th day of JULY 1991

District Land Registrar

72065

File 20/170
Received 2/4/91
Instructions

LAND DISTRICT WELLINGTON

SURVEY BLK. & DIST. IX BELMONT

NZMS 261 SHT R27 RECORD MAP No 78-30, 79-30

LOTS 20-28 & 128 BEING SUBDIVISION OF LOT 2 D.P. 66865 & PT LOT 1 D.P. 43025.

TERRITORIAL AUTHORITY LOWER HUTT CITY

Surveyed by TRUEBRIDGE, CALLENDER, BEACH LTD.

Scale 1:500 Date JANUARY 1991



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy




R.W. Muir
Registrar-General
of Land

Identifier **WN39B/272**

Land Registration District **Wellington**

Date Issued 26 July 1991

Prior References

WN39A/577

Estate Fee Simple

Area 743 square metres more or less

Legal Description Lot 23 Deposited Plan 72065

Registered Owners

Gillian Margaret Gray, Archibald David Gray and Canterbury Trustees Limited

Interests

Subject to telecommunication rights (in gross) over part marked A on DP 72065 in favour of Telecom Wellington Limited created by Transfer B184675.3 - 26.7.1991 at 2.55 pm

The easements created by Transfer B184675.3 are subject to Section 309 (1) (a) Local Government Act 1974

Subject to sewage and water drainage rights (in gross) over part marked A on DP 72065 in favour of The Lower Hutt City Council created by Transfer B184675.4 - 26.7.1991 at 2.55 pm

The easements created by Transfer B184675.4 are subject to Section 309 (1) (a) Local Government Act 1974

Subject to a right of way and rights to gas, power and water supply, sewage and water drainage over part marked A on DP 72065 specified in Easement Certificate B184675.5 - 26.7.1991 at 2.55 pm

Appurtenant hereto are rights of way and rights to gas, power and water supply, sewage and water drainage specified in Easement Certificate B184675.5 - 26.7.1991 at 2.55 pm

The easements specified in Easement Certificate B184675.5 are subject to Section 309 (1) (a) Local Government Act 1974

Fencing Covenant in Transfer B548269.1 - 14.11.1996 at 11.14 am

11860459.3 Mortgage to ASB Bank Limited - 18.9.2020 at 11:54 am



Approvals

REGISTERED PROPRIETOR

Pursuant to a resolution of the Lower Hutt City Council passed on the 21st day of December 1991, and pursuant to section 226 of the Local Government Act 1974, the Surveyor General hereby certifies that this plan is in accordance with the requirements and provisions of the Operating District Scheme in force for the area to which the survey plan relates, and that the common goal of the Survey Plan has been achieved.

City Secretary L. G. O.
Mayor

In the matter of Land Transfer Plan No. 72062 and pursuant to Sec 226(1)(a) of the Local Government Act 1974, hereby certify that all the conditions shown on or referred to on the plan have been complied with to the satisfaction of the Lower Hutt City Council.

Dated at Wellington this 21st day of March 1991.
City Secretary L. G. O.

MEMORANDUM OF EASEMENTS			
PLAN	PURPOSE	SERVIENT	GRANTEE
A	RIGHT OF WAY	LOT 23	LOTS 24, 25, 26
B	WATER, GAS, ELECTRICITY	LOT 24	LOTS 23, 25, 26
C	SEWAGE & WATER	LOT 25	LOTS 23, 24, 26
D	DRAINAGE	LOT 26	LOTS 23, 25
A	WATER & SEWAGE	LOT 23	LOT 26
B	SEWAGE	LOT 24	LOT 26
C	DRAINAGE	LOT 25	LOT 26
D	TELEPHONE	LOT 23	LOT 26
E	TELEPHONE	LOT 24	LOT 26
F	TELEPHONE	LOT 25	LOT 26
SCHEDULE OF EXISTING EASEMENTS			
PLAN	PURPOSE	SERVIENT	GRANTEE
A	WATER	LOT 23	LOT 26
B	SEWAGE	LOT 24	LOT 26
C	SEWAGE	LOT 25	LOT 26
D	SEWAGE	LOT 26	LOT 23

Total Area ... 8,655 m²

Comprised in ... 27A/577

I, ...

Registered Surveyor and holder of an annual practising certificate for who may act as a registered surveyor pursuant to section 25 of the Survey Act 1980 hereby certify that this plan has been made from surveys executed by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof.

Dated at ... this 21st day of March 1991

Field Book ... Traverse Book ...

Reference Plans ...

Examined ... Correct

Approved as to Survey

S. 15/91

Deposited this ... day of ... 19 ...

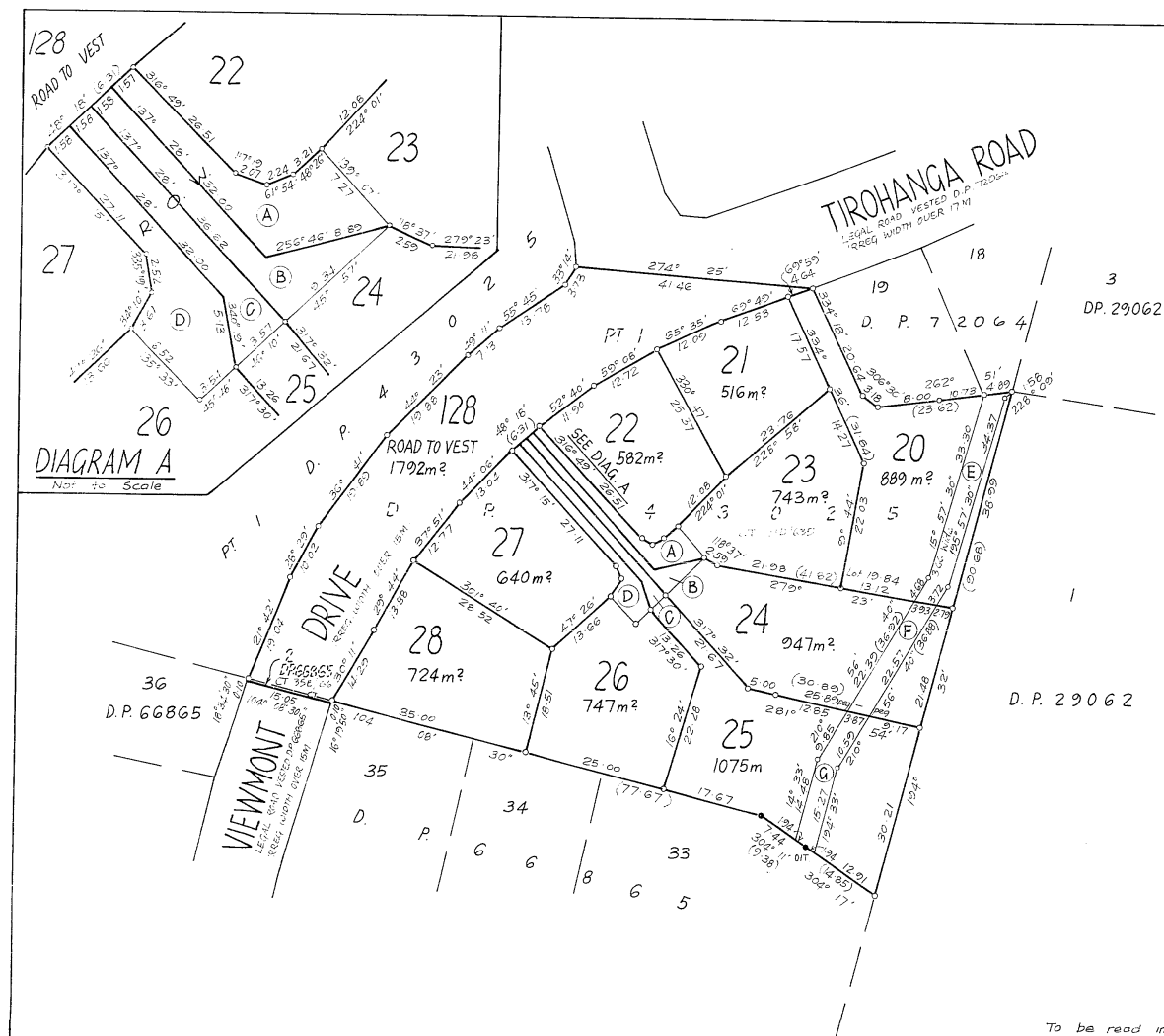
District Land Registrar

File 201170

Received 2/4/91

Instructions

72065



LAND DISTRICT ... WELLINGTON
SURVEY BLK. & DIST. IX BELMONT
NZMS 261 SHT. R27 RECORD MAP No 78-30, 79-30

LOTS 20 - 28 & 128 BEING SUBDIVISION OF
LOT 2 D.P. 66865 & PT LOT 1 D.P. 43025.

TERRITORIAL AUTHORITY LOWER HUTT CITY
Surveyed by TRUEBRIDGE CALLENDER BEACH LTD.
Scale 1:500 Date JANUARY 1991

PROJECTED BY THE SURVEYOR GENERAL

HUTT VALLEY 105

W. A. ROBERTSON, SURVEYOR GENERAL, DEPARTMENT OF SURVEY AND LAND INFORMATION, NEW ZEALAND

DOCUMENT CIRCULATION LIST

SUBDIVISIONAL PLAN FOR SEALING

APPLICANT:Fletcher ResidentialTirohanga SubdivisionDATE RECEIVED BY RECORDS:18-2-911. SENIOR PLANNER/DEVELOPMENT CONTROL

(for noting and comment)

As Memo - 305 only[Signature]
Signature21/02/91
DateDIVISIONAL MANAGER ROADING

(for comment, entering deposits/fees below and giving approval for Manager to certify plan)

OK CS 8.3.1991Plan Approved / Not Approved[Signature]
Signature8/3/91
DateADMINISTRATION OFFICER

(Ian Dunn) (for checking, comment, entering date of sealing authority and entering Reserves Contribution below)

OK [Signature]28-8-89

Date of Sealing Authority

<u>Deposits/Fees</u>	<u>Amount</u>	<u>Receipt No</u>	<u>Date</u>	<u>Details of Other Documents Undertaking etc. required (A.O. to complete)</u>
(Perusal Fee)	\$			
(Sealing Fee)	\$			
(Reserves Cont)	\$			
(Other-specify)				

CITY SECRETARY/SOLICITOR
(for signature & sealing)[Signature] 15.3.91
Signature DateHIS WORSHIP THE MAYOR
(for signature of approved certificates)[Signature] 18-3-91
Signature DateSTAFF SOLICITOR
(for completing action and notification to relevant planners of final approval)**FILE 5**[Signature] 19-3-91
Signature DateDOCUMENTS RELEASED TO:Truebridge
Callender
Beach Ltd
- Ian Practice[Signature]
Signature
19-3-91
Date

DEVELOPMENT & COMPLIANCE GROUP

Power, Duty or Authority Delegated	Authority for this Delegation	Delegated To	Sub-delegated To	Further Sub-delegation(s)
------------------------------------	----------------------------------	--------------	------------------	------------------------------

Temporary Buildings - Approval of
erection and location

Authority to approve the erection
and location of temporary buildings
and the completion of related legal
agreements.

Section 716 Local
Government Act 1974

Group Manager
Development and
Compliance

Divisional Manager
Technical Services

Exceptions and/or Qualifications to
this delegation:

Examples of related legal agreements

- (a) Infringement of building bylaws
- (b) Licensing public buildings

Town Planning

REF

Date 21/02/91

File no. RM20-05
01-T33F

Index no. 11 41

GENERAL MANAGER
GROUP MANAGER WORKS

Name Fletcher Residential

Street Tirohanga

Legal Description Pt 1 of 1 DP 43025 lot 2 DP 66865

The attached plan requires the following action:

1. Seal of Council
2. Execution of plan by His Worship the Mayor - approval under Section 305, Local Government Act 1974.
3. Execution of plan by City Manager - approval under Sections 305 and 306 (1) (f) (i), Local Government Act 1974.
4. Execution of plan by His Worship the Mayor and the City Manager - approval under Section 351, Municipal Corporations Act 1954, and Section 348 of Local Government Act 1974.
5. Execution of plan by His Worship the Mayor and the City Manager - approval under Section 348 of the Local Government Act 1974.
6. Approval as registered owner.
7. Return Plan to Surveyor.
8. Return Plan to Staff Surveyor.
9. Please supply the Staff Surveyor with an authenticated copy of the Council resolution to enable the registration of the Building Line Cancellation.

Notes:

305 only

Robert Hayles
SENIOR PLANNER DEVELOPMENT CONTROL

<standl>stdplans1
phrases - rh.ps1

**TRUEBRIDGE
CALLENDER
BEACH LTD** **tcb**

OUR REFERENCE:

YOUR REFERENCE:

12 February 1991

The City Manager
Lower Hutt City Council
Private Bag
LOWER HUTT

Attention Mr A. Sarniak-Thomson

[illegible]

RECEIPT No. 7/01 125
ISSUED FOR \$ 54 -
DATE 15/2/91

Original with
AIS Trng. for distribution

Dear Sir

RE: FLETCHER RESIDENTIAL LTD - TIROHANGA SUBDIVISION
LOTS 15-28, 111-115, 123 AND 128 BEING SUBDIVISION
OF PT LOT 1 DP 43025 AND LOT 2 DP 66865

We submit the above Land Transfer title plan transparencies for your Council's seal pursuant to Sec. 305 of the Local Government Act 1974 together with print copies for your records. Our cheque for \$54 (G.S.T. inclusive) being due payment of the sealing fee is attached.

We comment on the conditions of scheme plan approval as follows:

- i) The reserves to be vested will be set out on subsequent survey plans. However lot 123 will vest in Council as part of this survey.
- ii) Not applicable to this stage.
- iii) Right-of-Way easements shown in the Memorandum.
- iv) Part of lot 128 shown as road to vest.
- v) Our clients solicitor is currently in the process of having this redundant easement extinguished.
- vi) Complied with for Stage 2.
- vii) " " " " "
- viii) " " " " "
- ix) No adjustments for existing services are necessary for Stage 2.
- x) Easements for services shown in Memorandum.
- xi) Complied with for Stage 2
- xii) " " " " "

- xiii) Complied with for Stage 2.
- xiv) " " " " ".
- xv) Letters confirming their conditions have been met will be obtained from the H.V.E.B. and Telecom and forwarded to you under separate cover.
- xvi) We understand H.V.E.B. consulted your Council in respect of lighting.
- xvii) The compaction certificate for earthworks in respect of Stage 2 is enclosed herewith.
- xviii) Drainage and watermain 'As Built' plans are also enclosed herewith for approval by the City Engineer.
- xix) Complied with - report previously submitted.
- xx) We understand from previous discussions that further earthworks on the sections is now covered by your Council's earthworks bylaw and therefore submit that no agreement is necessary.
- xxi) We understand that this condition has been satisfactorily complied with at the time of Stage 1.

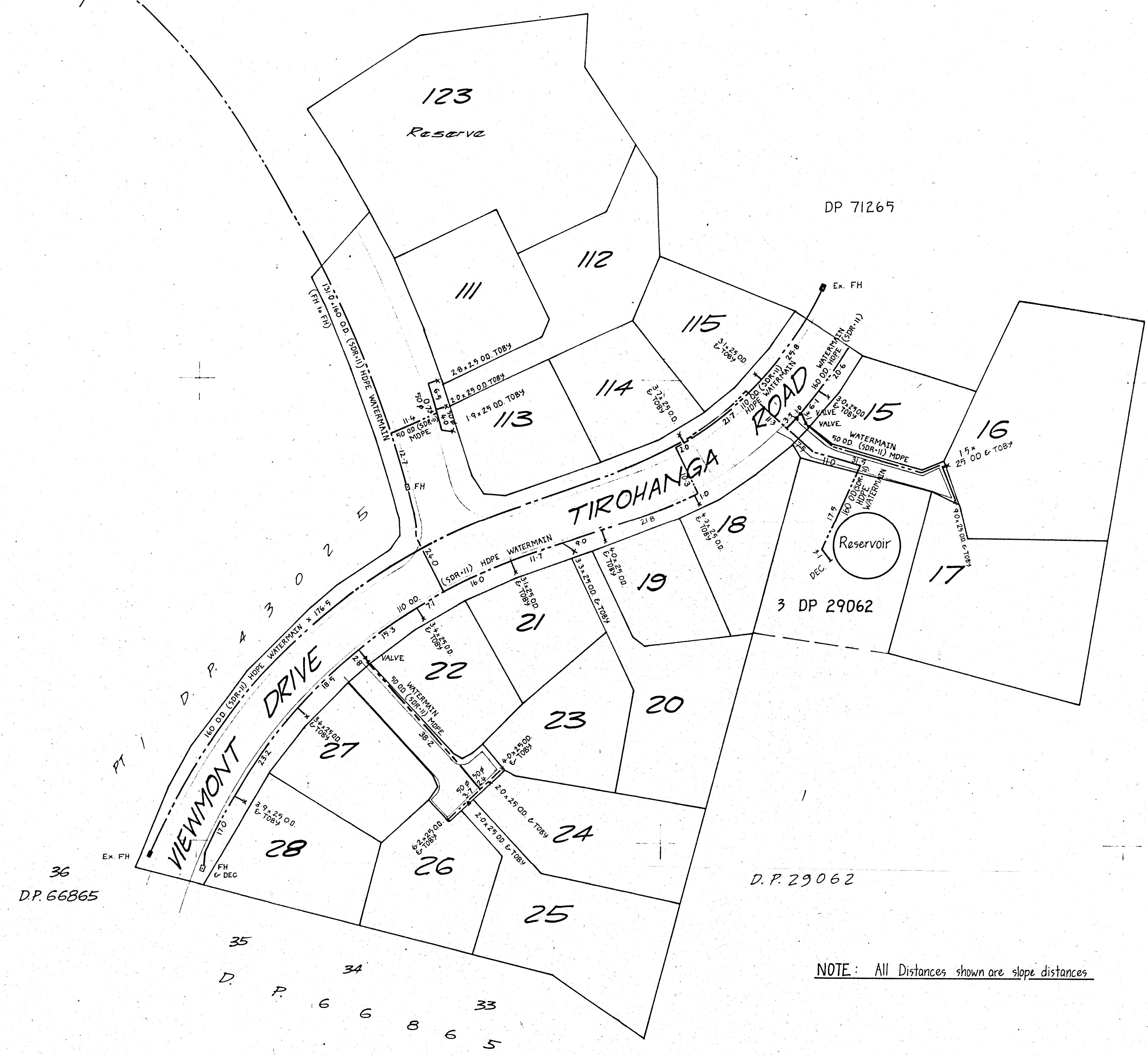
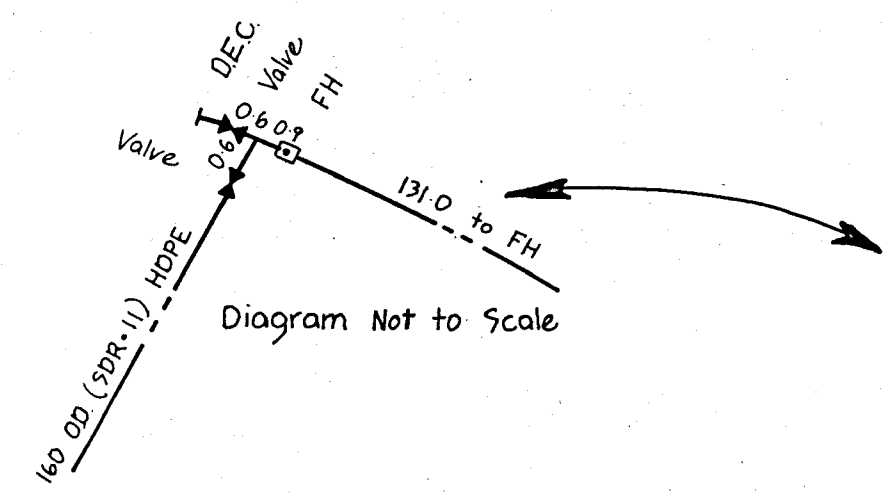
We also enclose a further copy of the title plan for your Council to execute the Sec.306 certificate in due course. In the meantime we look forward to securing the release of the plans executed with the Sec.305 certificate at the earliest opportunity.

Please note that Council will need to sign the plan, which includes lot 2 D.P. 66865, as owner, in the appropriate panel.

Yours faithfully
TRUEBRIDGE CALLENDER BEACH LTD


I.M. Prentice

Encl



FLETCHER RESIDENTIAL LIMITED

Page 40 of 105

Sam Lister
Environmental Services
332/7/1103
Vol 6

13 March 1991

Truebridge Callender Beach Ltd
PO Box 13142
JOHNSONVILLE

Attention: Mr Ian McBride

Dear Sir

FLETCHER RESIDENTIAL LTD
TIROHANGA - STAGE 1 SUBDIVISION WATER SUPPLY

On 12 March 1991 Mr Lister of my department spoke to you by telephone regarding the claim received from Fletcher Residential Ltd dated 17 October 1990 for work done on the Tirohanga subdivision water supply for the sum of \$13,582.80, excluding GST.

As discussed Council agreed to pay for the cost of extending the existing 150mm watermain in Viewmont Drive for the length along the subdivisional road as far as the Tee at the entrance to the right-of-way giving access to the reservoir and its connection was at the subdividers cost.

In this regard there are two items in the claim received which Council dispute:

1. item E12E - Locate and connect at Tirohanga Reservoir
\$550.00

This connection was carried out by Council at a cost of \$2,959.82 (as per attached account), and as agreed was at the subdividers cost. Both of the above costs should therefore be deducted from the claim.

2. item E12D - Locate and connect at FH in Viewmont Drive
\$550.00

This connection was also carried out by Council at Council's cost so should be deducted from the claim.

Other than the above mentioned items Council are in agreement with the remainder of the claim totalling \$9,523, excl GST.

2.

If you agree with these changes could you please arrange for Fletcher Residential Ltd to resubmit their claim for this amount and Council will give this payment its prompt attention.

Yours faithfully



P M Newman
WATER SUPPLY MANAGER

for GROUP MANAGER WORKS

PMN/sb

SURVEYORS • ENGINEERS • ARCHITECTS • PLANNERS • VALUERS

SURVEY HOUSE • 4 FRANKMOORE AVENUE • JOHNSONVILLE • WELLINGTON 4
P.O. BOX 13142 • JOHNSONVILLE • WELLINGTON 4
TEL. (04) 780-342 • FAX (04) 789-416

TRUEBRIDGE
CALLENDER
BEACH LTD

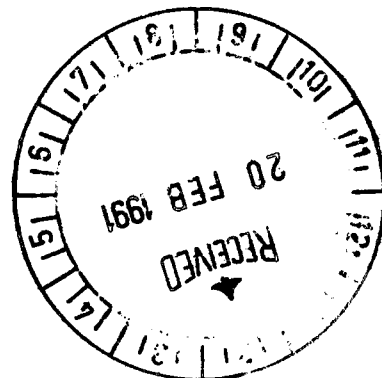
DIRECTORS: N.B. BEACH, JP, BE (Hons), MICE, MASCE, FIPENZ; I.C. LEVY, MIPENZ; K.C. CLARK, B Arch, ANZIA, A.M. SEYB, Dip Surv, MNZIS, LS (Brunel);
W.I. LOUDEN, MNZIS, LS (Brunel), LS (Sabah); G.D. WALKER, BE (Hons), BCA, MIPENZ; I.M. PRENTICE, BSc, MNZIS; R.B. O'CALLAGHAN, BE, Dip Hyd (Hons) (Delft) MIPENZ
CONSULTANTS: H.W. HUNTER, JP, FNZIS, ANZIV, MPPI; R.G.S. CALLENDER, MNZIS, MPPI; B.K. SHEARER, MNZIS, FPMI;

OUR REFERENCE: 89/167

YOUR REFERENCE:

18 February, 1991

The City Manager
Lower Hutt City Council
Private Bag
LOWER HUTT



Dear Sir

RE: FLETCHER RESIDENTIAL LTD - TIROHANGA SUBDIVISION
LOTS 15-28 AND 111-115
PT LOT 1 D.P. 43025 AND LOT 2 D.P. 66865

We refer to our letter dated 12 February 1991 submitting the Land Transfer title transparencies for Council's seal, and forward herewith the remaining information required under the scheme conditions to satisfy Sec 306 requirements.

1. Certification of bulk earthworks filling
(only Lots 26, 27, 28 involved)
2. Copies of letters from HVEBd and Telecom confirming satisfaction of their requirements.

It would be appreciated if the Sec 306 Certificate could be executed as soon as possible.

Yours faithfully
TRUEBRIDGE CALLENDER BEACH LTD

I.C. LEVY

- All work complete - as at 5/3/91
- Signed all Document Circulation List
[Signature]

REF	5/3/91	✓
FILE	✓	✓
ACALL		

SURVEYORS • ENGINEERS • ARCHITECTS • PLANNERS • VALUERS

SURVEY HOUSE • 4 FRANKMOORE AVENUE • JOHNSONVILLE • WELLINGTON 4
P.O. BOX 13142 • JOHNSONVILLE • WELLINGTON 4
TEL. (04) 780-342 • FAX (04) 789-416



DIRECTORS: N.B. BEACH, JP, BE (Hons), MICE, MASCE, FIPENZ; I.C. LEVY, MIPENZ; K.C. CLARK, B Arch, ANZIA, A.M. SEYB, Dip Surv, MNZIS, LS (Brunel);
W.I. LOUDEN, MNZIS, LS (Brunel), LS (Sabah); G.D. WALKER, BE (Hons), BCA, MIPENZ; I.M. PRENTICE, BSc, MNZIS; R.B. O'CALLAGHAN, BE, Dip Hyd (Hons) (Delft) MIPENZ
CONSULTANTS: H.W. HUNTER, JP, FNZIS, ANZIV, MPMI; R.G.S. CALLENDER, MNZIS, MPMI; B.K. SHEARER, MNZIS, FPMI;

OUR REFERENCE: **89/167**

YOUR REFERENCE:

18 February, 1991

The City Manager
Lower Hutt City Council
Private Bag
LOWER HUTT



REFERRED TO	Date	Initials	Action
1. R Alkema	21/2	La	↓
2. AS/Thompson			
3. R Gini	21/2	pm	O.K.

do we have call the results?
↓
Yes previous supplied.
Copy Sent to C.B.I.
h m

FILE ☒ CALL

Dear Sir

**RE: REPORT ON EARTH FILL ON PT LOT 1 D.P. 43025
AND PT LOT 1 D.P. 3283 - LOTS 15 TO 28 AND 111 TO 115
TIROHANGA ROAD DEVELOPMENT - FLETCHER RESIDENTIAL LTD**

In accordance with Condition (xvii) of the scheme approval dated 29 August 1989 we set out below the required certification of earth fills on the above lots. Please note that the certification is in respect of these lots only, even though the information supplied on the drawings and compaction result sheets extends beyond the lots. We will supply full certification progressively in respect of future lots at the time of submission of subsequent land transfer plans.

1. GENERAL

This is to certify that the earth fills shown on the attached Dwg 89/167 ST 2B has been placed in general compliance with the terms of NZS 4431 (1978).

Whilst the work was in progress I inspected the site from time to time. Engineering technicians under my overall direction carried out periodic inspections of the fill and made all the necessary tests to check the quality of the fill.

2. TESTS

Tests of the fill material were made as specified by Test 4.1.1 of NZS 4402: 1986. Insitu tests of the fill were made as specified by Test 5.1.1 NZS 4402: 1986 and the results obtained are attached hereto.

The attached Dwg 89/167 ST 2B shows that Lots 26, 27 and 28 are affected by filling, and the extent of the fill.

3. LIMITATIONS

In my opinion the following special limitations should be observed:

- (a) Dwellings built on the filling on these lots should be of timber frame construction supported on a continuous concrete foundation, have timber or similar lightweight cladding and be not more than two storeys in height, unless the foundations are designed by a Registered Engineer.
- (b) The foundation excavations should be taken down to firm material and not allowed to pond water.
- (c) Fill batters should not be excavated, or buildings erected on slopes equal to or steeper than 1 vertical to 2 horizontal unless the excavations or foundations have been designed by a Registered Engineer.

This certification that the earth fills have been placed in general compliance with the terms of NZS 4431 does not remove the necessity for the normal inspection and design of foundations as would be made in natural ground.

Yours faithfully
TRUEBRIDGE CALLENDER BEACH LTD



I.C. LEVY



NAME	DATE
MATT	
MATT	9/90

SURVEY HOUSE • 4 FRANKMOORE AVENUE
JOHNSONVILLE • WELLINGTON 4
P.O. BOX 13142 • JOHNSONVILLE • WELLINGTON 4
TEL 780-342 • FAX 780-416

TRUEBRIDGE
CALLENDER
BEACH LTD

tb

SURVEYORS • ENGINEERS • ARCHITECTS • PLANNERS • VALUERS

FLETCHER
RESIDENTIAL
LIMITED

TIROHANGA STG. 1

Soil Test Asbults

AMENDMENTS	INITIALS	DATE
A Additional Soil Tests Added	Matt	10/90
B Additional Soil Tests Added lot's 21 & 23	Matt	2/91
C		
D		
E		
F		

SCALES **1:500**

DRAWING NUMBER
89-167-ST 2^B

SHEET OF SHEET 2 OF 105

Ron Muir
Roading
332/7/1103 RM20/05 05/W56/F

12 February 1991

Truebridge Callender Beach Ltd
PO Box 13142
Johnsonville
WELLINGTON 4

Attention: Ivan Levy

Dear Mr Levy

MAINTENANCE REQUIREMENTS - TIROHANGA SUBDIVISION
FLETCHER RESIDENTIAL - STAGE I

I confirm our conversation of 7 February 1991 regarding the following points.

1. The \$500.00 bond paid by Fletcher Residential Ltd in September 1990 to cover some minor maintenance items on their Wise Street Stage 7 subdivision will be retained until a successful strike of hydroseed on the major cut batter on their Tirohanga Stage I Subdivision is achieved.

I note that the maintenance items on the Wise Street subdivision have now been rectified.

2. Any ongoing silt-control maintenance requirements due to runoff from the areas of cut & fill beyond the limits of the sections and roads formed in Stage I will, until the completion of Stage II, remain the responsibility of Fletcher Residential Ltd.
3. Similarly, any reinstatement work which may be required due to any deterioration of the small slip on the batter face of fill 2 will remain the responsibility of Fletcher residential Ltd. The area affected by this slip will need to be excavated and recompacted at the time work on Stage II is carried out.

Following our conversation, I referred to our file and noted that the earthworks report submitted in September 1990 provided certification only for the lots that had been completed at that time. I remind you that an updated report will be required to certify the lots currently approaching completion.

Yours sincerely



R Muir
SUBDIVISION ENGINEER

for GROUP MANAGER WORKS

RM/sm

Feb. 14 '91 15:21

1111 GIBSON SHEAT

TEL 64-4-694874

P. 1

GIBSON SHEAT

Barristers, Solicitors & Notary Public

Copy
RM 20-05
01-T33-F

FACSIMILE COVER SHEET

(Private Bag, Lower Hutt, DX 9008)
1 Margaret Street, Lower Hutt
Fax (04) 694-874 Telephone (04) 694-873

Date: 14/2/91 Time: Fax No: 694 290
URGENT ATTENTION: Mr Sarniak Thompson
To: Lower Hutt City From: Denise Wellington
Council Re: Tirohanga Subdivision
Client No: LHC862/37

We are transmitting 2 pages (including cover sheet).
If you do not receive all the pages, please call back as soon as possible.

MESSAGE

We refer to our fax of 7th February 1991. We attach a further
copy of the second page of the plan attached thereto



17 July 2007

Contact: G L Tipler
Group/Division: Inspection and Enforcement
Telephone: 04 570 6989
Facsimile: 04 579 6855
E.Mail: gary.tipler@huttcity.govt.nz
Our Reference: **BC 211407**

WMK Kariyawasam
181 Tirohanga Road
Tirohanga
LOWER HUTT 5010

Dear Madam / Sir

BUILDING CONSENT 211407 – 181 TIROHANGA ROAD TIROHANGA

Please find enclosed the Territorial Authority's Code Compliance Certificate concerning the above Building Consent.

There is a considerable emphasis on obtaining a Code Compliance Certificate under the Building Act 2004, which also places significant value on this certificate. Please ensure this is filed in a safe, retrievable archive, available for future reference.

Should you need to make a future enquiry, regarding this application, please quote the Building Consent number.

Yours faithfully

G L Tipler
BUILDING INSPECTIONS MANAGER



Hutt City Council, 30 Laings Road, Private Bag 31912, Lower Hutt, New Zealand
Tel: +64-4-570 6666, Fax: +64-4-569 4290, Web: www.huttcity.info

WINNER - 2002 New Zealand Performance Excellence Awards
WINNER - 2003 New Zealand Business Excellence Progress Award

Code Compliance Certificate

Section 43(3), Building Act 1991

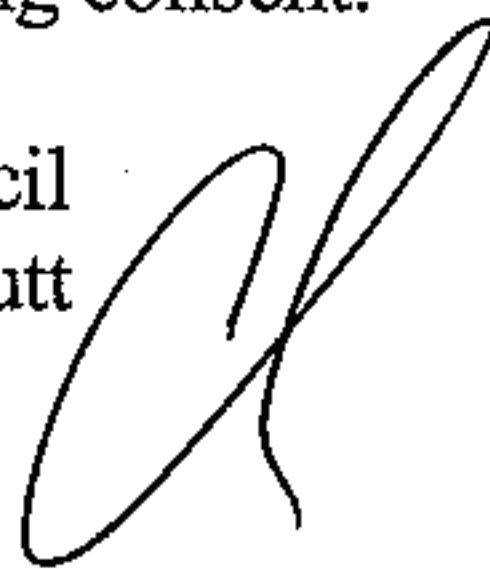
The Building	
Street address of building: 181 Tirohanga Road Tirohanga Building name: Level/unit number: Year first constructed:	Legal description of land where building is located: LOT 23 DP 72065 Location of building within site/block number: Current, lawfully established, use:
The Owner	
Name of owner: WMK Kariyawasam Mailing address: 181 Tirohanga Road Tirohanga LOWER HUTT 5010	Contact person: Email address: Website:
Building Work	
BC 211407	<i>Dwelling alteration</i>
Council Contact	
First point of contact for communications with the Council: <i>Building Inspections Manager, Phone 570 6666, Private Bag 31912 Lower Hutt.</i>	

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that —

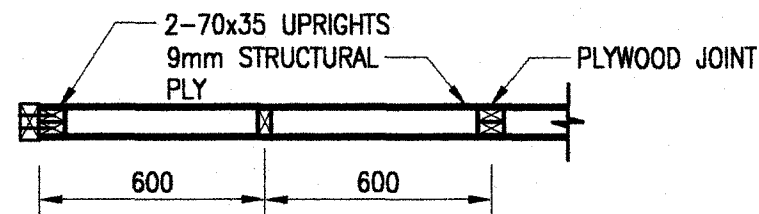
- (a) the building work complies with the building consent; and
- (b) the specified systems in the building are capable of performing to the performance standards set out in the building consent.

Issued by Hutt City Council
30 Laings Road Lower Hutt

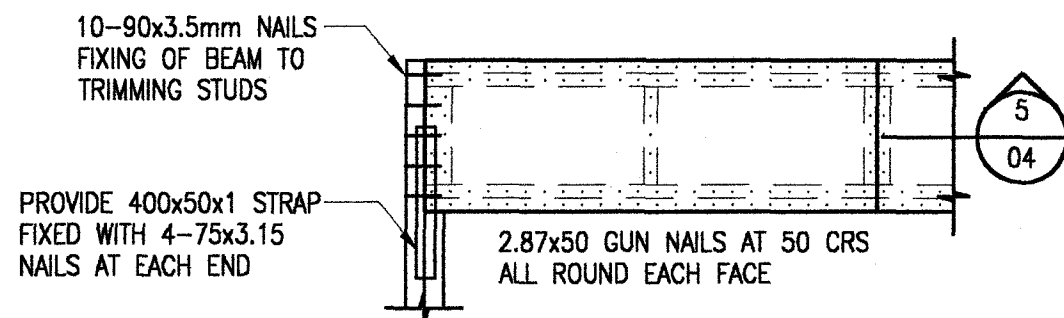


Date: 17 July 2007

Building Inspections Manager, on behalf of Hutt City Council

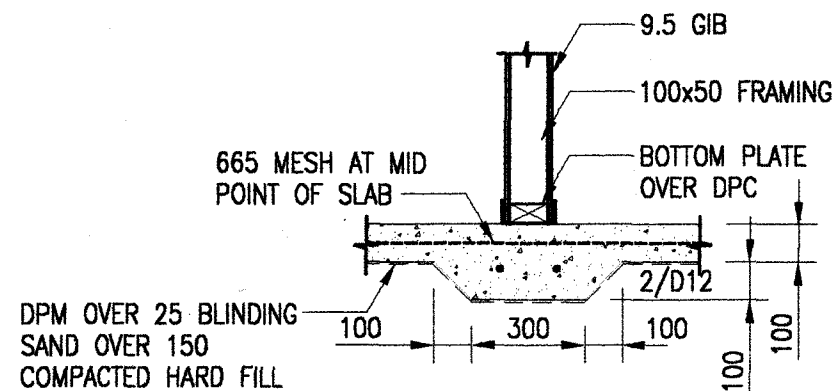


SECTION 5/04
1:20

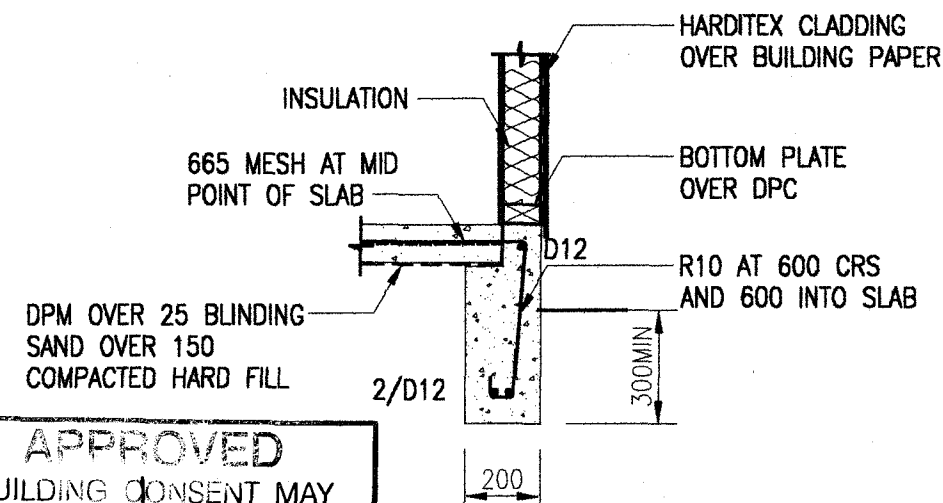


PLYWOOD BOX LINTEL DETAIL

DETAIL A/03
1:20

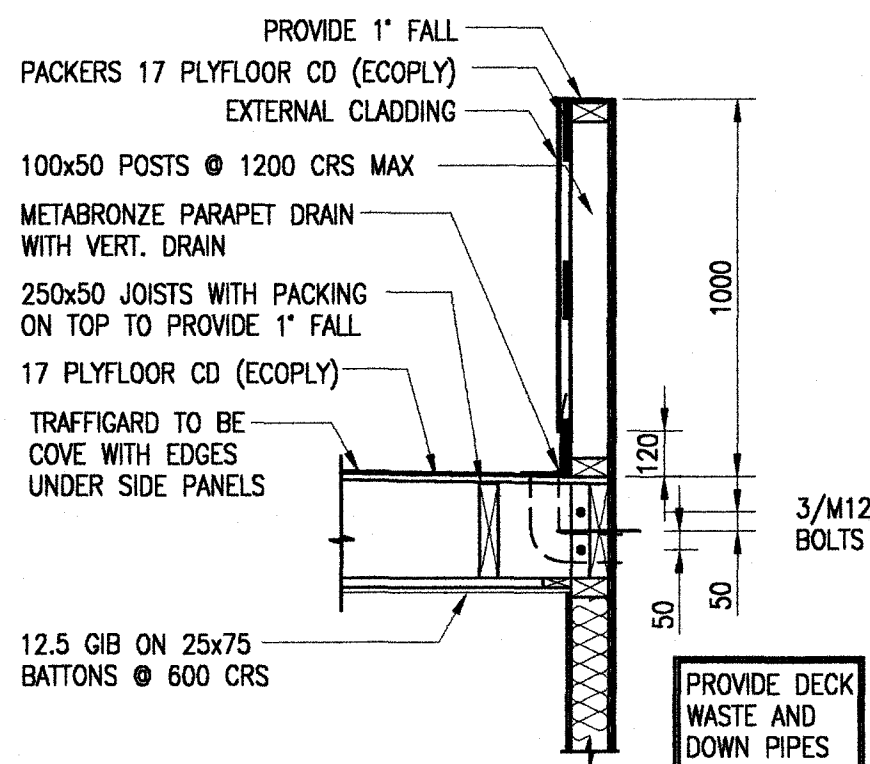


DETAIL B/03
1:20

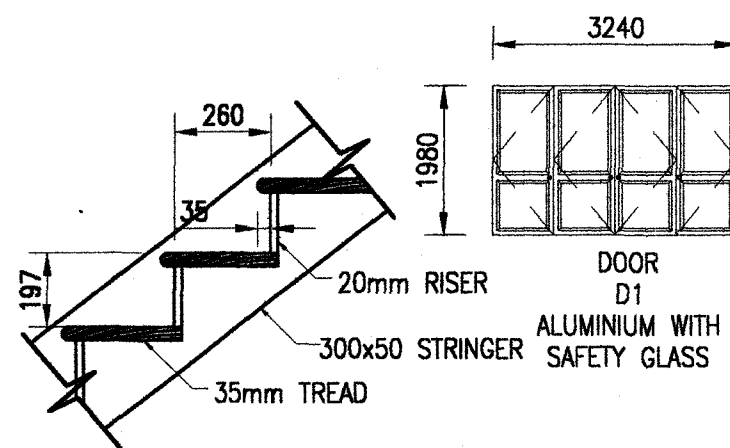


DETAIL C/03
1:20

APPROVED
BUILDING CONSENT MAY
BE ISSUED
NAME
DATE 24 OCT 2001
HUTT CITY COUNCIL

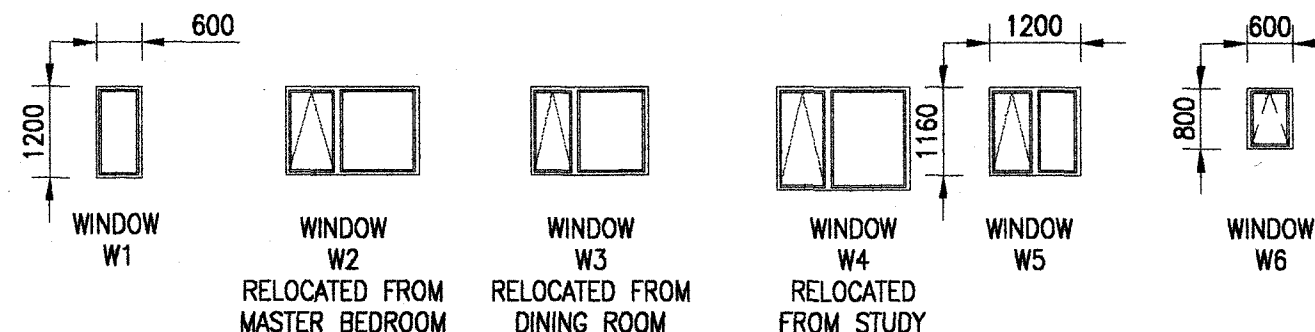


DETAIL E/03
1:20



TYPICAL STAIR DETAIL

1:20



HDC Draughting

4 Thirlmere Street
Wainuiomata
Phone: (04) 589-6622
Fax: (04) 589-6633
e-mail wen.hdc@paradise.net.nz

K. TURNER
181 TIROHANGA ROAD
LOWER HUTT

PROPOSED HOUSE EXTENSIONS
DETAILS
WINDOW AND DOOR SCHEDULE

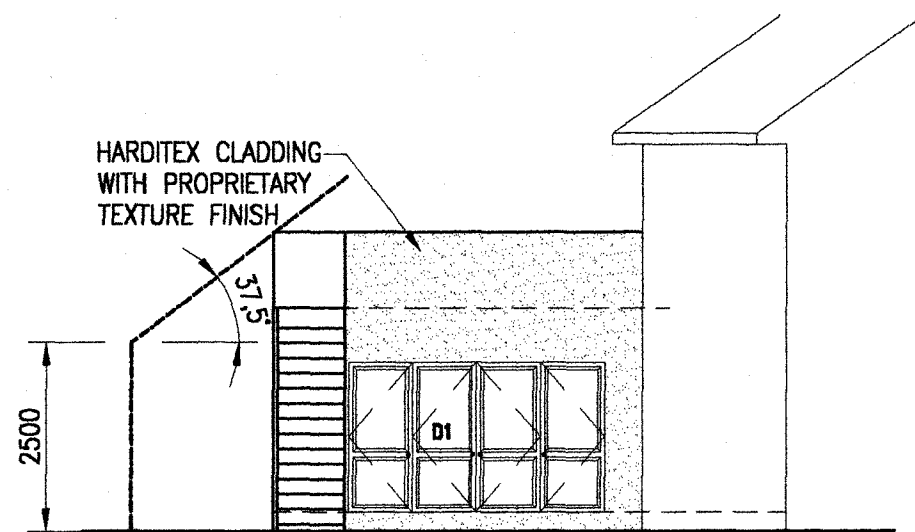
CAD FILE

DATE AUGUST 2001

SCALE 1:20

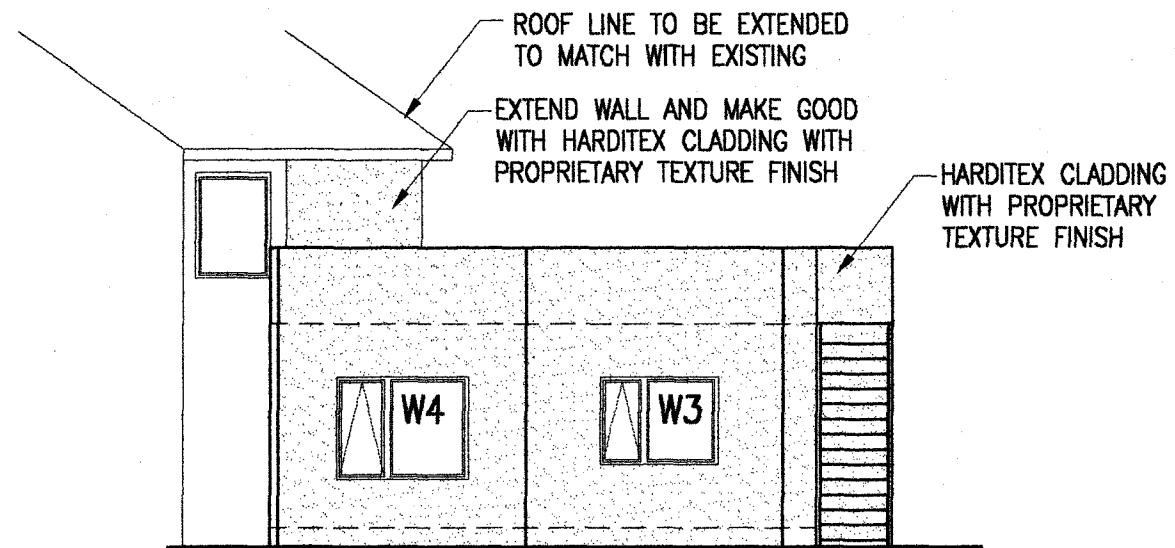
DRAWING NUMBER

01-0004-05 C



NORTH ELEVATION

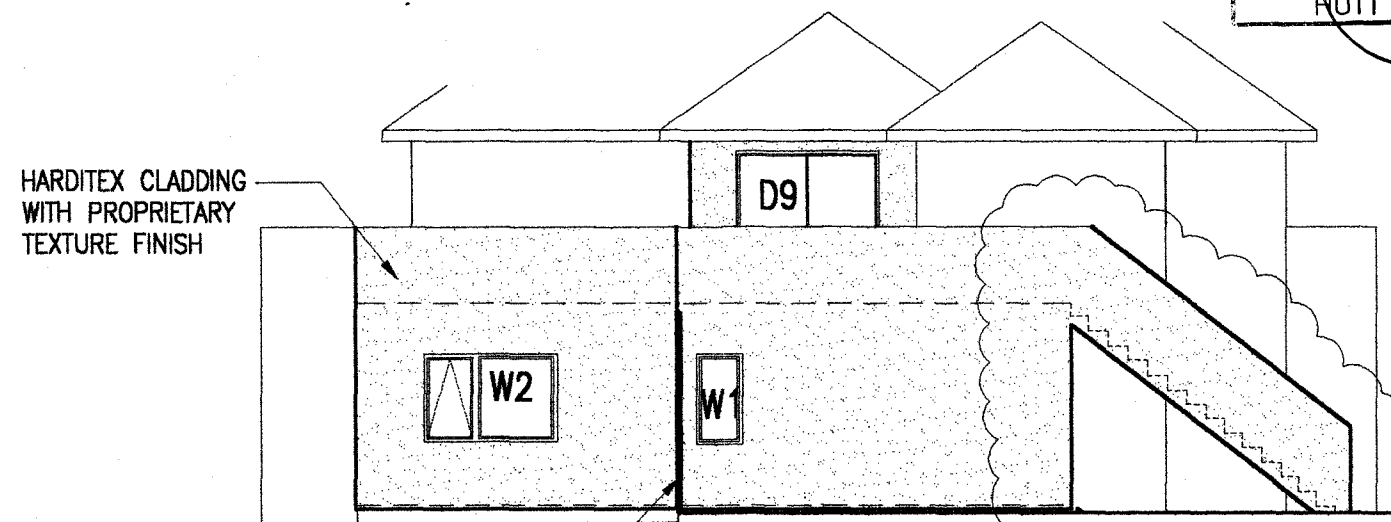
1:100



SOUTH ELEVATION

1:100

APPROVED	
BUILDING CONSENT MAY BE ISSUED	
NAME	.....
DATE	24 OCT 2001
HUTT CITY COUNCIL	



EAST ELEVATION

1:100

HDC Draughting

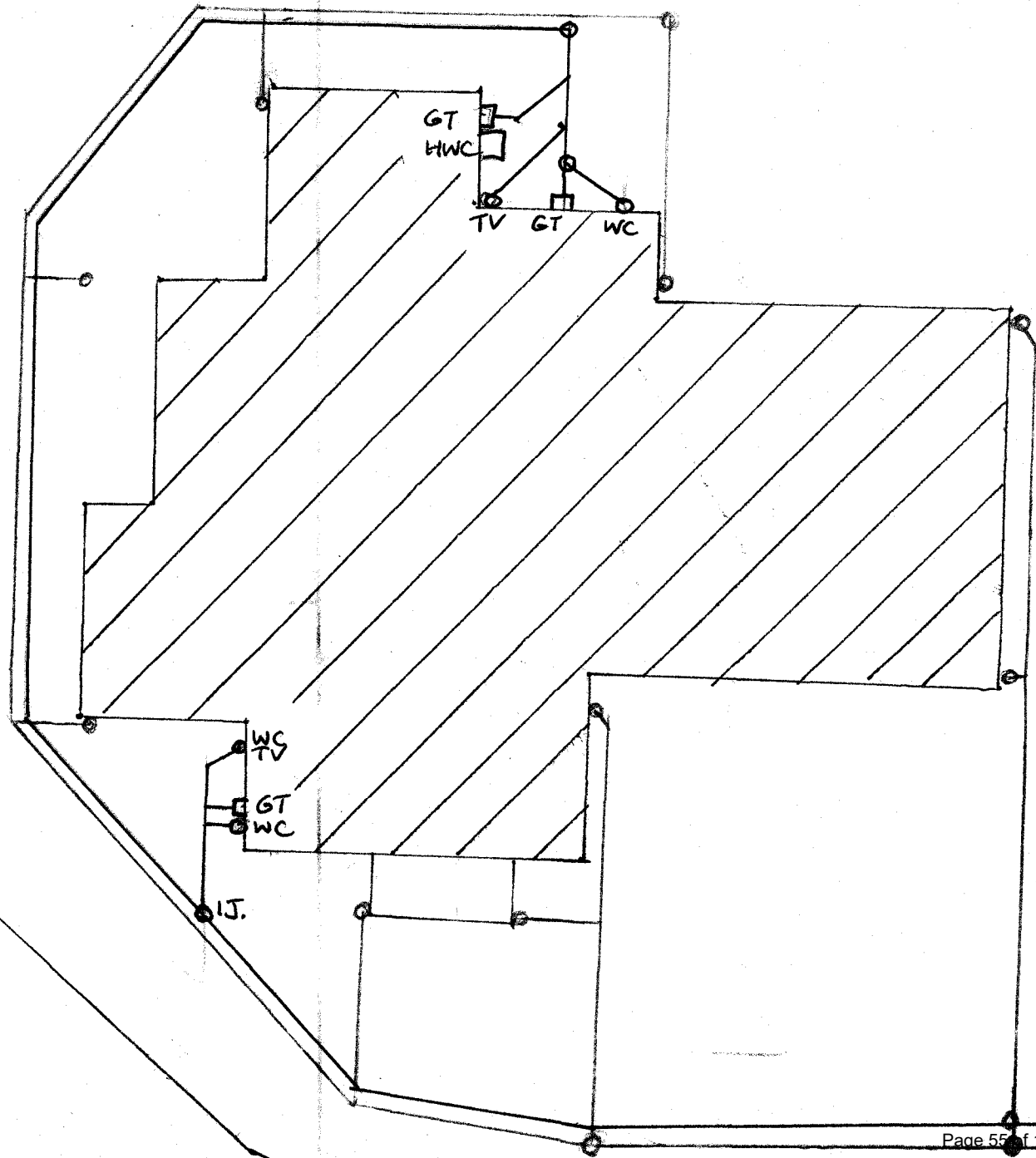
4 Thirlmere Street
Wainuiomata
Phone: (04) 589-6622
Fax: (04) 589-6633
e-mail wen.hdc@paradise.net.nz

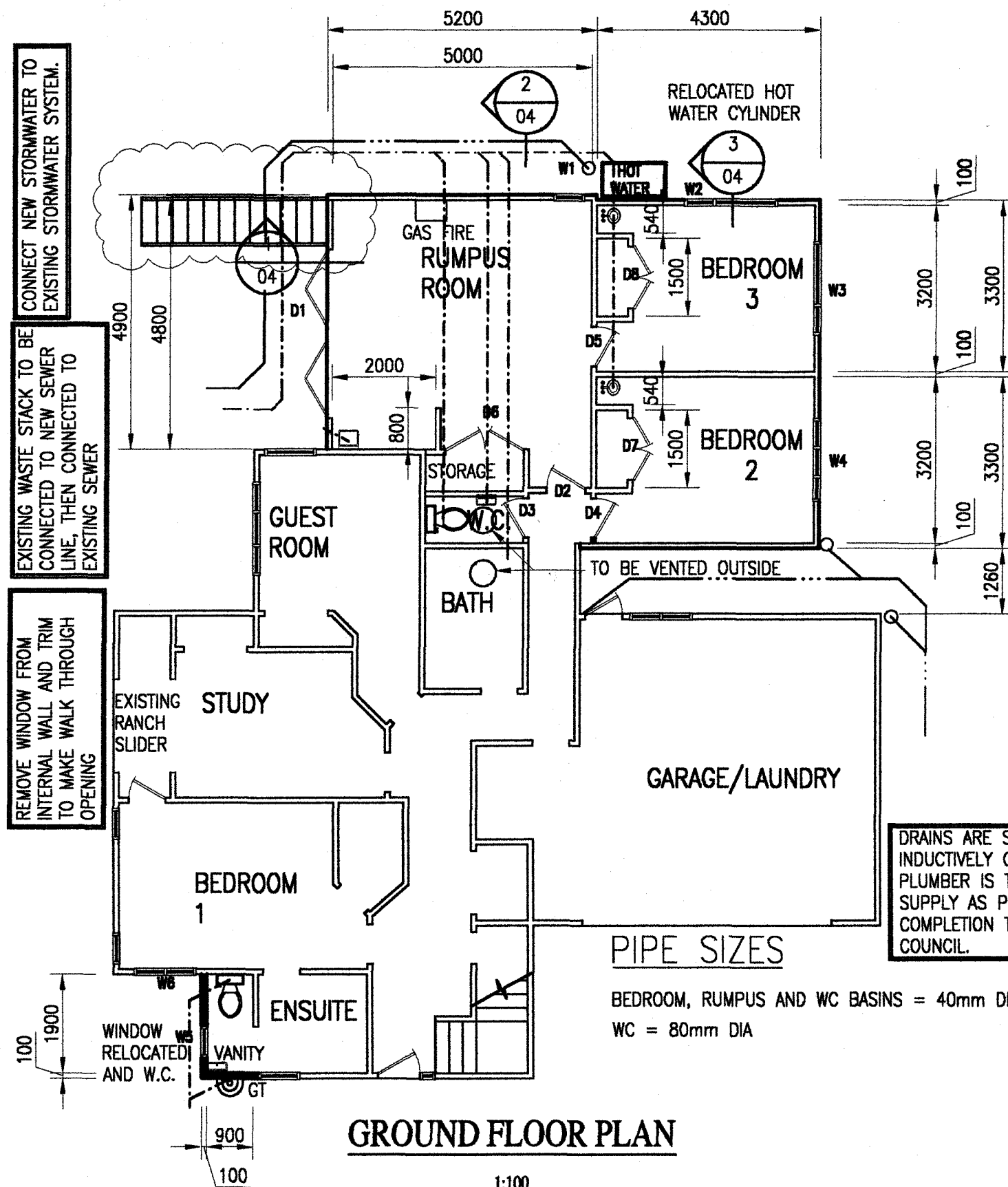
K. TURNER
181 TIROHANGA ROAD
LOWER HUTT

PROPOSED HOUSE EXTENSIONS
ELEVATIONS

CAD FILE
DATE AUGUST 2001
SCALE 1:50
DRAWING NUMBER
01-0004-03 D

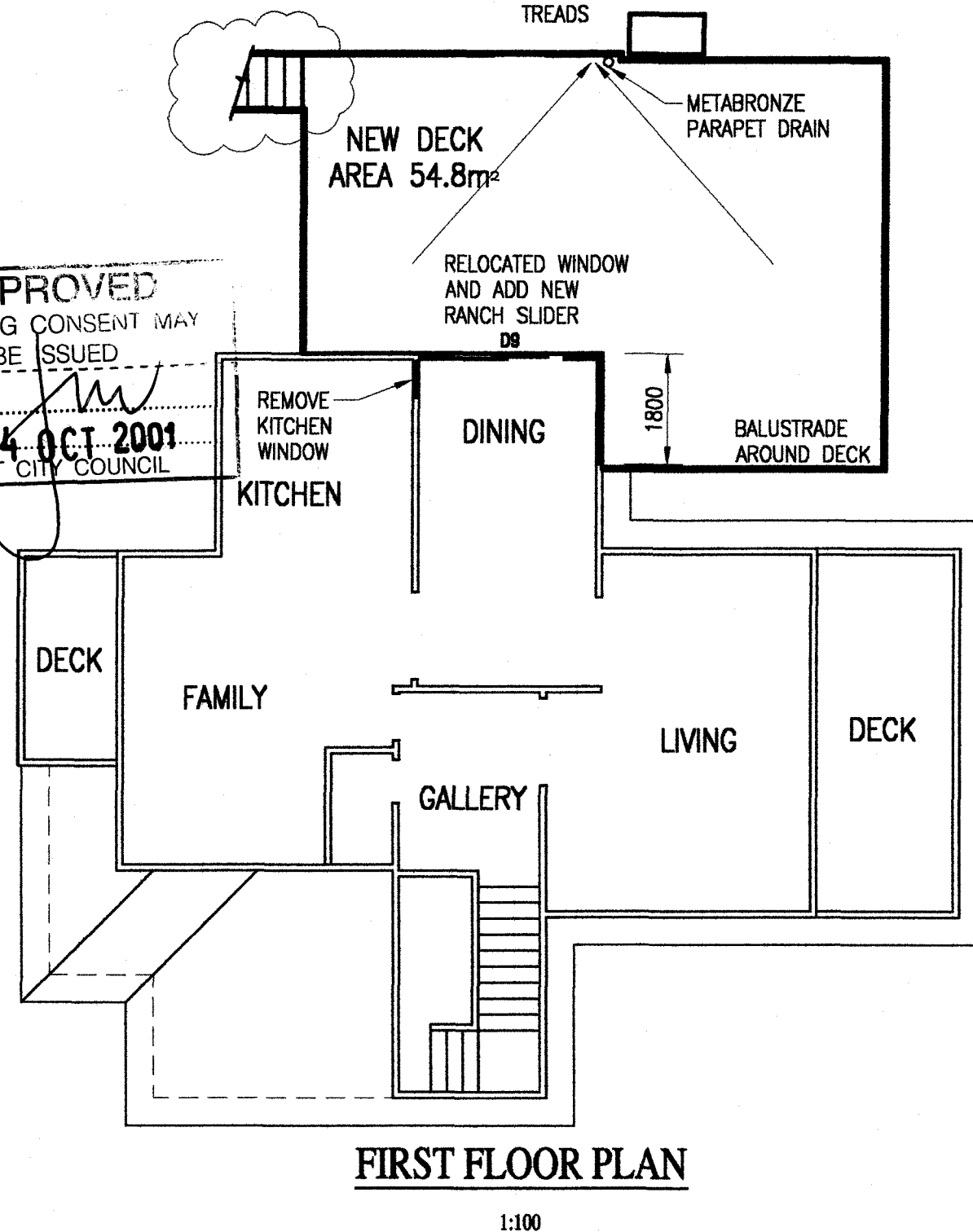
Existing
Floor plan





APPROVED
BUILDING CONSENT MAY
BE ISSUED

NAME
DATE **24 OCT 2001**
HUTT CITY COUNCIL



HDC Draughting

4 Thirlmere Street
Wainuiomata
Phone: (04) 589-6622
Fax: (04) 589-6633
e-mail wen.hdc@paradise.net.nz

K. TURNER
181 TIROHANGA ROAD
LOWER HUTT

PROPOSED HOUSE EXTENSIONS FLOOR PLANS

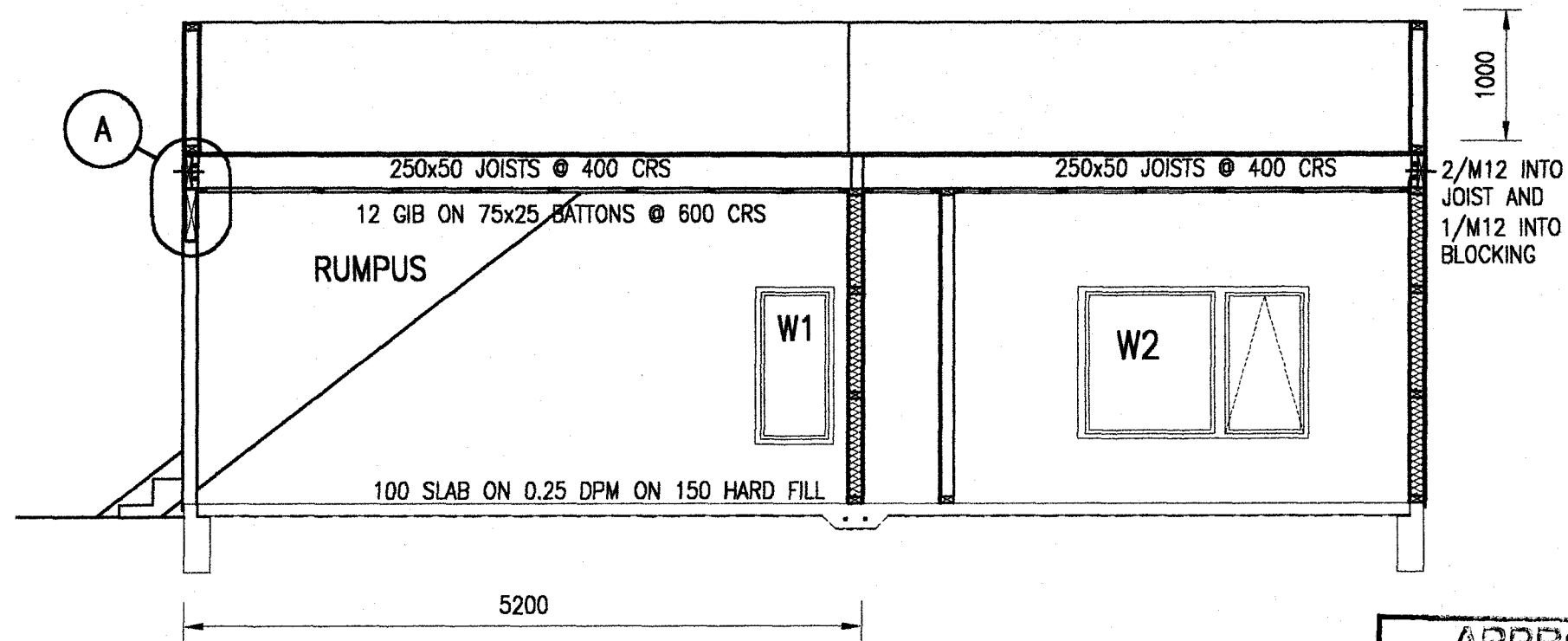
CAD FILE

DATE AUGUST 2001

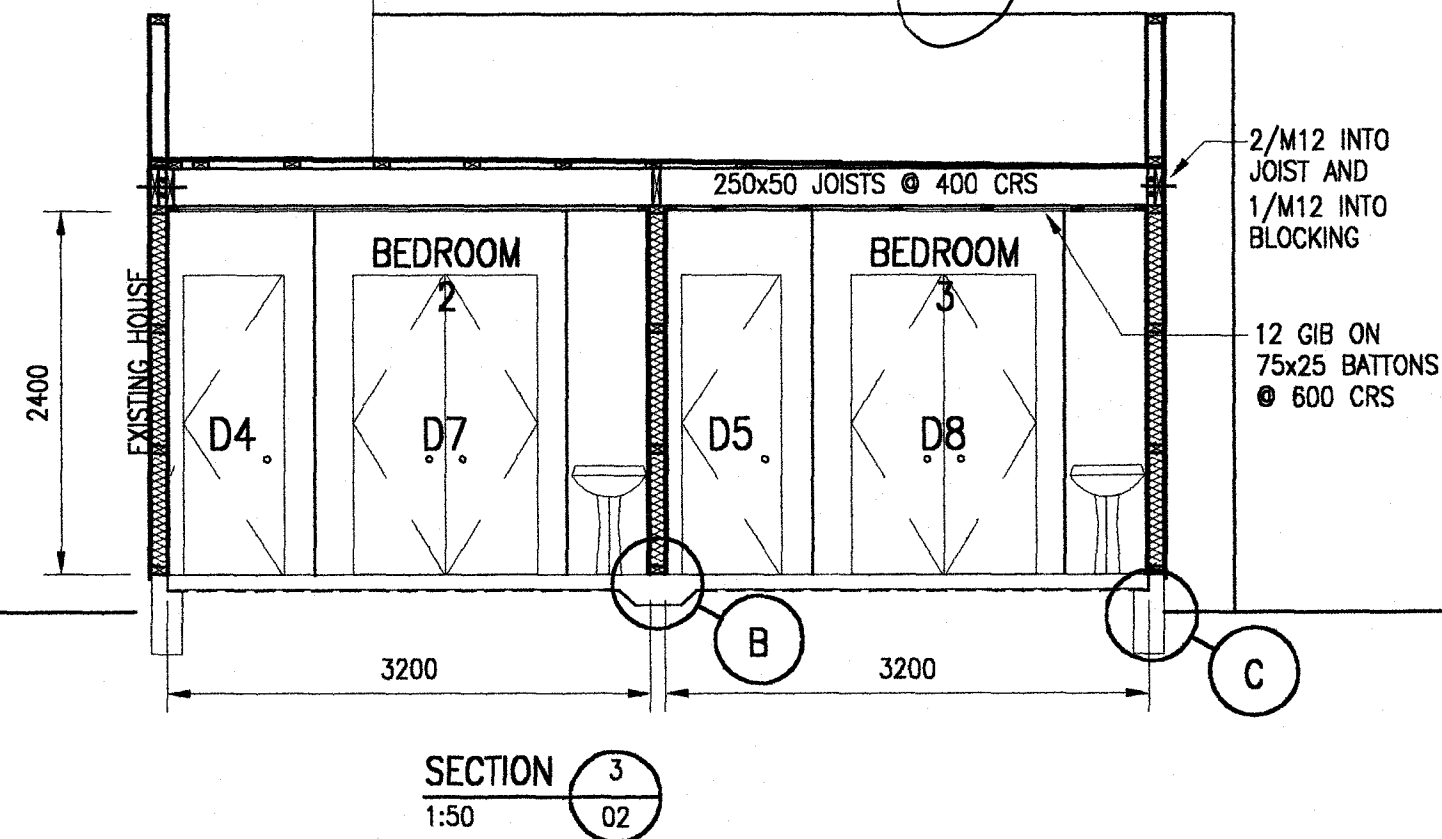
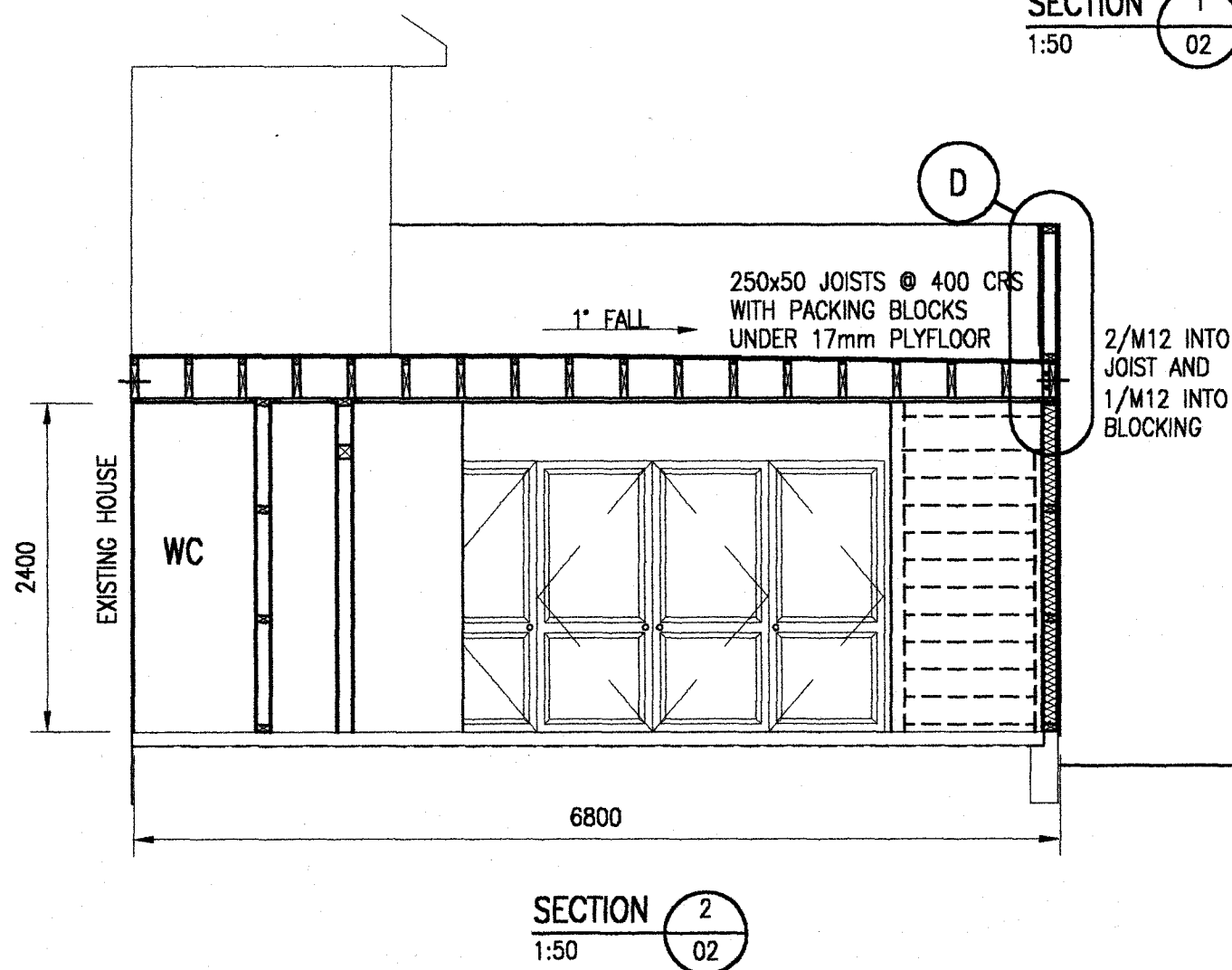
SCALE 1:100

DRAWING NUMBER

01-0004-02 D



APPROVED
BUILDING CONSENT MAY
BE ISSUED
NAME *[Signature]*
DATE **11 OCT 2001**
HUTT CITY COUNCIL



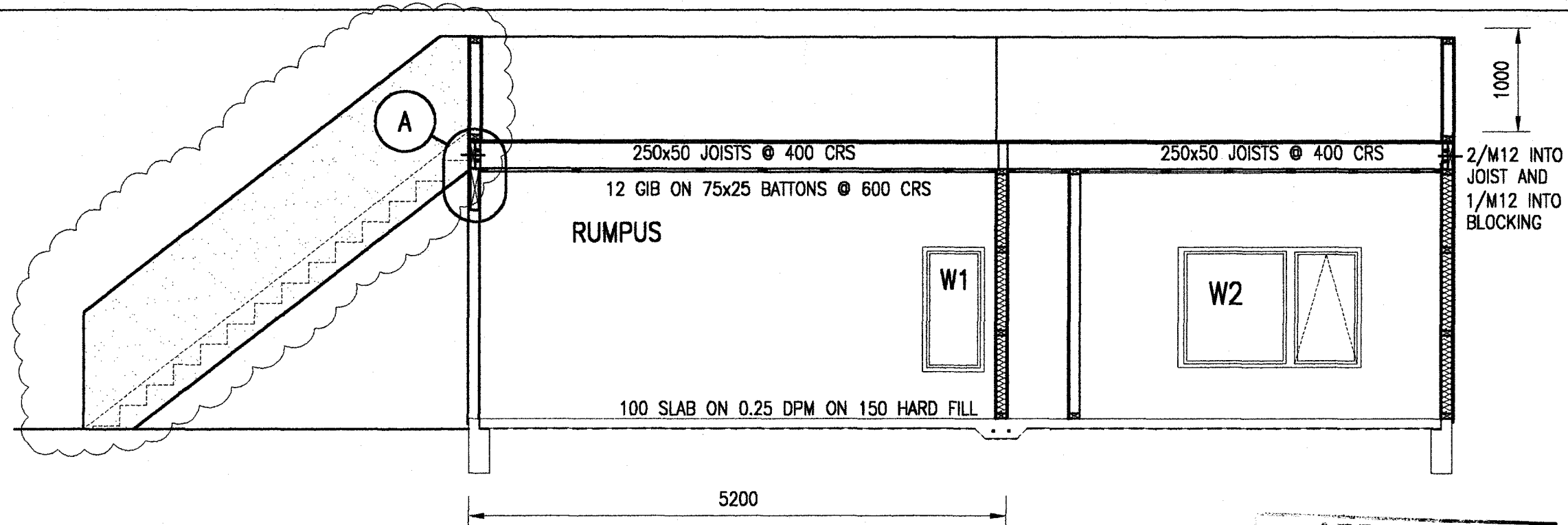
HDC Draughting

4 Thirlmere Street
Wainuiomata
Phone: (04) 589-6622
Fax: (04) 589-6633
e-mail wen.hdc@paradise.net.nz

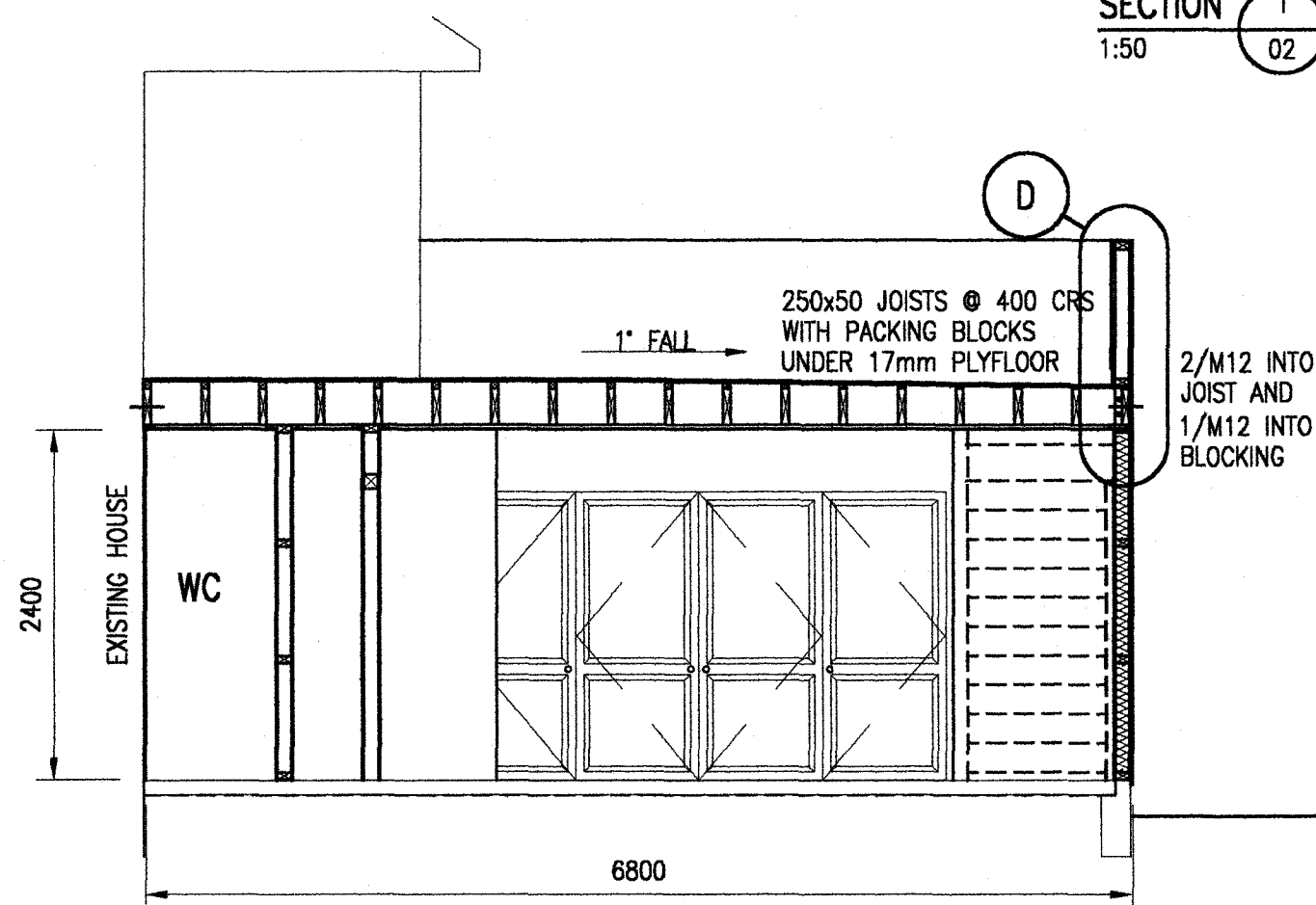
K. TURNER
181 TIROHANGA ROAD
LOWER HUTT

PROPOSED HOUSE EXTENSIONS SECTIONS

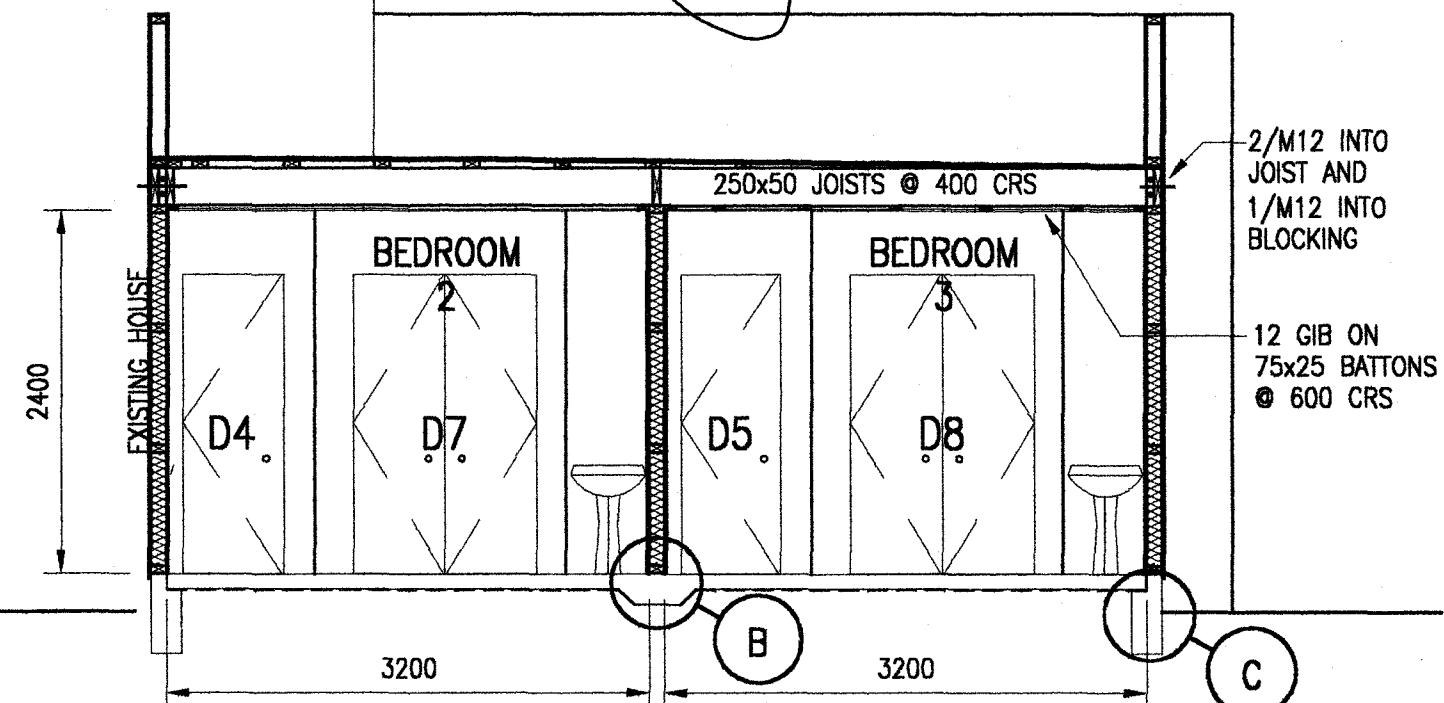
CAD FILE
DATE AUGUST 2001
SCALE 1:50
DRAWING NUMBER
01-0004-04 C



SECTION 1
1:50



SECTION 2
1:50



SECTION 3
1:50

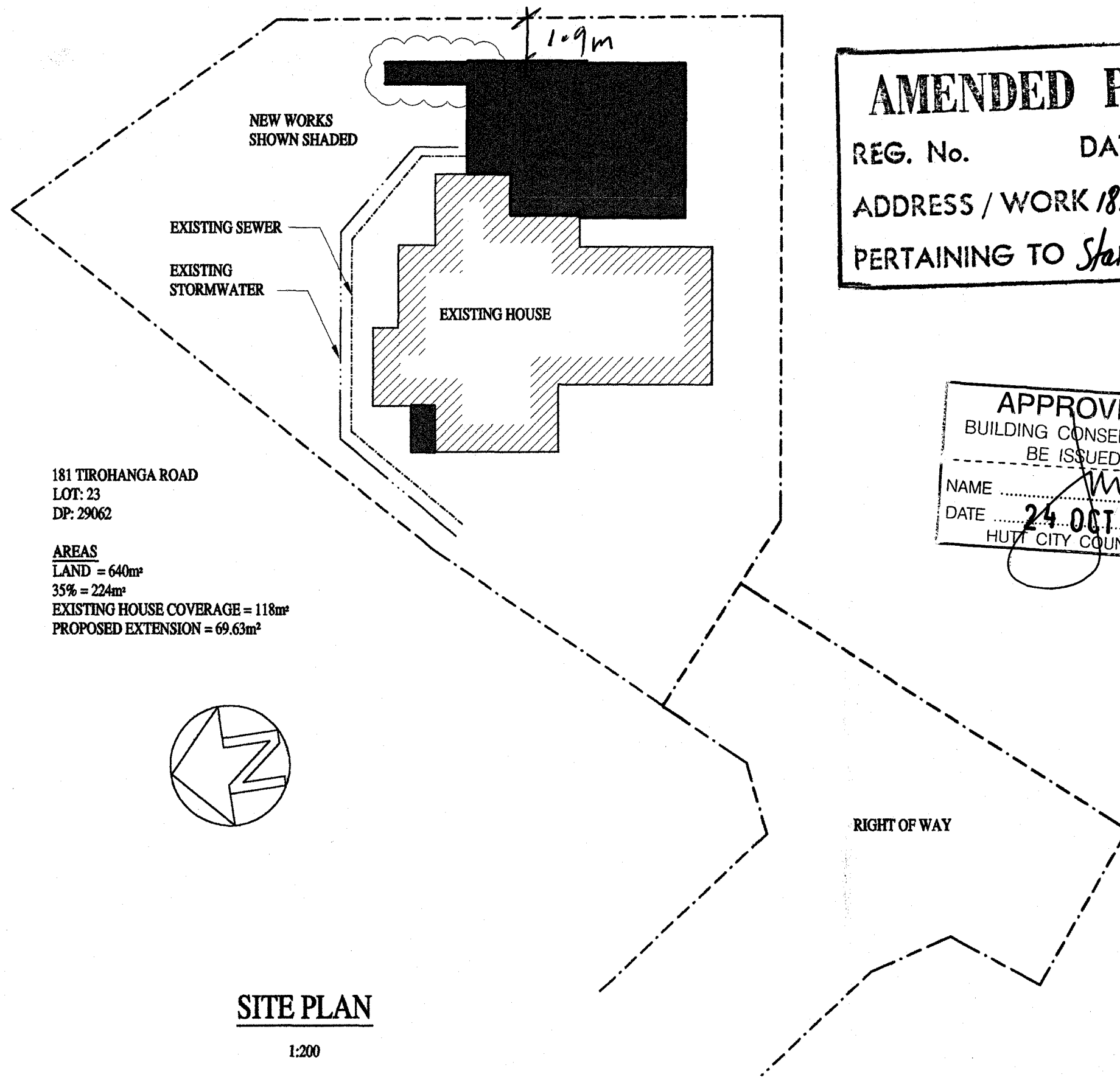
HDC Draughting

4 Thirlmere Street
Wainuiomata
Phone: (04) 589-6622
Fax: (04) 589-6633
e-mail wen.hdc@paradise.net.nz

K. TURNER
181 TIROHANGA ROAD
LOWER HUTT

PROPOSED HOUSE EXTENSIONS SECTIONS

CAD FILE	
DATE	AUGUST 2001
SCALE	1:50
DRAWING NUMBER	01-0004-04 D



AMENDED PLAN

REG. No.

DATE 17/10/01

ADDRESS / WORK 181 Tirohanga
PERTAINING TO Stairs

APPROVED

BUILDING CONSENT MAY
BE ISSUED

NAME

DATE

24 OCT 2001

HUTT CITY COUNCIL

SPECIFICATION

ALL WORK IS TO CARRIED OUT TO THE BEST TRADE LIKE PRACTICES.

ALL WORK IS TO BE IN ACCORDANCE WITH NZS 3604 AND THE NEW ZEALAND BUILDING CODE.

ALL MEASUREMENTS ARE TO BE CONFIRMED ON SITE PRIOR TO COMMENCING WORK.

ALL CABLES AND PIPES ARE TO BE LOCATED AND PROTECTED WERE NECESSARY.

ALL TIMBER IS HI TREATED FRAMING.

FRAMING 100x50, STUDS @ 600 CRS MAX.

LINTELS ABOVE ALL WINDOWS IS TO BE 100x150.

LINTEL ABOVE DOOR 1 SHALL BE A 400x88 PLYWOOD BOX BEAM LINTEL AS PER NZS3604

ALL NEW WINDOWS ARE TO MATCH STYLE OF EXISTING WINDOWS.

EXISTING WINDOW IN DINNING AREA TO BE REPLACED WITH RANCH SLIDER TO ALLOW ACCESS TO NEW DECK AREA.

DECK TO HAVE TRAFFIGARD OVER TO MATCH EXISTING.

TOILET AND BATHROOM TO BE VENTED TO THE OUTSIDE WITH VENTILATION SYSTEM.

ALL TRIMS ARE MATCH THE EXISTING HOUSE.

PLUMBER IS TO PROVIDE A, AS BUILD PLAN ON COMPLETION OF WORK.

UPON COMPLETION OF THE WORK ALL CONTRACTORS SHALL REMOVE ALL DEBRIS AND UNUSED MATERIALS AND LEAVE THE SITE IN A CLEAN AND TIDY STATE.

ELECTRICAL FITTINGS, TYPE AND PLACEMENT; OWNERS TO SELECT.

HDC Draughting

4 Thirlmere Street
Wainuiomata
Phone: (04) 589-6622
Fax: (04) 589-6633
e-mail wen.hdc@paradise.net.nz

K.TURNER
181 TIROHANGA ROAD
LOWER HUTT

PROPOSED HOUSE EXTENSIONS
SITE PLAN

CAD FILE

DATE AUGUST 2001

SCALE 1:200

DRAWING NUMBER

01-0004-01 D



HUTT CITY COUNCIL

BUILDING CONTROL SECTION

CODE COMPLIANCE CERTIFICATE NUMBER B+PB 96-0227

This certificate is issued by Hutt City Council pursuant to section 43 [3] of the Building Act 1991, and Building Consent application number B+PB 96-0227.

PROJECT:

☒ New or re-located building

☐ Alteration

Intended Use: HOUSING-DETACHED-NEW

Intended Life:

☒ Indefinite, but not less than 50 years.

☐ Specified in application as _____ years.

Demolition:

Being stage 1 of an intended 1 stages.

PROJECT LOCATION:

181 TIROHANGA RD L

Lot No. 23 DP No. DP 72065

COUNCIL CHARGES:

The total charges payable are as shown on the attached invoice.

THIS CODE COMPLIANCE CERTIFICATE IS:

☒ A Final certificate issued in respect of all building work under the above Building Consent.

☐ An Interim certificate in respect of part only, as specified in the attached particulars, of the building work under the above Building Consent.

☐ Issued subject to the conditions specified in the attached _____ page[s] headed "Conditions of Code Compliance No. _____", being this Certificate.

Signed for and on behalf of the Council:

Name:

S Butler

BUILDING CONTROL OFFICER

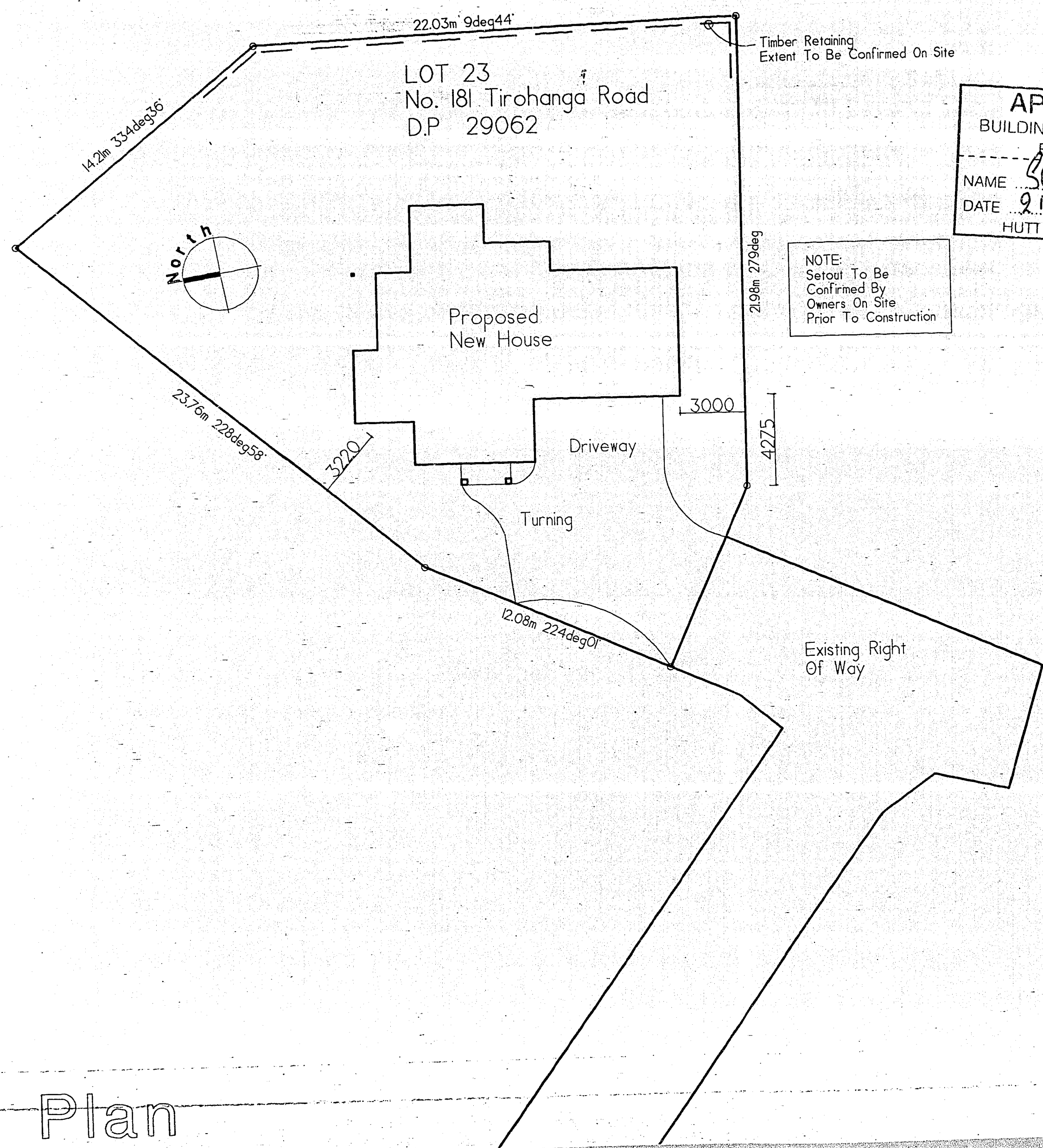
Position:

HUTT CITY COUNCIL

Date: 27-JAN-97

Lot 23

No 181 Tirohanga Road
Harbour View
Lower Hutt



APPROVED
 BUILDING CONSENT MAY
 BE ISSUED
 NAME *S. Butler*
 DATE *21.8.96*
 HUTT CITY COUNCIL

NOTE:
 Setout To Be
 Confirmed By
 Owners On Site
 Prior To Construction

All Dimensions are to be checked
 on Site Prior to Construction.
 Do Not Scale From Drawings

Final levels and excavation
 to be determined by owner
 and contractor on site

NOTE:
 ALL WORK TO COMPLY
 WITH THE NEW ZEALAND
 BUILDING CODE AND
 APPROVED DOCUMENTS.
 TO BE BUILT IN
 ACCORDANCE WITH
 NEW ZEALAND STANDARD
 3604. LIGHT TIMBER
 FRAMED CONSTRUCTION.
 ALL MATERIALS TO BE
 INSTALLED IN ACCORDANCE
 WITH MANUFACTURERS
 CURRENT RECONENDATIONS

Key Plan

Project

Lot 23
No 181 Tirohanga Road
Harbour View
Lower Hutt

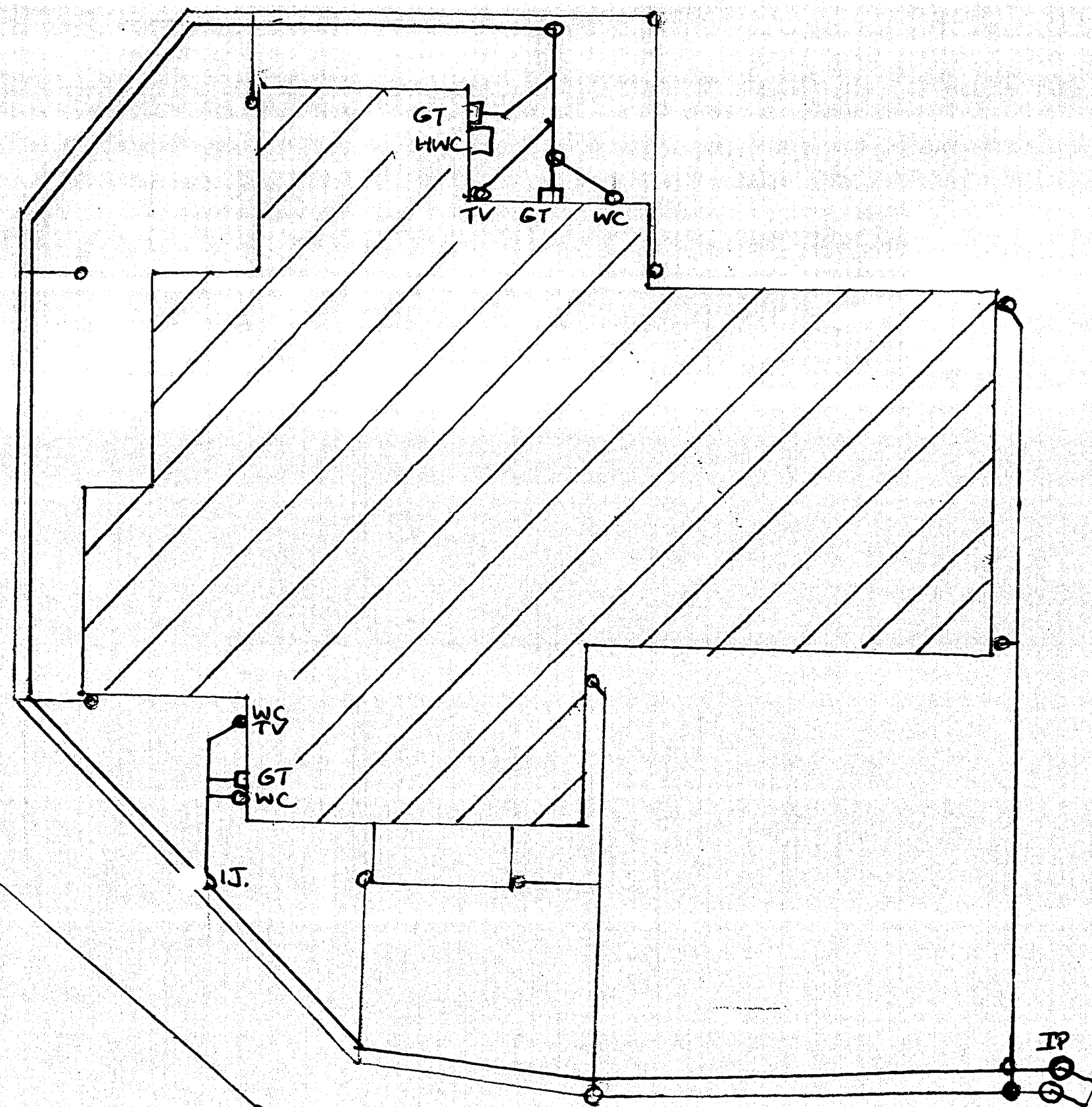
Date : 10 August 1996
 Designed : Andrew McCulloch
 Drawn : AM
 Checked :
 Scale(s) : 1:200
 Ref. number : Darren

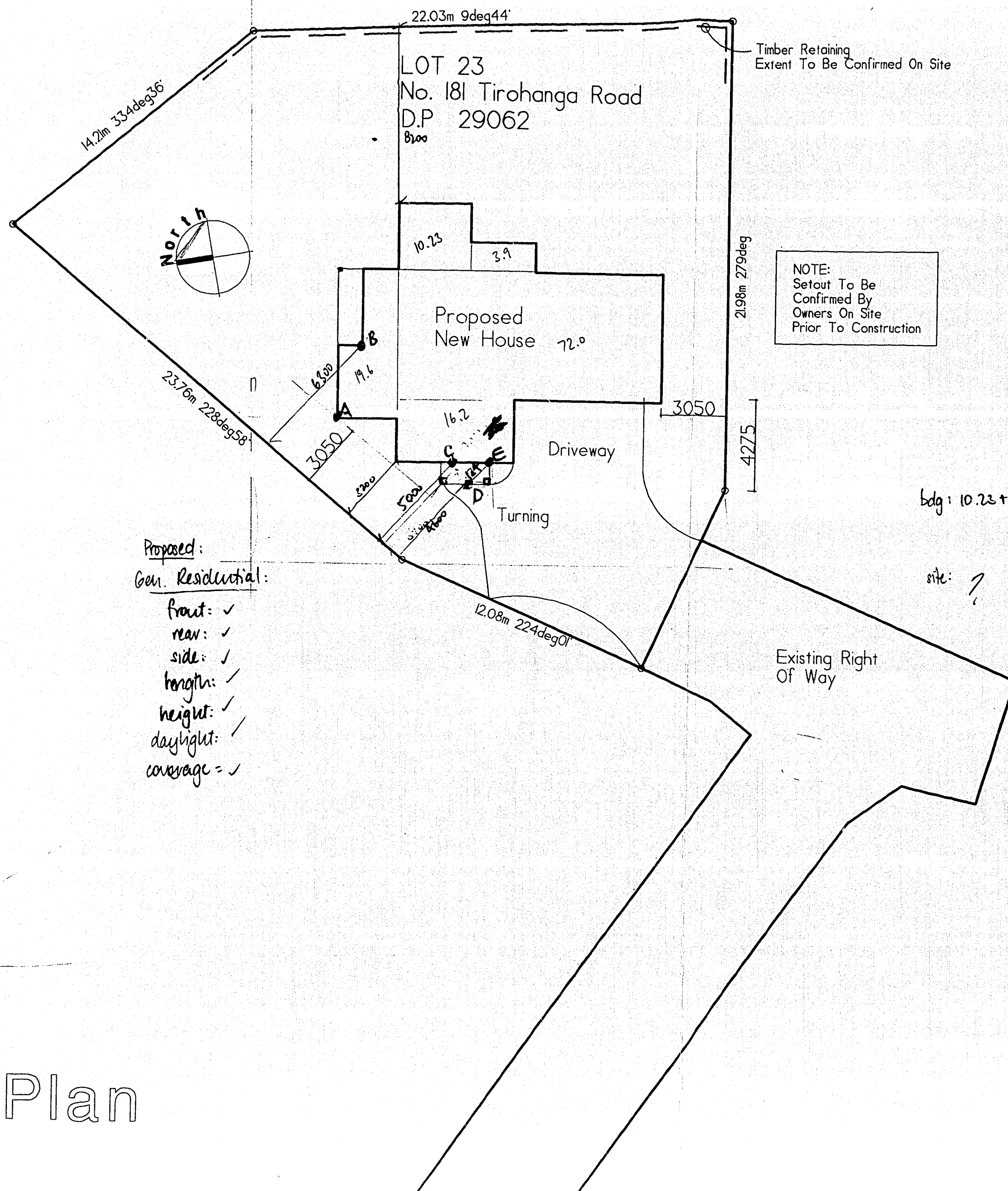
Project Number Sheet Number

101

Site Plan

181 TIROHANGA RD
14/1/97
DRAINLAYER: DIAL-A-PLUMBER LTD
SCALE 1:100





Transitional:
West. Hills Res:

- front: ✓
- rear: ✓
- side: ✓
- length: ✓
- height: ✓
- daylight: ✓
- coverage: ✓

Proposed:
Gen. Residential:

- front: ✓
- rear: ✓
- side: ✓
- length: ✓
- height: ✓
- daylight: ✓
- coverage: ✓

Site Plan

All Dimensions are to be checked
on Site Prior to Construction.
Do Not Scale From Drawings

Final levels and excavation
to be determined by owner
and contractor on site

NOTE:
ALL WORK TO COMPLY
WITH THE NEW ZEALAND
BUILDING CODE AND
APPROVED DOCUMENTS.
TO BE BUILT IN
ACCORDANCE WITH
NEW ZEALAND STANDARD
3604. LIGHT TIMBER
FRAMED CONSTRUCTION.
ALL MATERIALS TO BE
INSTALLED IN ACCORDANCE
WITH MANUFACTURERS'
CURRENT RECOMMENDATIONS

Key Plan

Project

Lot 23
No 181 Tirohanga Road
Harbour View
Lower Hutt

R1 - 20/09/96 As built site plan

Date : 10 August 1996
Designed : Andrew McCulloch
Drawn : AM
Checked :
Scale(s) : 1:200
Ref. number : Darren

Project Number Sheet Number

101-R1

This building requires:
 Foundation Inspection ☒
 Sub-floor Inspection ☒
 Prelining Inspection ☒
 24 hours' notice, please.

All Dimensions are to be checked
 on Site Prior to Construction.
 Do Not Scale From Drawings

Final levels and excavation
 to be determined by owner
 and contractor on site

NOTE:
 ALL WORK TO COMPLY
 WITH THE NEW ZEALAND
 BUILDING CODE AND
 APPROVED DOCUMENTS.
 TO BE BUILT IN
 ACCORDANCE WITH
 NEW ZEALAND STANDARD
 3604. LIGHT TIMBER
 FRAMED CONSTRUCTION.
 ALL MATERIALS TO BE
 INSTALLED IN ACCORDANCE
 WITH MANUFACTURERS
 CURRENT RECOMMENDATIONS

Key Plan

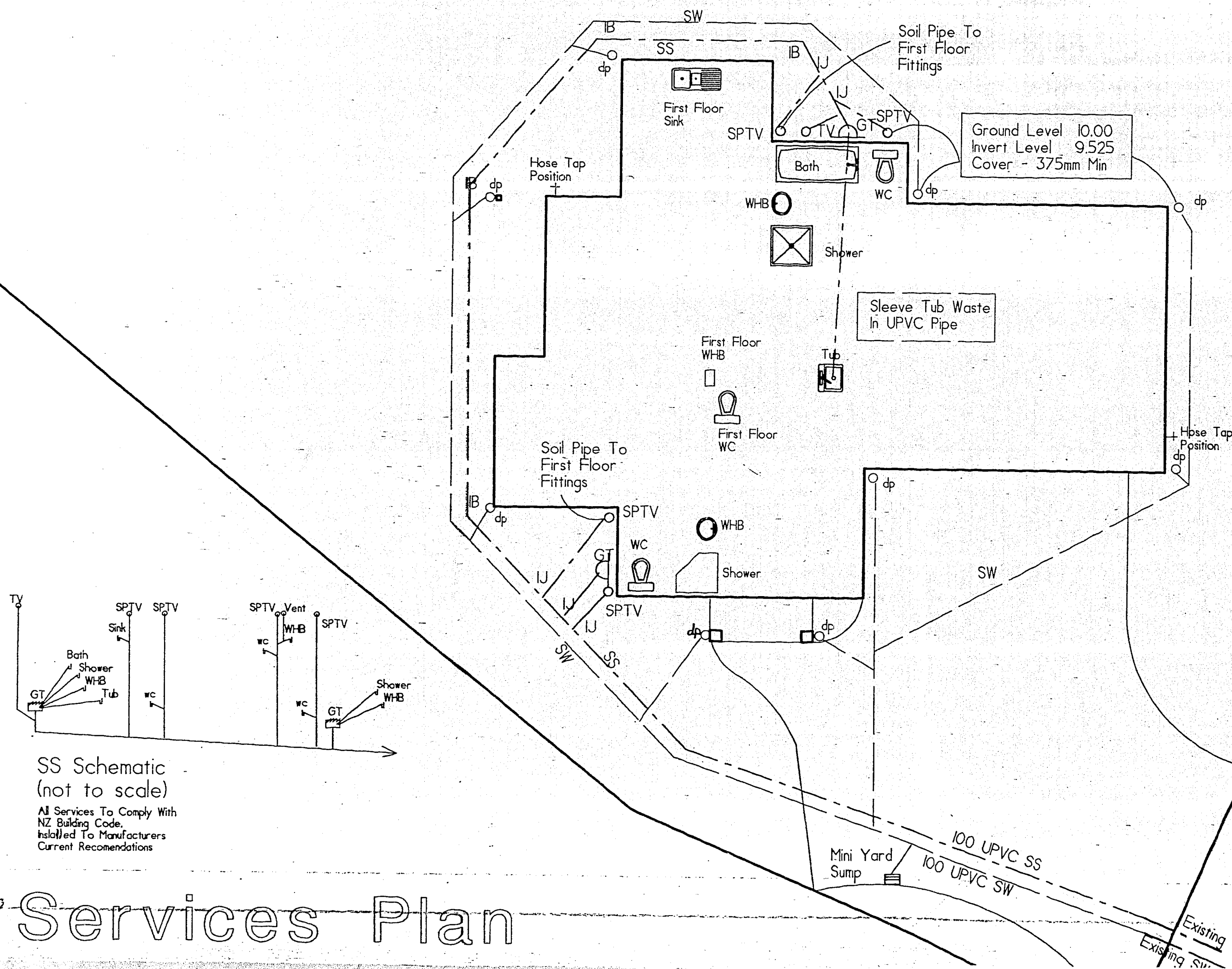
Project

Lot 23
No 181 Tirohanga Road
Harbour View
Lower Hutt

Date : 02 August 1996
 Designed : Andrew McCulloch
 Drawn : AM
 Checked :
 Scale(s) : 1:100
 Ref. number : Darren

Project Number Sheet Number

102

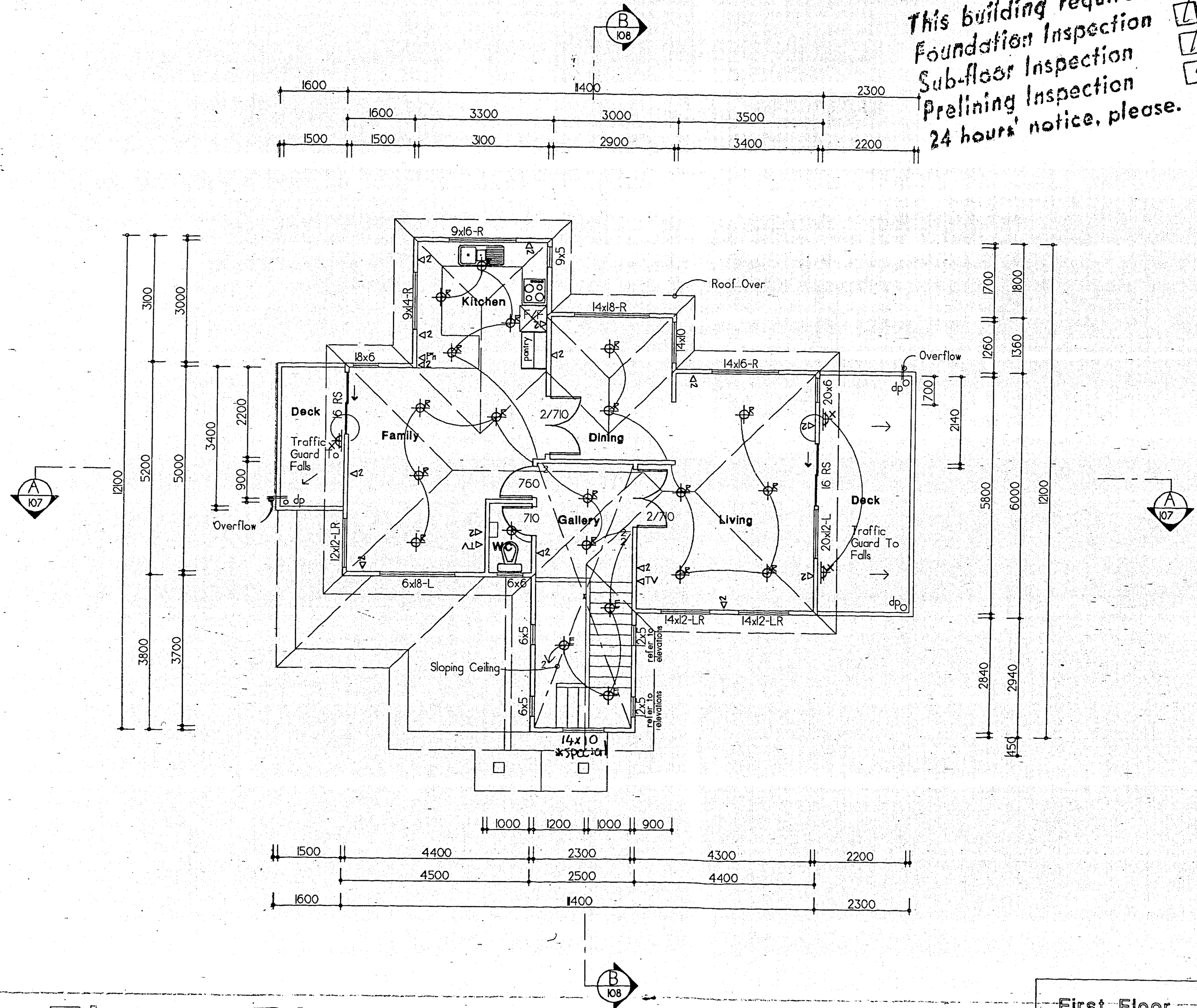


Existing Service
 Connections. Check
 Locations & Levels
 On Site Prior To
 Excavating Trenches

Services Plan

First Floor Plan

This building requires:
 Foundation Inspection
 Sub-floor Inspection
 Prelining Inspection
 24 hours' notice, please.



All Dimensions are to be checked on Site Prior to Construction. Do Not Scale From Drawings

Final levels and excavation to be determined by owner and contractor on site

NOTE:
 ALL WORK TO COMPLY WITH THE NEW ZEALAND BUILDING CODE AND APPROVED DOCUMENTS. TO BE BUILT IN ACCORDANCE WITH NEW ZEALAND STANDARD 3604. LIGHT TIMBER FRAMED CONSTRUCTION. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS CURRENT RECONENDATIONS

Key Plan

Project

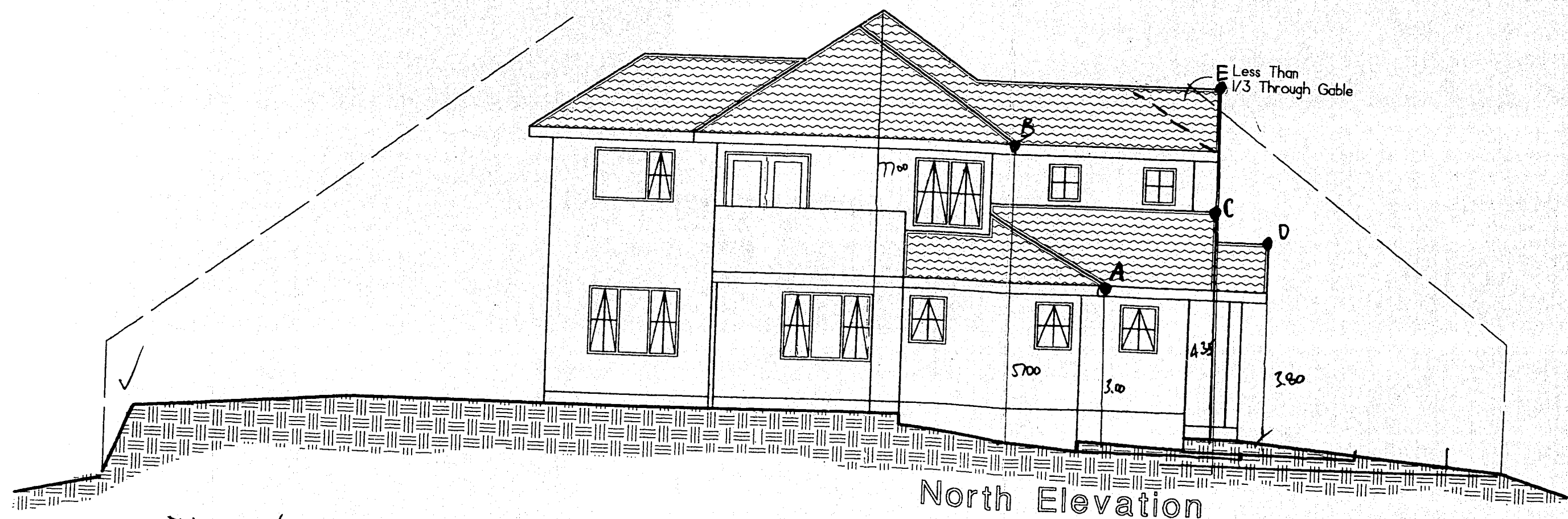
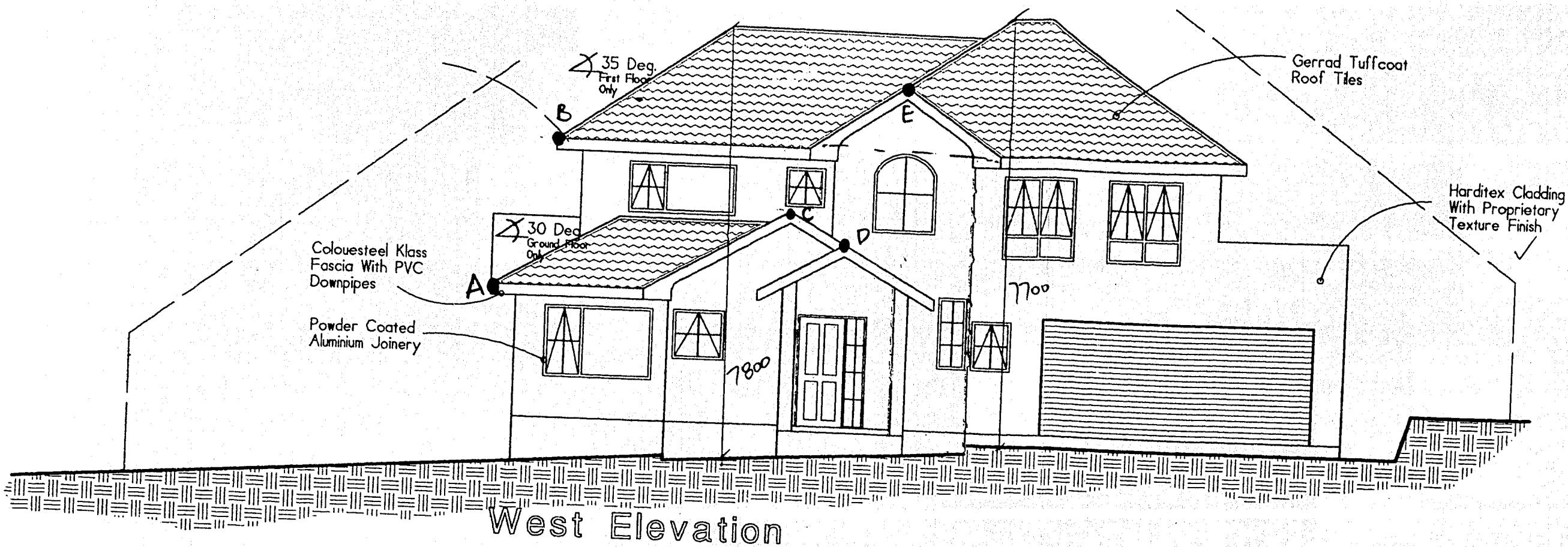
Lot 23
No 181 Tirohanga Road
Harbour View
Lower Hutt

Date : 02 August 1996
 Designed : Andrew McCulloch
 Drawn : AM
 Checked :
 Scale(s) : 1:100
 Ref. number : Darren

Project Number : Sheet Number

First Floor
Area 80 M2

104



$$Pt A = 2.5 + \left(\frac{3}{4} \times 3.05\right) = 4.79m$$

height: 3.0m ✓

$$Pt B = 2.5 + \left(\frac{3}{4} \times 6.3\right) = 7.22m$$

height: 5.7m ✓

$$Pt C = 2.5 + \left(\frac{3}{4} \times 5.0\right) = 6.25m$$

height: 4.35m ✓

$$Pt D = 2.5 + \left(\frac{3}{4} \times 4.6\right) = 5.95m$$

height: 3.30m ✓

$$Pt E = 2.5 + \left(\frac{3}{4} \times 6.0\right) = 7.0m$$

height: 7.25m ✗

All Dimensions are to be checked
on Site Prior to Construction.
Do Not Scale From Drawings

Final levels and excavation
to be determined by owner
and contractor on site

NOTE:
ALL WORK TO COMPLY
WITH THE NEW ZEALAND
BUILDING CODE AND
APPROVED DOCUMENTS.
TO BE BUILT IN
ACCORDANCE WITH
NEW ZEALAND STANDARD
3604. LIGHT TIMBER
FRAMED CONSTRUCTION.
ALL MATERIALS TO BE
INSTALLED IN ACCORDANCE
WITH MANUFACTURERS
CURRENT RECONENDATIONS

Key Plan

Project

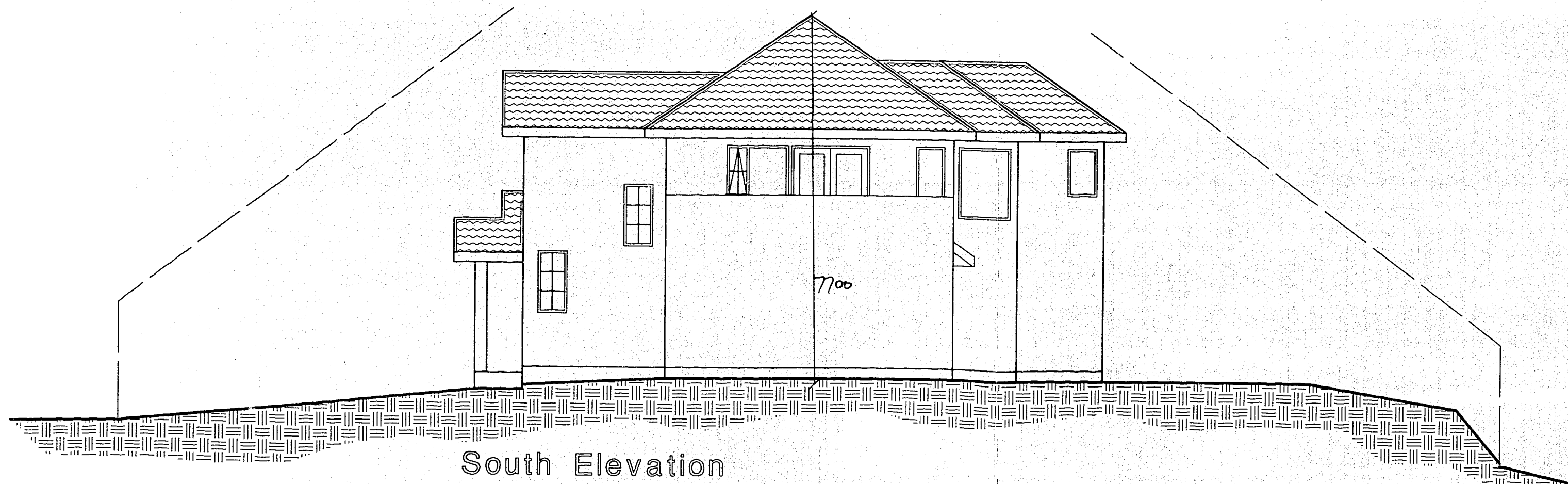
Lot 23
No 181 Tirohanga Road
Harbour View
Lower Hutt

RI - 20/09/96 Revised Ground
Lines To Suit As Built Foundations

Date : 02 August 1996
Designed : Andrew McCulle
Drawn : AM
Checked :
Scale(s) : 1:100
Ref. number : Darren

Project Number Sheet Number

105-R1



All Dimensions are to be checked
on Site Prior to Construction.
Do Not Scale From Drawings

Final levels and excavation
to be determined by owner
and contractor on site

NOTE:
ALL WORK TO COMPLY
WITH THE NEW ZEALAND
BUILDING CODE AND
APPROVED DOCUMENTS.
TO BE BUILT IN
ACCORDANCE WITH
NEW ZEALAND STANDARD
3604. LIGHT TIMBER
FRAMED CONSTRUCTION.
ALL MATERIALS TO BE
INSTALLED IN ACCORDANCE
WITH MANUFACTURERS
CURRENT RECOMMENDATIONS

Key Plan

Project

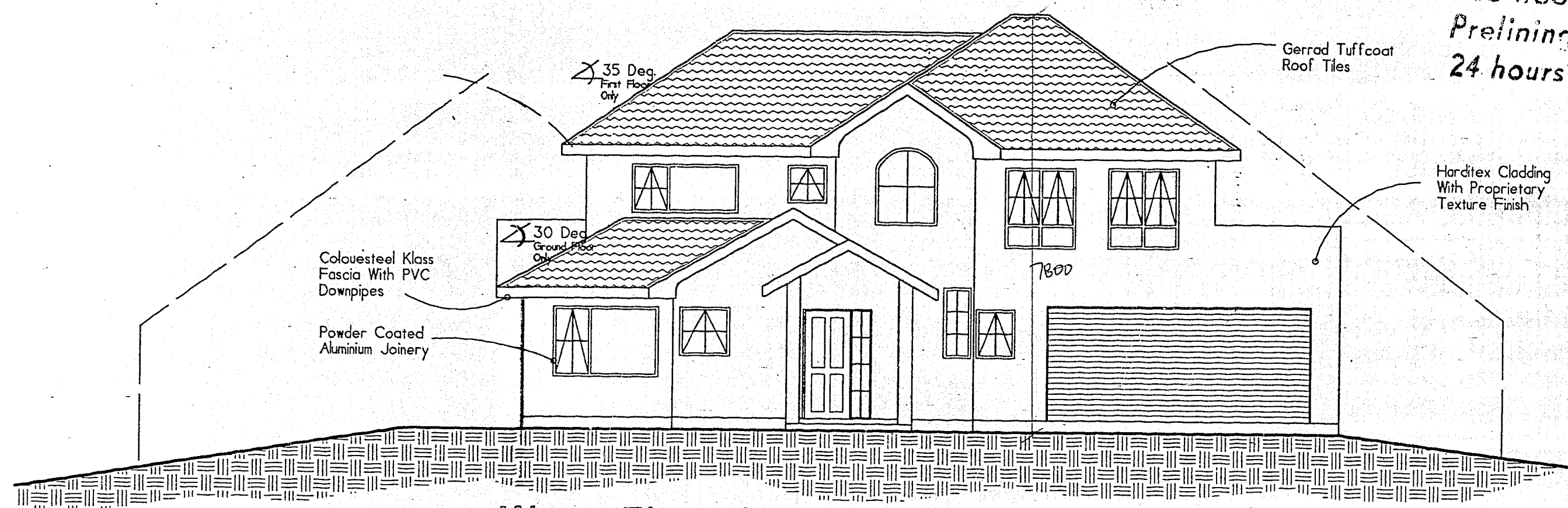
Lot 23
No 181 Tirohanga Road
Harbour View
Lower Hutt

RI - 20/09/96 Revised Ground
Lines To Suit As Built Foundations

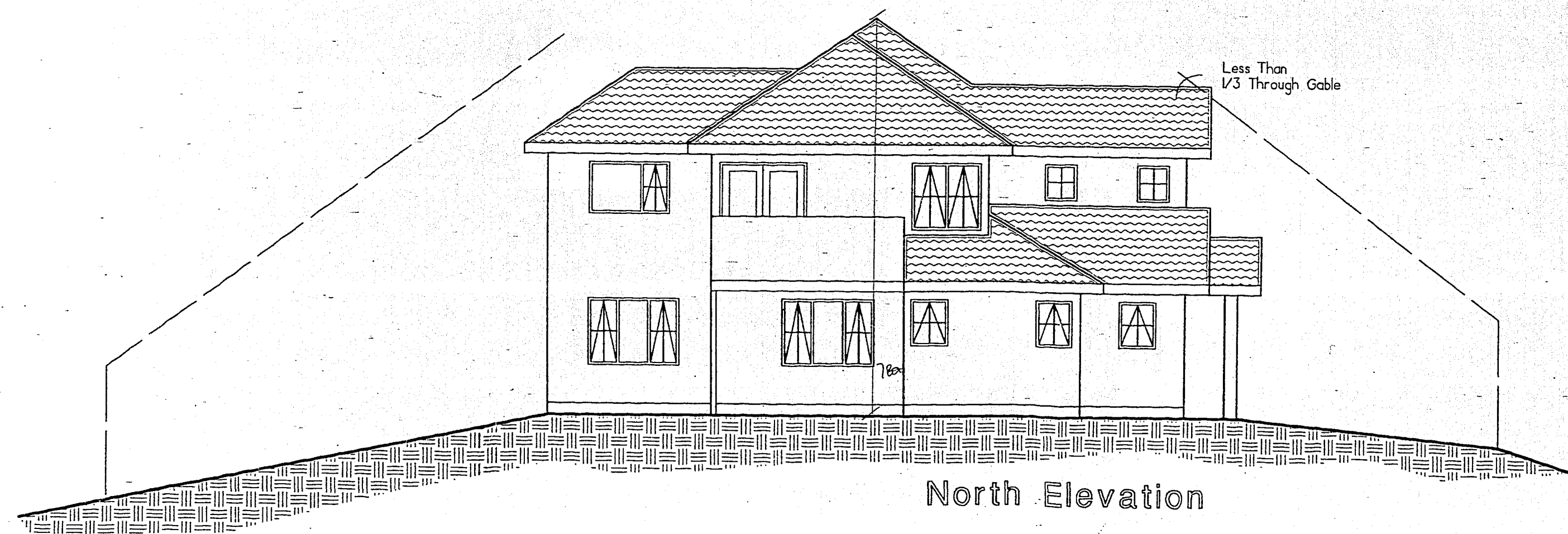
Date : 02 August 1996
Designed : Andrew McCulloch
Drawn : AM
Checked :
Scale(s) : 1:100
Ref. number : Darren

Project Number Sheet Number

106-R1



West Elevation



North Elevation

*This building requires:
Foundation Inspection
Sub-floor Inspection
Prelining Inspection
24 hours' notice, please.*

- ☒ All Dimensions are to be checked on Site Prior to Construction. Do Not Scale From Drawings
- ☒ Final levels and excavation to be determined by owner and contractor on site

NOTE:
ALL WORK TO COMPLY WITH THE NEW ZEALAND BUILDING CODE AND APPROVED DOCUMENTS. TO BE BUILT IN ACCORDANCE WITH NEW ZEALAND STANDARD 3604. LIGHT TIMBER FRAMED CONSTRUCTION. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS CURRENT RECONENDATIONS

Key Plan

Project

Lot 23
No 181 Tirohanga Road
Harbour View
Lower Hutt

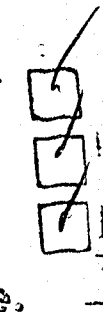
Date : 02 August 1996
Designed : Andrew McCullie
Drawn : AM
Checked :
Scale(s) : 1:100
Ref. number : Darren

Project Number Sheet Number

105



This building requires:
 Foundation Inspection
 Sub-floor Inspection
 Preliminary Inspection
 24 hours notice, please.



All Dimensions are to be checked
 on Site Prior to Construction.
 Do Not Scale From Drawings

Final levels and excavation
 to be determined by owner
 and contractor on site

NOTE:
 ALL WORK TO COMPLY
 WITH THE NEW ZEALAND
 BUILDING CODE AND
 APPROVED DOCUMENTS.
 TO BE BUILT IN
 ACCORDANCE WITH
 NEW ZEALAND STANDARD
 3604. LIGHT TIMBER
 FRAMED CONSTRUCTION.
 ALL MATERIALS TO BE
 INSTALLED IN ACCORDANCE
 WITH MANUFACTURERS
 CURRENT RECONENDATIONS

Key Plan

Project

Lot 23
 No 181 Tirohanga Road
 Harbour View
 Lower Hutt

Date : 02 August 1996
 Designed : Andrew McCollie
 Drawn : AM
 Checked :
 Scale(s) : H00
 Ref. number : Darren

Project Number : Sheet Number

106

This building requires:
Foundation Inspection
Sub-floor Inspection
Proline Inspection
24 hours' notice, please.



All Dimensions are to be checked on Site Prior to Construction. Do Not Scale From Drawings

Final levels and excavation to be determined by owner and contractor on site

NOTE:
 ALL WORK TO COMPLY WITH THE NEW ZEALAND BUILDING CODE AND APPROVED DOCUMENTS. TO BE BUILT IN ACCORDANCE WITH NEW ZEALAND STANDARD 3604. LIGHT TIMBER FRAMED CONSTRUCTION. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS CURRENT RECONENDATIONS

Note:
 Sloping Ceiling Over Entry & Gallery Only

Trusses @ 900 Crs

35 Deg First Floor ONLY

DETAIL 8

DETAIL 11

Living

Gallery

9.5mm Gib On Battens

9.5mm Gib On Battens

Family

Deck

Deck

Joists: Refer To Floor Framing

DETAIL 10

Garage

9.5mm Gib On Battens

Laundry

Entry

Bed 2

DETAIL 2

DETAIL 4

DETAIL 3

Key Plan

Project

Lot 23
 No 181 Tirohanga Road
 Harbour View
 Lower Hutt

Date : 10 August 1996
 Designed : Andrew McCulloch
 Drawn : AM
 Checked :
 Scale(s) : 1:50
 Ref. number : Darren

Project Number Sheet Number

Section A - A

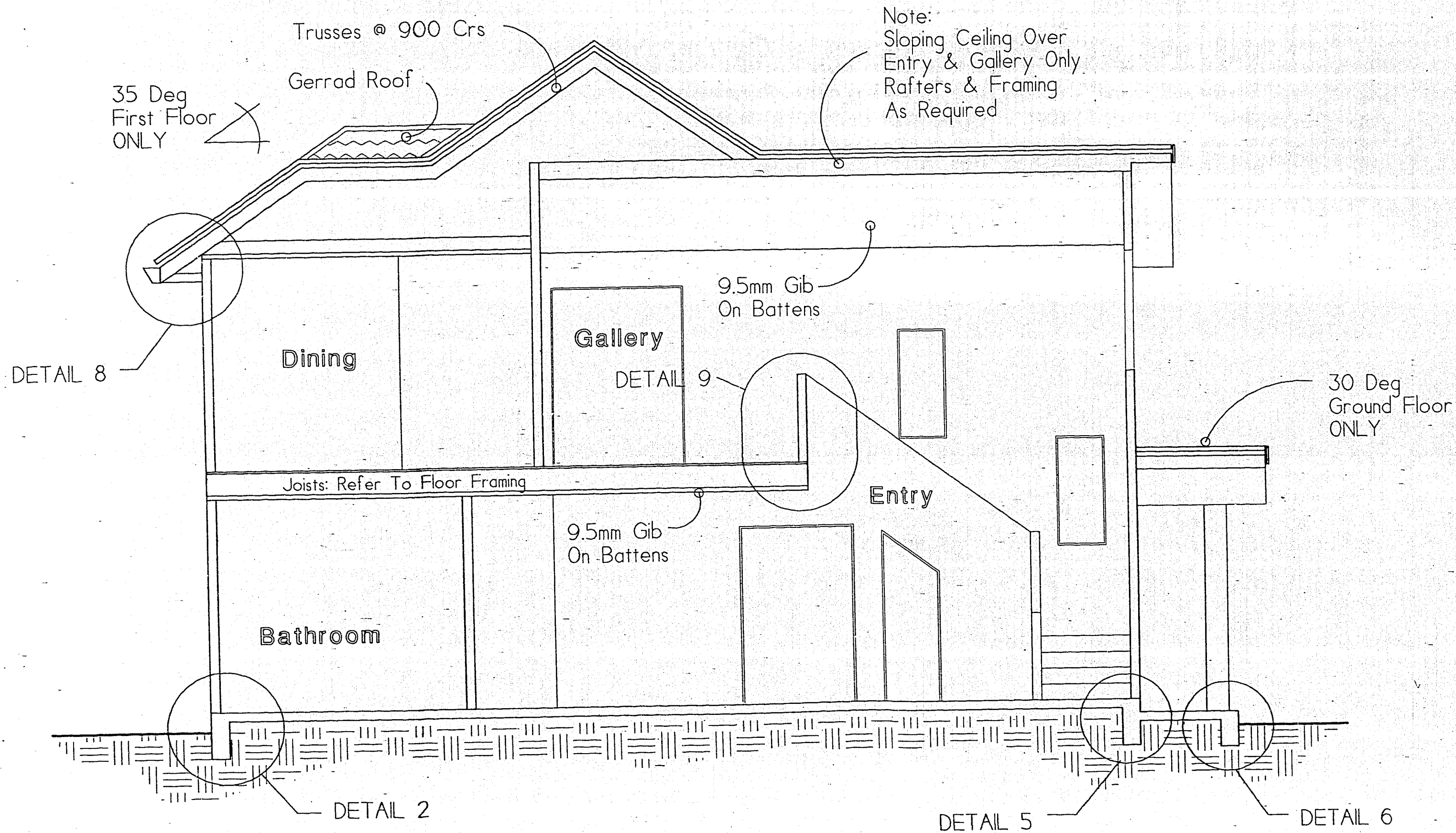
107

This building requires:
Foundation Inspection
Sub-floor Inspection
Prelining Inspection
24 hours' notice, please.

☒ All Dimensions are to be checked on Site Prior to Construction. Do Not Scale From Drawings

☒ Final levels and excavation to be determined by owner and contractor on site

NOTE:
 ALL WORK TO COMPLY WITH THE NEW ZEALAND BUILDING CODE AND APPROVED DOCUMENTS. TO BE BUILT IN ACCORDANCE WITH NEW ZEALAND STANDARD 3604. LIGHT TIMBER FRAMED CONSTRUCTION. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS CURRENT RECONENDATIONS



Key Plan

Project

Lot 23
No 181 Tirohanga Road
Harbour View
Lower Hutt

Date : 10 August 1996
 Designed : Andrew McCulloch
 Drawn : AM
 Checked :
 Scale(s) : 1:50
 Ref. number : Darren

Project Number Sheet Number

108

Section B - B

This building requires:
 Foundation Inspection ☒
 Sub-floor Inspection ☒
 Preliminary Inspection ☒
 24 hours' notice, please.

All Dimensions are to be checked
 on Site Prior to Construction.
 Do Not Scale From Drawings

Final levels and excavation
 to be determined by owner
 and contractor on site

NOTE:
 ALL WORK TO COMPLY
 WITH THE NEW ZEALAND
 BUILDING CODE AND
 APPROVED DOCUMENTS.
 TO BE BUILT IN
 ACCORDANCE WITH
 NEW ZEALAND STANDARD
 3604. LIGHT TIMBER
 FRAMED CONSTRUCTION.
 ALL MATERIALS TO BE
 INSTALLED IN ACCORDANCE
 WITH MANUFACTURERS
 CURRENT RECONENDATIONS

Key Plan

Project

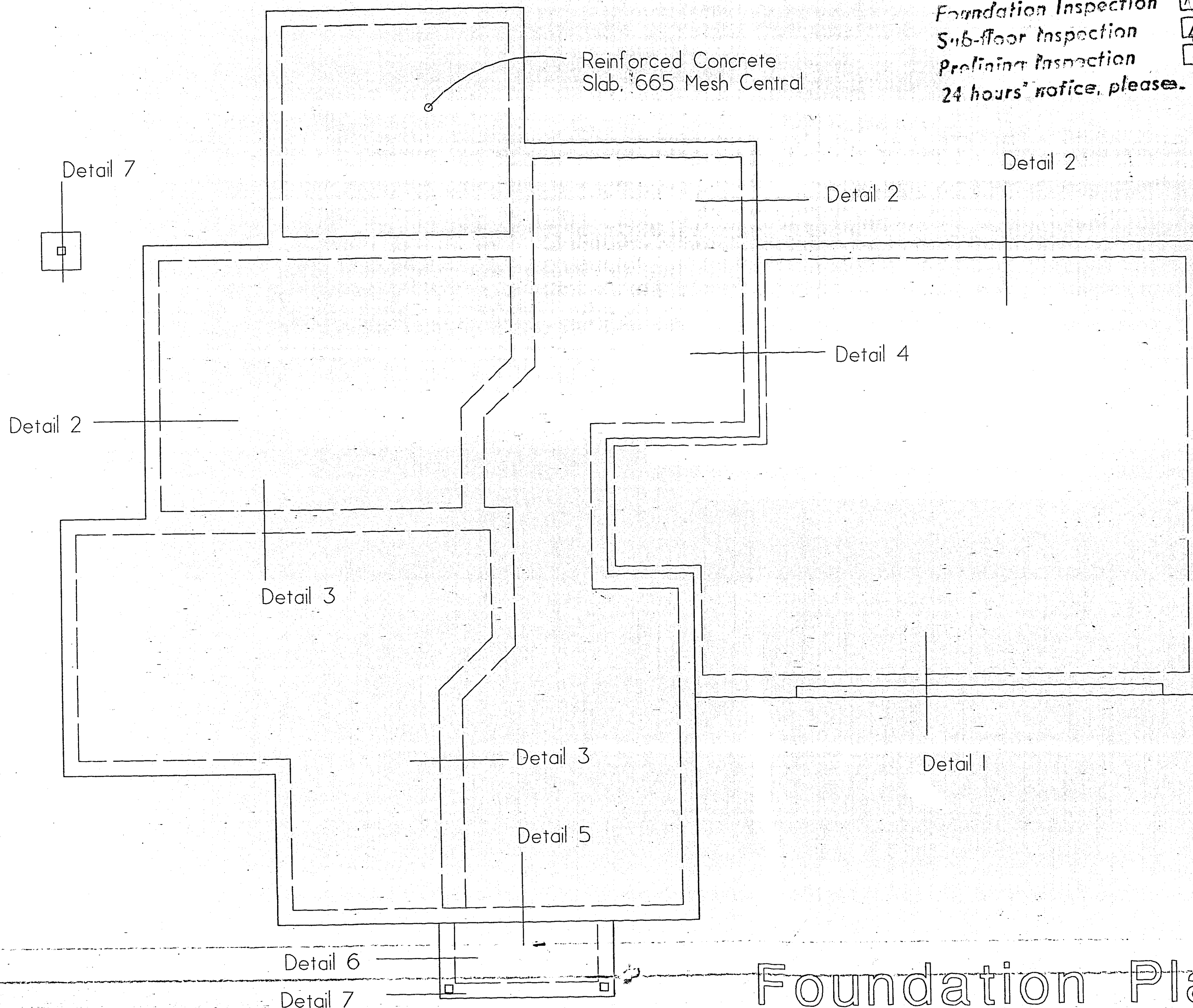
Lot 23
 No 181 Tirohanga Road
 Harbour View
 Lower Hutt

Date : 10 August 1996
 Designed : Andrew McCulloch
 Drawn : AM
 Checked :
 Scale(s) : 1:50
 Ref. number : Darren

Project Number : Sheet Number

Foundation Plan

109



This building requires:
 Foundation Inspection
 Sub-floor Inspection
 Prelining Inspection
 48 hours' notice, please.

NOTE:
 All Beams, Lintels & Girder
 Trusses Designed By
 Placemakers Seaview

200x50 Joists
 Over Deck @
 600 Crs, Cut
 Down To Falls

All Dimensions are to be checked
 on Site Prior to Construction.
 Do Not Scale From Drawings

Final levels and excavation
 to be determined by owner
 and contractor on site

NOTE:
 ALL WORK TO COMPLY
 WITH THE NEW ZEALAND
 BUILDING CODE AND
 APPROVED DOCUMENTS.
 TO BE BUILT IN
 ACCORDANCE WITH
 NEW ZEALAND STANDARD
 3604, LIGHT TIMBER
 FRAMED CONSTRUCTION.
 ALL MATERIALS TO BE
 INSTALLED IN ACCORDANCE
 WITH MANUFACTURERS
 CURRENT RECONENDATIONS

Key Plan

Project

Lot 23
 No 181 Tirohanga Road
 Harbour View
 Lower Hutt

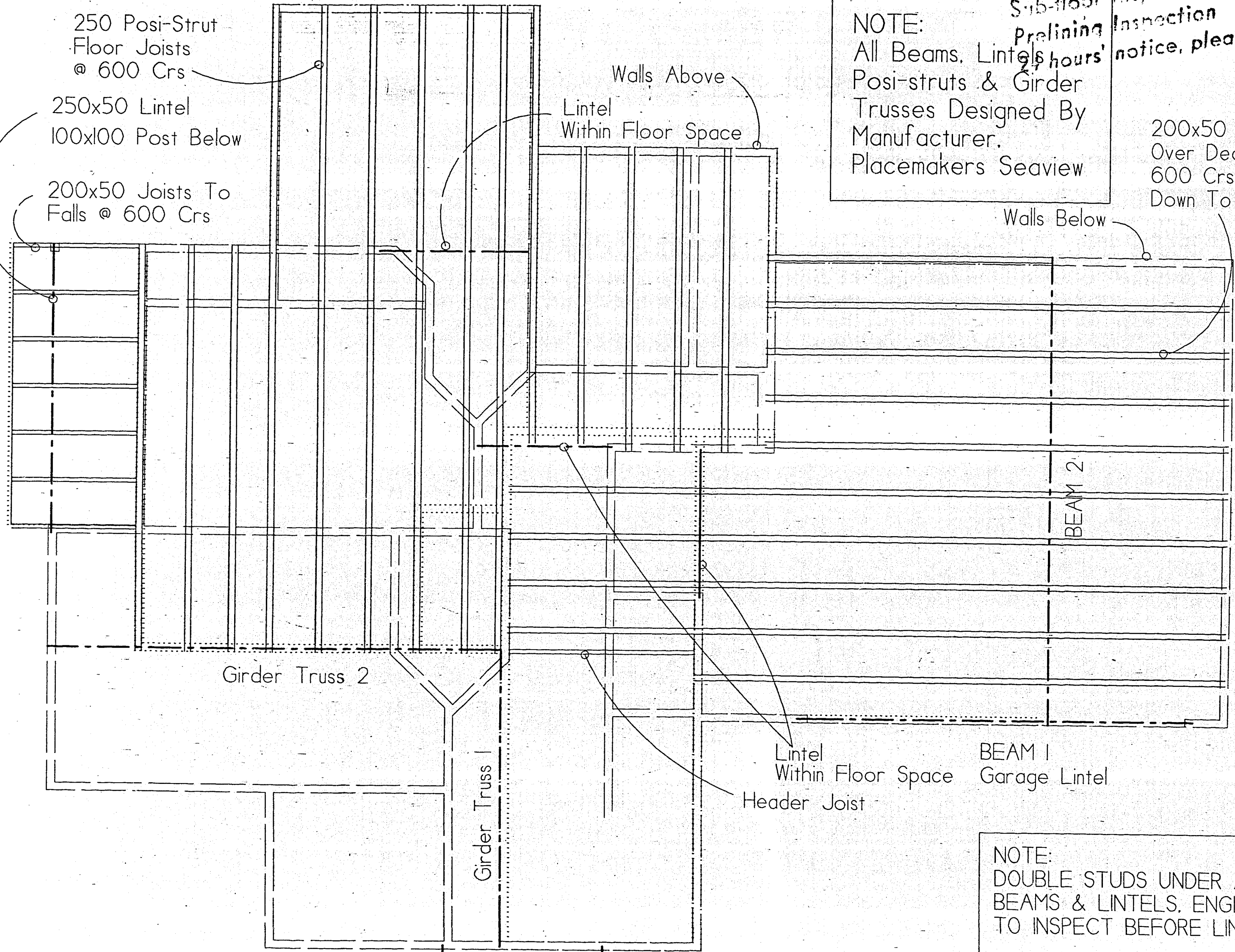
Date : 10 August 1996
 Designed : Andrew McCullie
 Drawn : AM
 Checked :
 Scale(s) : 1:50
 Ref. number : Darren

Project Number : Sheet Number

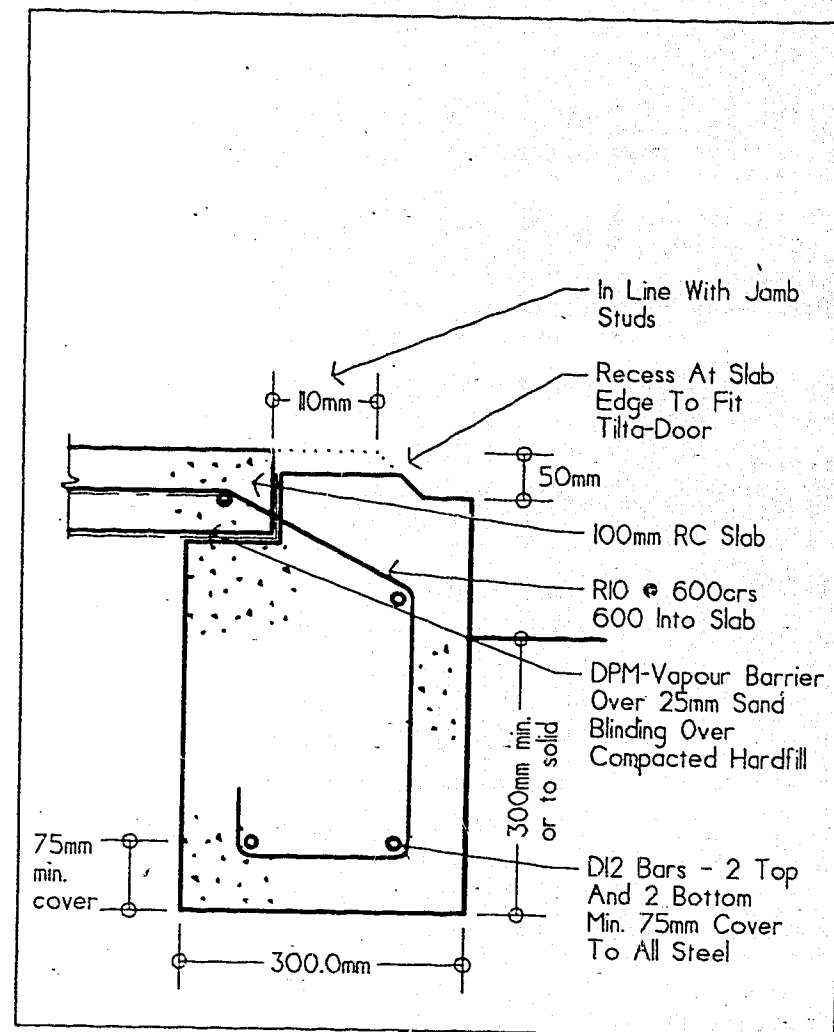
110

Framing Plan

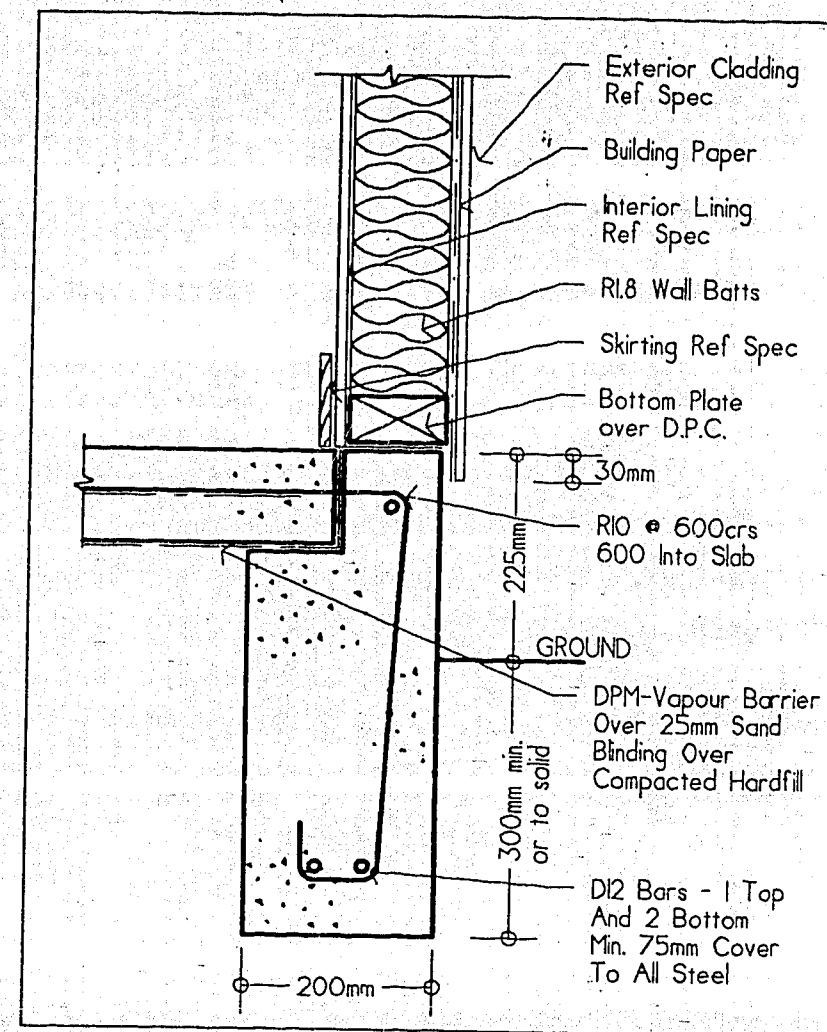
2/150x50 Lintels
 100x100 Post Below



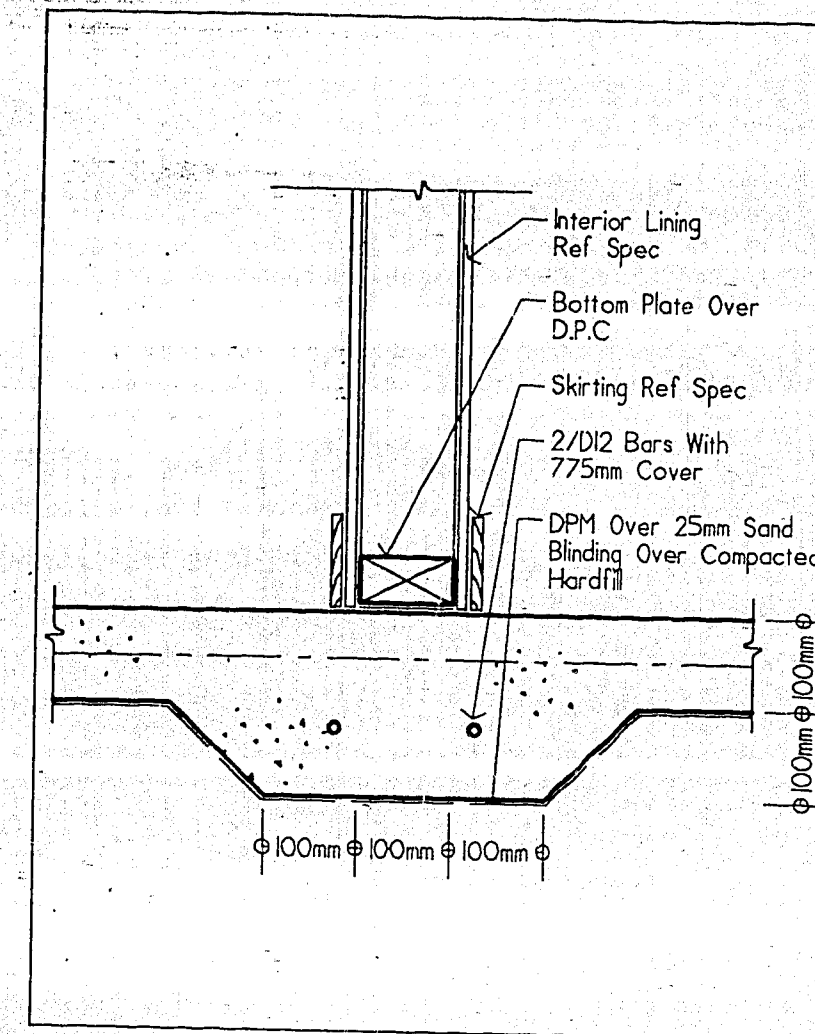
NOTE:
 DOUBLE STUDS UNDER ALL
 BEAMS & LINTELS. ENGINEER
 TO INSPECT BEFORE LINING.



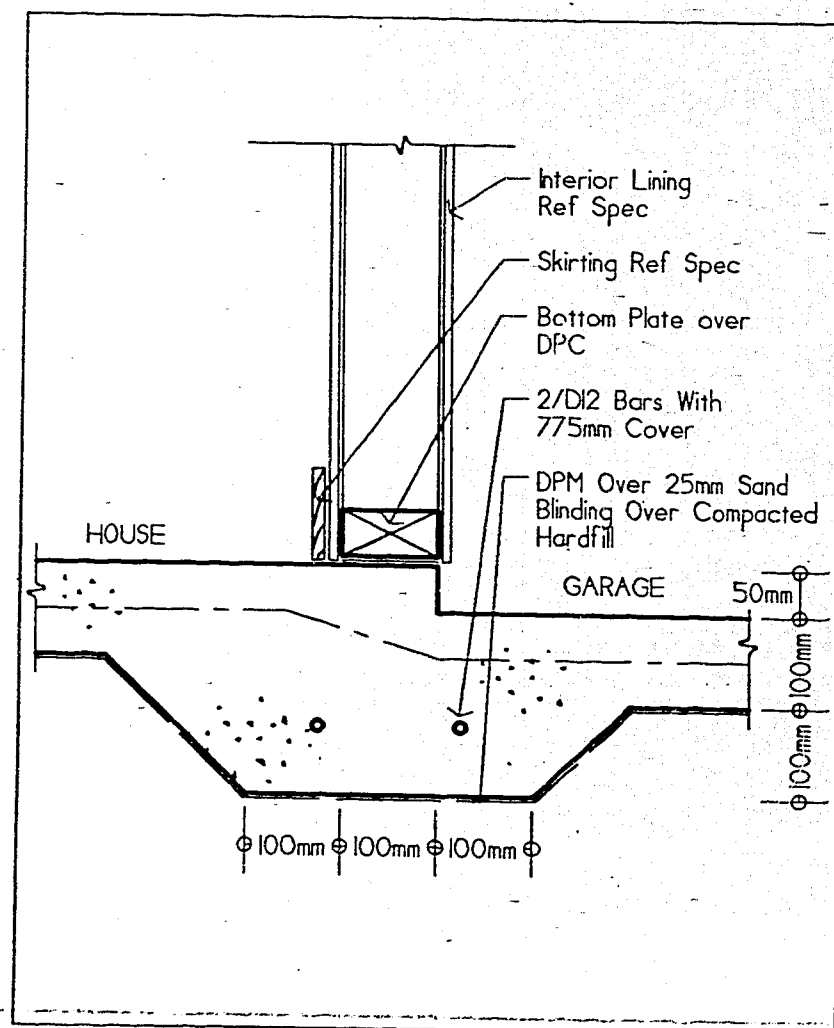
DETAIL 1



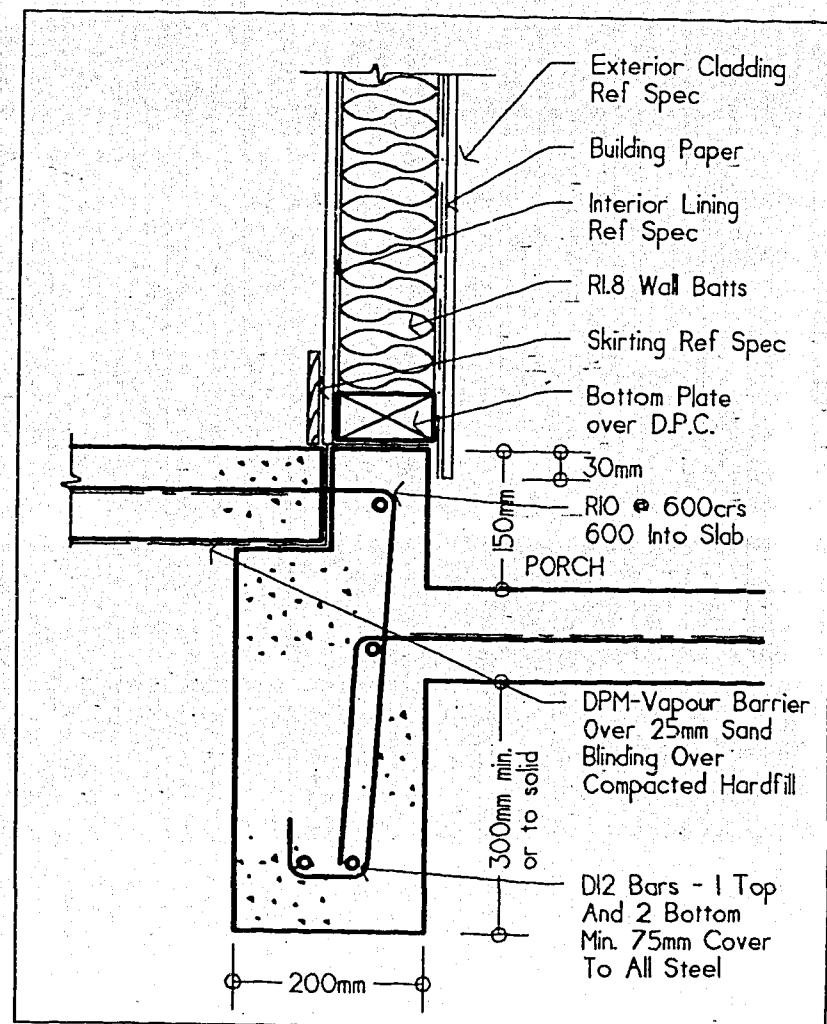
DETAIL 2



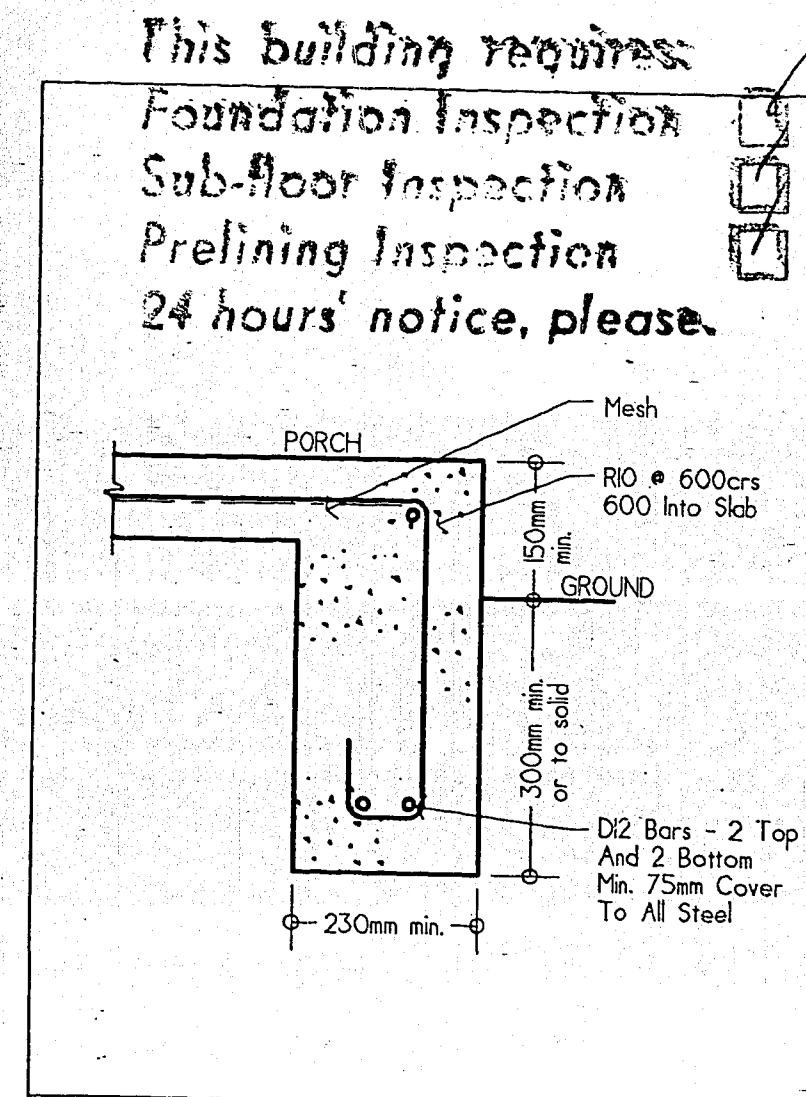
DETAIL 3



DETAIL 4



DETAIL 5



DETAIL 6

This building requires:

Foundation Inspection ☒

Sub-floor Inspection ☒

Prelining Inspection ☒

24 hours' notice, please.

All Dimensions are to be checked on Site Prior to Construction. Do Not Scale From Drawings

Final levels and excavation to be determined by owner and contractor on site

NOTE:
ALL WORK TO COMPLY WITH THE NEW ZEALAND BUILDING CODE AND APPROVED DOCUMENTS. TO BE BUILT IN ACCORDANCE WITH NEW ZEALAND STANDARD 3604. LIGHT TIMBER FRAMED CONSTRUCTION. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS CURRENT RECONENDATIONS

Key Plan

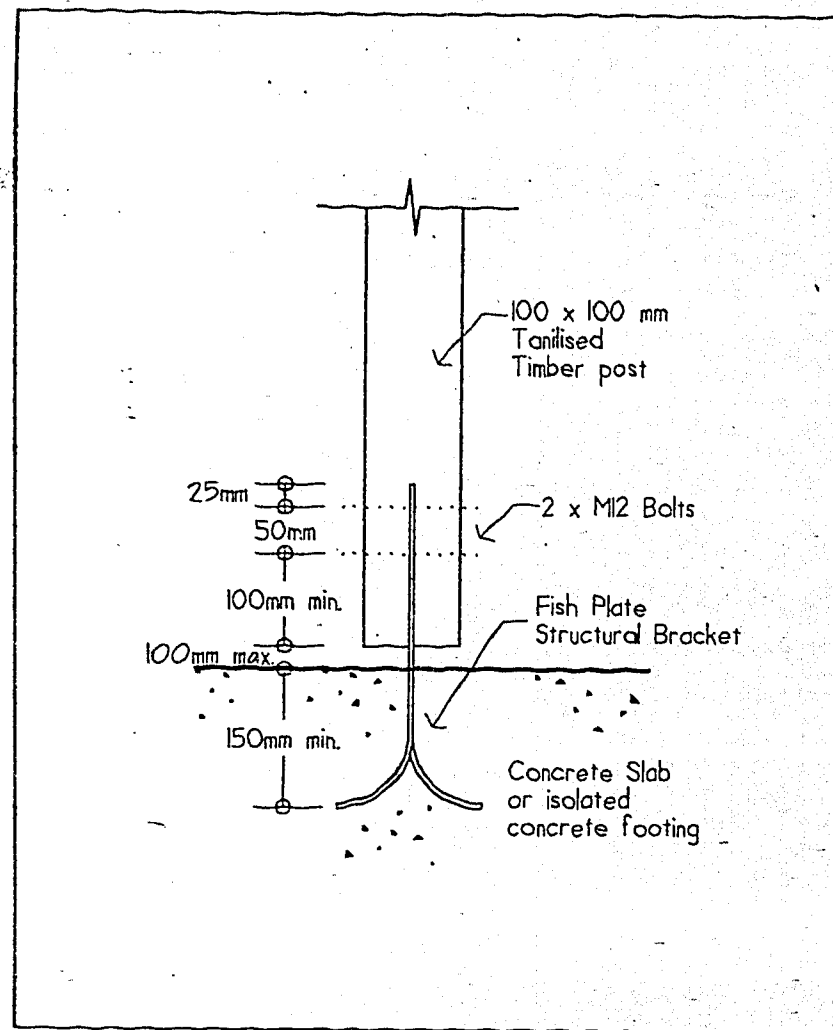
Project

Lot 23
No 181 Tirohanga Road
Harbour View
Lower Hutt

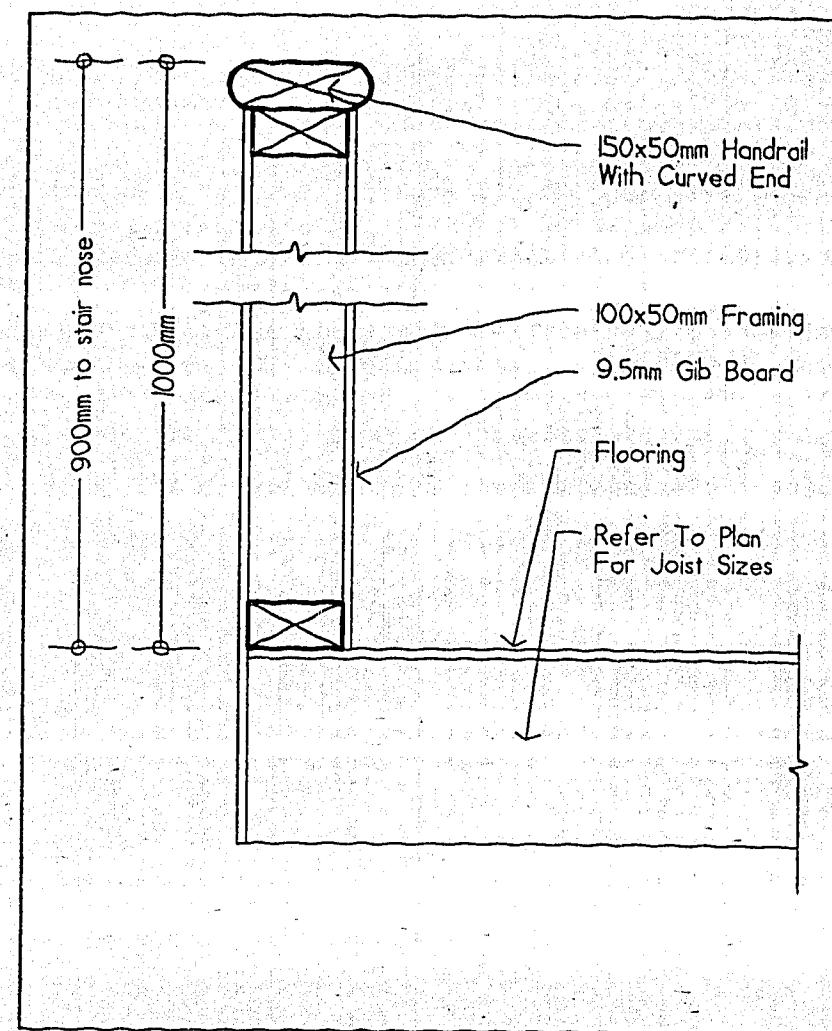
Date : 02 August 1996
Designed : Andrew McCullie
Drawn : AM
Checked :
Scale(s) : H00
Ref. number : Darren

Project Number Sheet Number

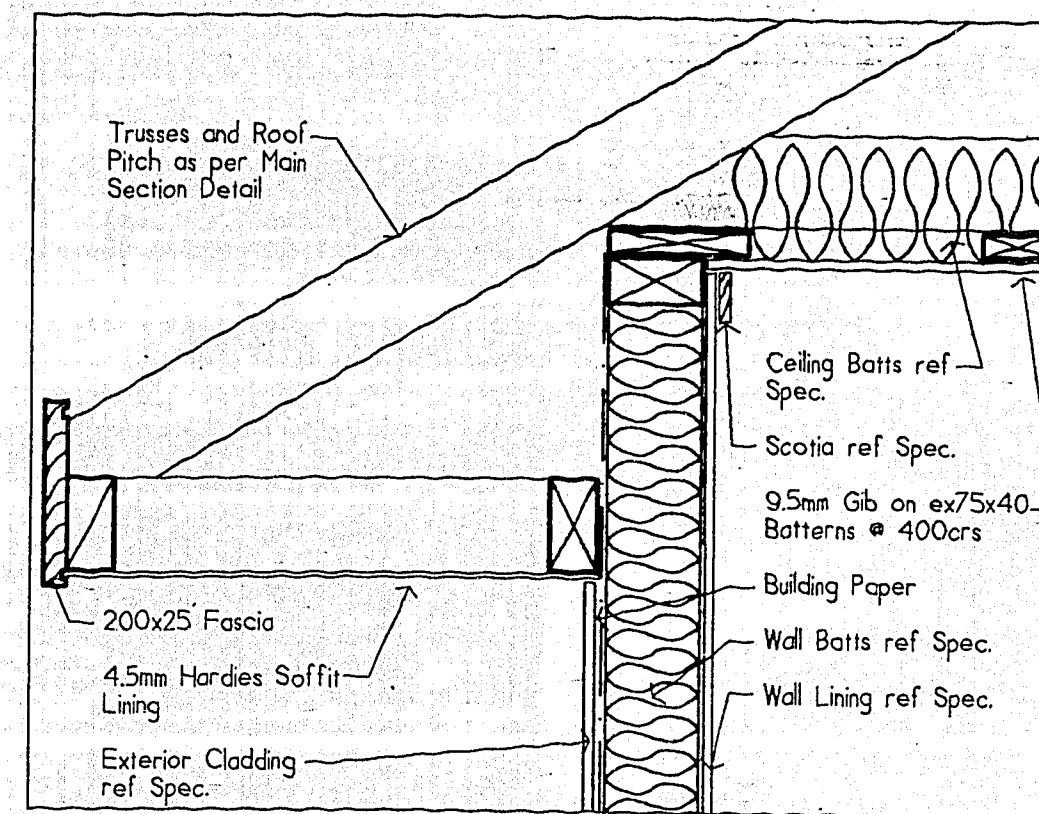
111



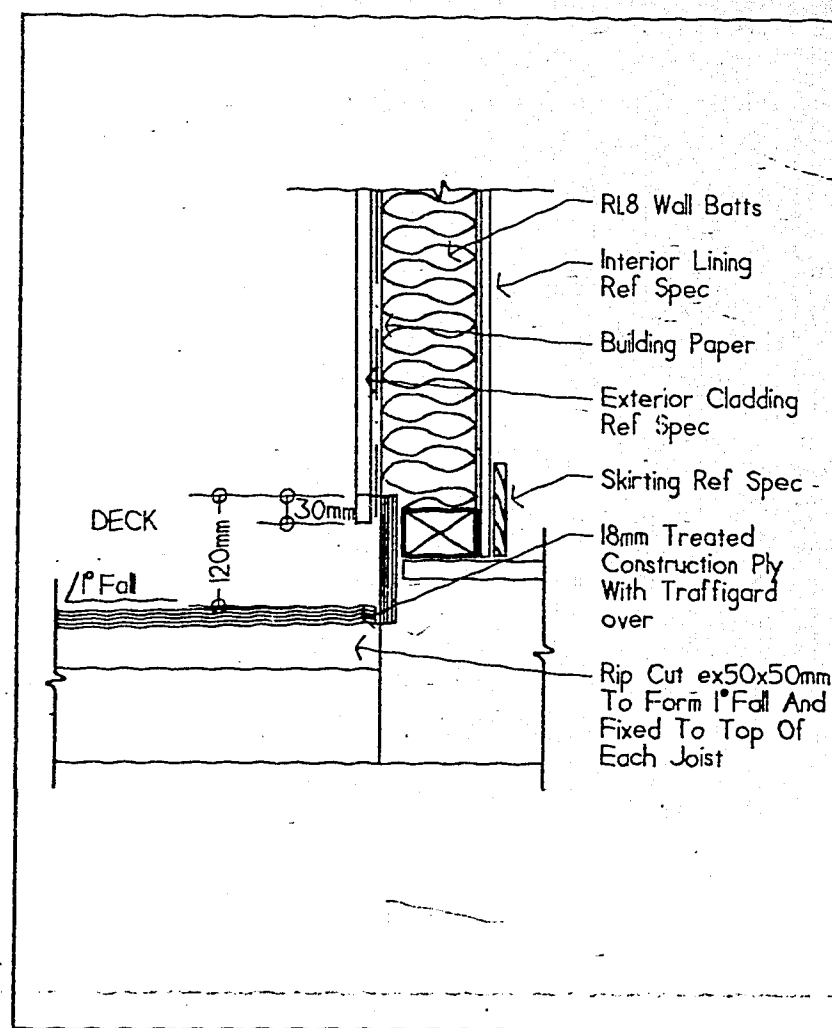
DETAIL 7



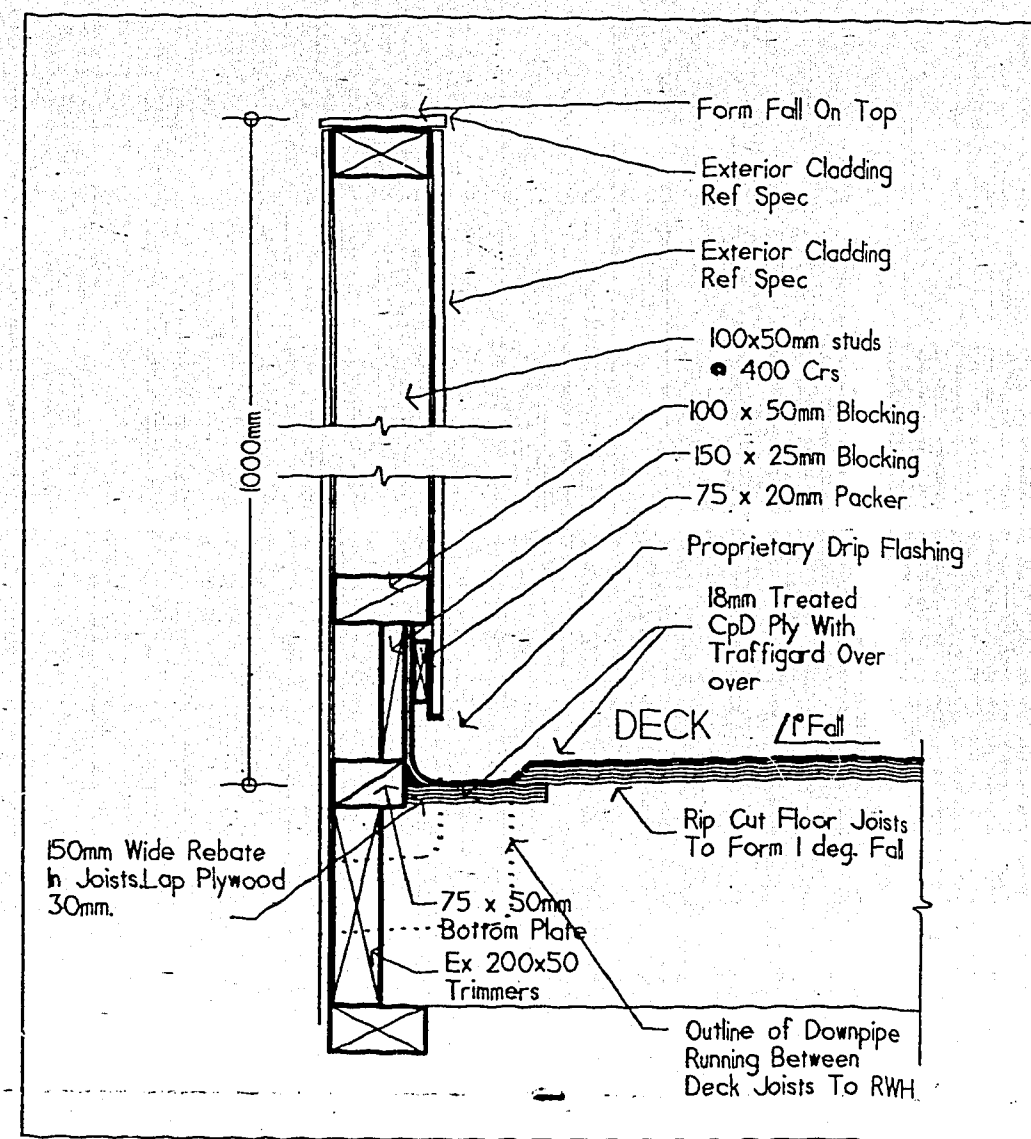
DETAIL 8



DETAIL 9



DETAIL 10



DETAIL 11

This building requires:
 Foundation Inspection ☐
 Sub-floor Inspection ☐
 Prelining Inspection ☐
 24 hours' notice, please.

All Dimensions are to be checked
 on Site Prior to Construction.
 Do Not Scale From Drawings

Final levels and excavation
 to be determined by owner
 and contractor on site

NOTE:
 ALL WORK TO COMPLY
 WITH THE NEW ZEALAND
 BUILDING CODE AND
 APPROVED DOCUMENTS.
 TO BE BUILT IN
 ACCORDANCE WITH
 NEW ZEALAND STANDARD
 3604. LIGHT TIMBER
 FRAMED CONSTRUCTION.
 ALL MATERIALS TO BE
 INSTALLED IN ACCORDANCE
 WITH MANUFACTURERS
 CURRENT RECOMMENDATIONS

Key Plan

Project

Lot 23
 No 181 Tirohanga Road
 Harbour View
 Lower Hutt

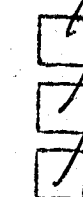
Date : 02 August 1996
 Designed : Andrew McCulloch
 Drawn : AM
 Checked :
 Scale(s) : H00
 Ref. number : Darren

Project Number Sheet Number

112

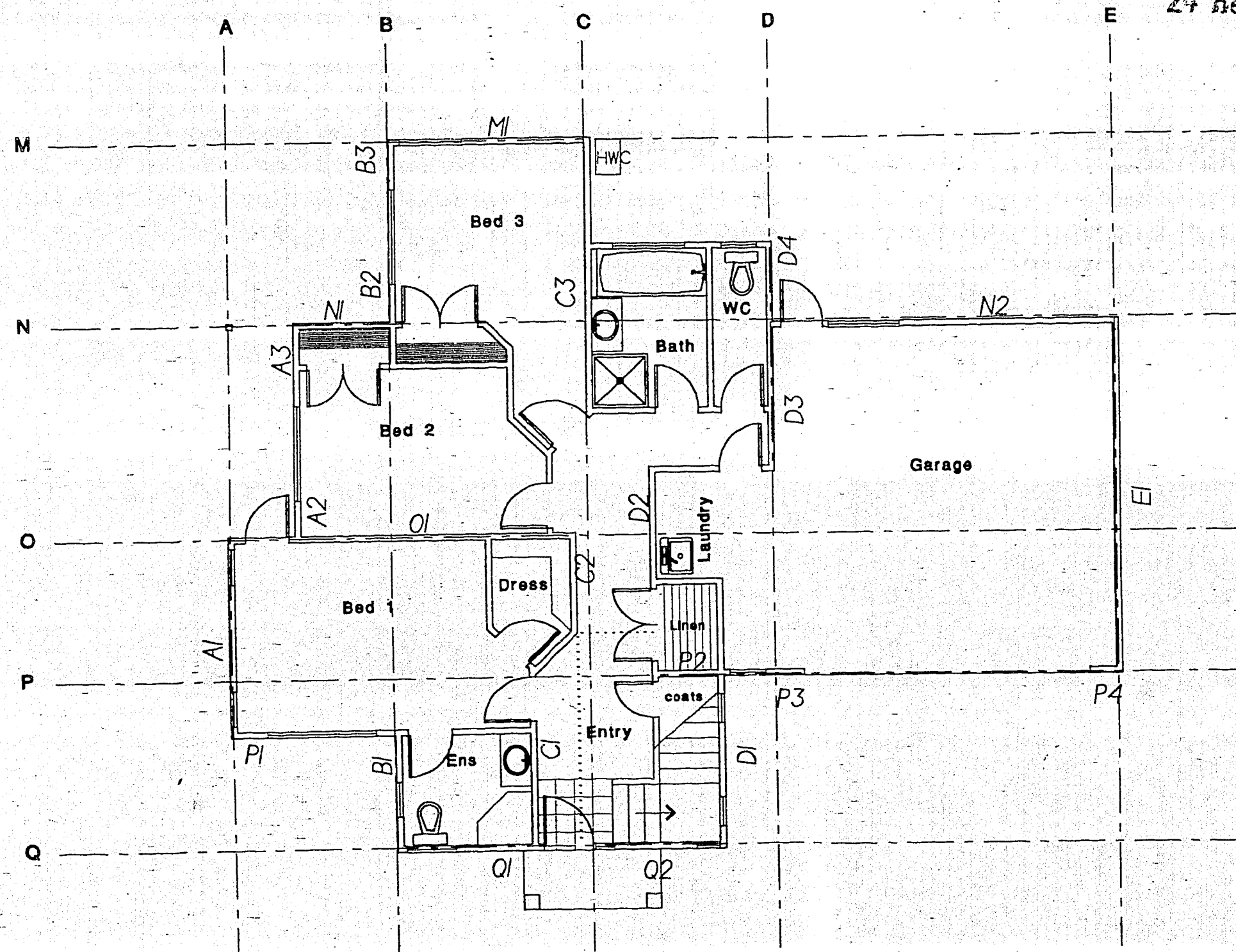
All Dimensions are to be checked
on Site Prior to Construction.
Do Not Scale From Drawings

This building requires:
Foundation Inspection
Sub-floor Inspection
Prelining Inspection
24 hours' notice, please.



Final levels and excavation
to be determined by owner
and contractor on site

NOTE:
ALL WORK TO COMPLY
WITH THE NEW ZEALAND
BUILDING CODE AND
APPROVED DOCUMENTS.
TO BE BUILT IN
ACCORDANCE WITH
NEW ZEALAND STANDARD
3604. LIGHT TIMBER
FRAMED CONSTRUCTION.
ALL MATERIALS TO BE
INSTALLED IN ACCORDANCE
WITH MANUFACTURERS
CURRENT RECONENDATIONS



Key Plan

Project

Lot 23
No 181 Tirohanga Road
Harbour View
Lower Hutt

Date : 02 August 1996
Designed : Andrew McCulloch
Drawn : AM
Checked :
Scale(s) : 1:100
Ref. number : Darren

Project Number Sheet Number

113

Ground Floor
Area 119 M2

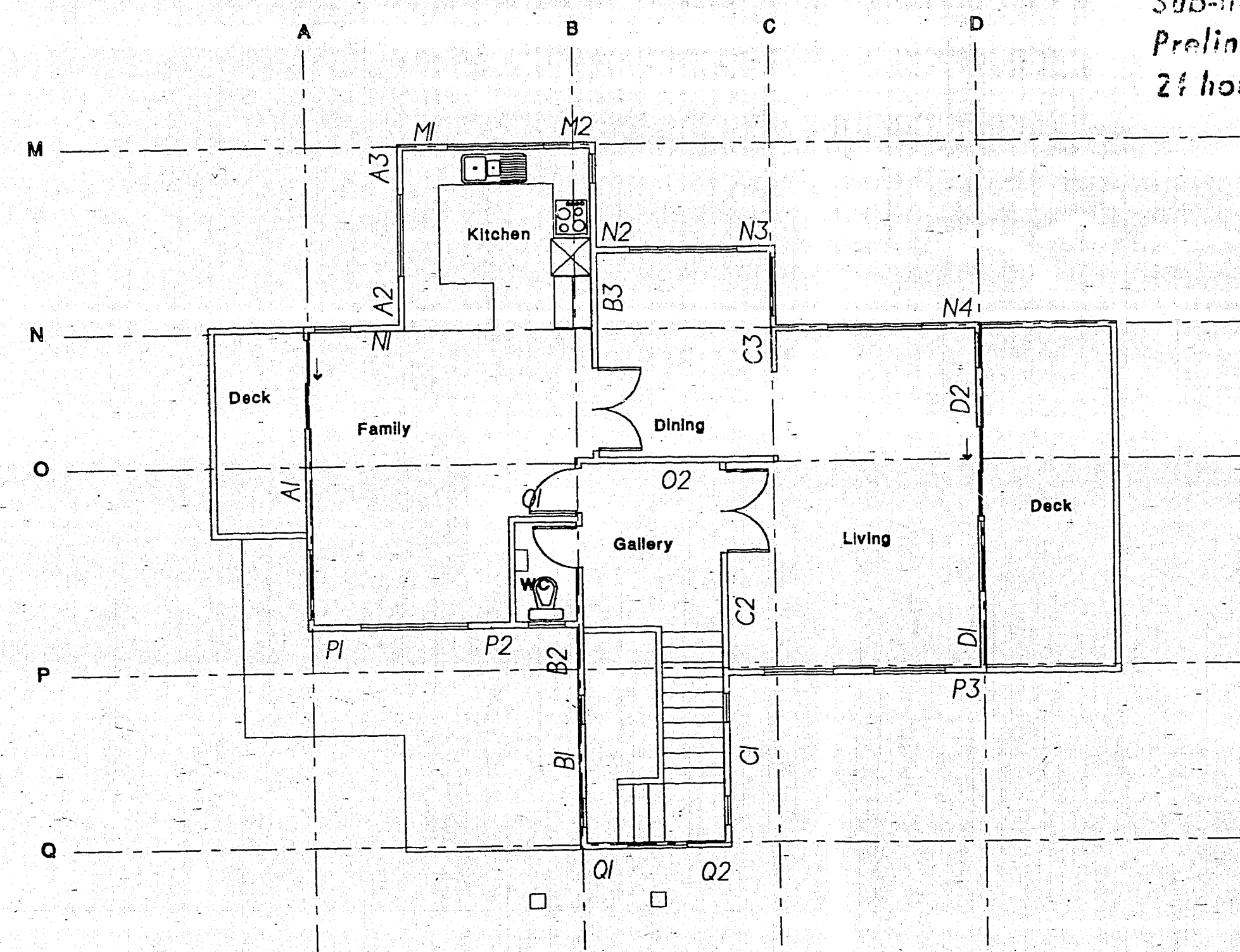
Ground Floor Bracing Plan

All Dimensions are to be checked
on Site Prior to Construction.
Do Not Scale From Drawings

Final levels and excavation
to be determined by owner
and contractor on site

NOTE:
ALL WORK TO COMPLY
WITH THE NEW ZEALAND
BUILDING CODE AND
APPROVED DOCUMENTS.
TO BE BUILT IN
ACCORDANCE WITH
NEW ZEALAND STANDARD
3604. LIGHT TIMBER
FRAMED CONSTRUCTION.
ALL MATERIALS TO BE
INSTALLED IN ACCORDANCE
WITH MANUFACTURERS
CURRENT RECOMMENDATIONS

This building requires:
Foundation Inspection ☒
Sub-floor Inspection ☒
Prelining Inspection ☒
24 hours' notice, please.



Key Plan

Project

Lot 23
No 181 Tirchanga Road
Harbour View
Lower Hutt

Date : 02 August 1996
Designed : Andrew McCullie
Drawn : AM
Checked :
Scale(s) : 1:100
Ref. number : Darren

Project Number Sheet Number

114

First Floor
Area 80 M2

First Floor Bracing Plan

P 3097711

181
Street: Tirohanga Road D.P. 72065 Lot: 23

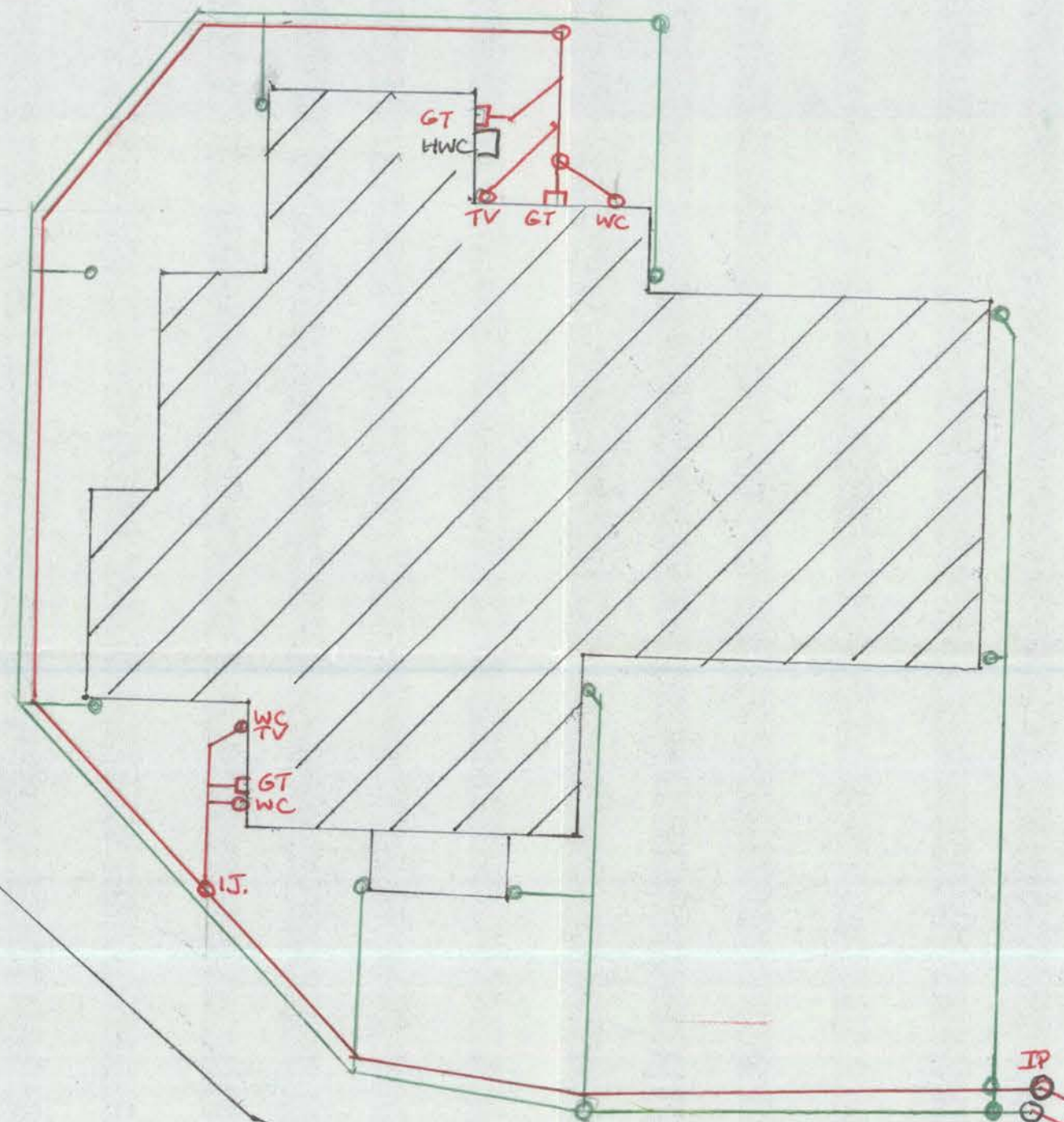
BUILDING PERMIT RECORD

Owner: M. Sears

TYPE OF JOB	BUILDER	VALUE	DATE OF PERMIT	PERMIT No.
New Dwg	J. Rogers	\$140,000	27/1/97	Full CC
ABs + Add	M. Robinson	\$65,000	21.8.96 Amended 23.10.01 8.10.2001	P+EC 18/12/96 960727 P+EC CC 211407 17.7.07

SEE REVERSE SIDE FOR FEES PAID

181 TIROHANGA RD
14/1/97
DRAINLAYER: DIAL-A-PLUMBER LTD
SCALE 1:100



row.

SURVEYORS • ENGINEERS • ARCHITECTS • PLANNERS • VALUERS

SURVEY HOUSE • 4 FRANKMOORE AVENUE • JOHNSONVILLE • WELLINGTON 4
P.O. BOX 13142 • JOHNSONVILLE • WELLINGTON 4
TEL. 780-342 • TELEX Mnsan NZ30032 • FAX 789-416



DIRECTORS: H. W. HUNTER, J.P., F.N.Z.I.S., A.N.Z.I.V., M.P.M.I.; R.G.S. CALLENDER, M.N.Z.I.S., M.P.M.I.; N. B. BEACH, J.P., B.E. (HONS), M.I.C.E., M.A.S.C.E., F.I.P.E.N.Z.;
B. K. SHEARER, M.N.Z.I.S., F.P.M.I.; I. C. LEVY, M.I.P.E.N.Z.; K. C. CLARK, B. ARCH., A.N.Z.I.A.; A. M. SEYB, DIP. SURV., M.N.Z.I.S.; W. I. LOUDEN, M.N.Z.I.S., L.S. (BRUNE),
L.S. (SAUD); G. D. WALKER, B.E. (HONS), B.C.A., M.I.P.E.N.Z.; I. M. PRENTICE, B.SC., M.N.Z.I.S.
ASSOCIATES: D. P. BLACK, DIP. T.P., M.N.Z.P.I., M.N.Z.I.S.; B. R. SILVESTER, M.N.Z.I.S.

OUR REFERENCE:

89/167

YOUR REFERENCE:

7 February 1990

The Group Manager Works
Lower Hutt City Council
Private Bag
LOWER HUTT

ATTENTION: Mr P.M. Newman

Dear Sir

**RE: FLETCHER RESIDENTIAL LTD
TIROHANGA - STAGE 1 - WATER SUPPLY**

Thank you for your letter of 17 January 1990, regarding the water supply cost sharing and connections to existing reticulation.

We have received from the main Contractor - Green and McCahill Ltd, the attached schedule totalling \$15,070.00 for the various works involved in extending the existing 150 mm watermain in Viewmont Drive as far as the tee at the entrance of the right of way giving access to Tirohanga Reservoir.

Our clients contract with Green & McCahill Ltd is a measure and value type contract in terms of NZS 3910 and minor variations may occur to the quantities (and hence cost) shown in the schedule.

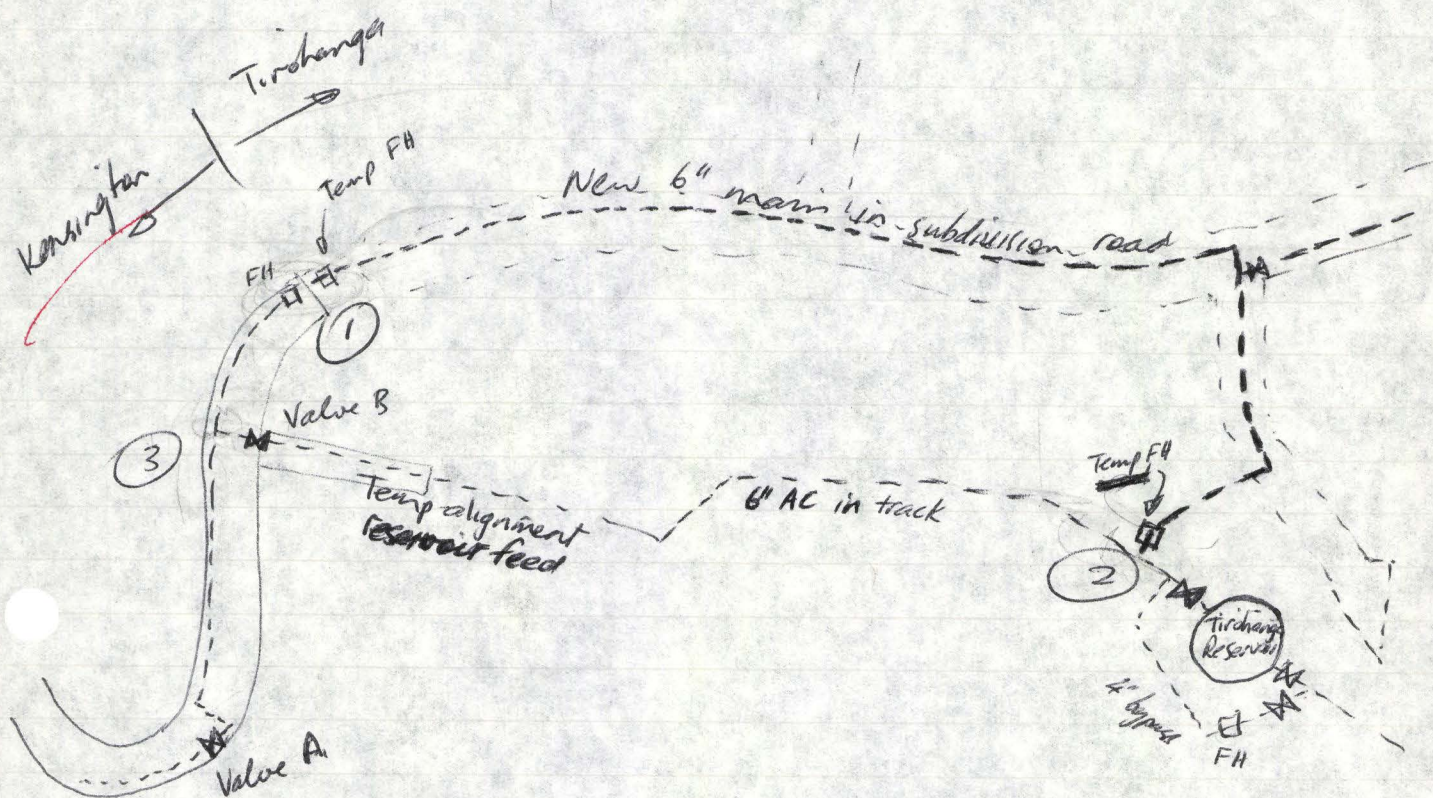
As requested in subsequent discussions, we, subject to your concurrence, will issue and certify progress payment(s) to your Council on a monthly basis for the works.

There will be no retentions as such held on these payment(s) but please note that the retentions in our clients total contract with Green and McCahill far exceed the value of the proposed works and your interests are therefore protected. Normal aslaid records will be compiled by us and included in the asbuilt plan to be provided on our client's behalf.

Would you please advise of procedure, timing (notices) and estimated costs (if any) for your Council's connections of new to existing mains.

Yours faithfully
TRUEBRIDGE CALLENDER BEACH LTD

Per IAN McBRIDE



① Connect up

- 1) Lay new main with dead end hydrants temporary, test and chlorinate
- 2) Shut down supply ^(Value A) and connect up at ①
- 3) Shut down supply ~~at~~ ^(Value B) (Value A) and connect up at ②
Close Value B.
- 4) Shut down supply and remove tee and valve at temp alignment from Viewmont Drive through ROW.

Tirohanga supply max week 4080 m^3
 : avg day of max week 580 m^3
 Reservoir capacity only 136 m^3

Obviously shut downs for connecting up will have to be achieved in minimum possible time say 2-3 hours only
 : Have separate shut downs as above.

REPORT

1.0 INTRODUCTION

This report presents the results of an investigation to assess the suitability of a block of land between Tirohanga Road and Viewmont Drive in the western hills of Lower Hutt, for Stage 1 of a proposed subdivisional development.

The assessment has been undertaken at the request of Mr. I. Levy of Truebridge Callender Beach Limited. Tonkin & Taylor's letter of engagement dated 8 September 1989 sets out the terms and conditions of our engagement.

2.0 PROCEDURES

Fieldwork for stage 1 of the proposed development comprised a walk-over reconnaissance of the land noting subsoil conditions in cuts and also natural outcrops. As most of the stage 1 development comprises substantial cutting it was considered unnecessary to put down digger pits at this stage.

A desk top study was undertaken of available stereographically paired aerial photographs. We examined stereopaired photographs taken during 1961 (scale 1:17000) and 1988 (scale 1:25000). An enlargement (scale 1:10000) of the 1988 stereopaired photographs was obtained which permitted a more detailed study of the landform and identification of the controlling topographical features within the area proposed for subdivision.

3.0 SITE CONDITIONS

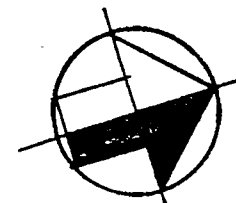
The site of the proposed stage 1 development comprises steep grassed hillside topography. The major topographical feature comprises a ridge having an approximate north-south alignment. A track between Tirohanga Road and Viewmont Drive effectively forms a sidling cut to the east of the ridge line. The eastern flank comprises steep native bush and tree covered hillslopes which falls away to existing houses which front onto an older part of Tirohanga Road. The western flank of the ridge line is moderately steep to steep bush and gorse covered slopes. The western facing slopes form part of a major gully feature the development of which is included in stage 2 of the proposed subdivisional development. There is a broad gully located in the northern part of the site which will be filled during stages 1 and 2 of the proposed development.

4.0 GEOLOGICAL SETTING

The basement rock of the Wellington region comprises Upper Triassic greywacke sandstone and argillite. The greywacke sandstone is dominantly a massive, medium to coarse grained weathered grey wacke sandstone rock which is closely jointed and fractured.

The greywacke rock which underlies the site was observed in natural outcrop on the ridge line and also in cutting adjacent to the track which

Viewmont Drive



Key

- Area of fill.
- Area of Cut.

Tirohanga Reservoir

Proposed through Road.

Tirohanga Road.

Boundary of Stage 1 development.

Reference.

Tuebidge Callender Beach LTD
drawing NO 89-167-5 dated
July 1989.

Scale 1:1000.

TONKIN & TAYLOR LTD

CONSULTING ENGINEERS
REGISTERED SURVEYORS
TOWN PLANNERS

19 Morgan St, Newmarket, Auckland.
101 Moleworth St, Wellington.
7 Hunt St, Whangarei
111 Cameron Rd, Tauranga

**FLETCHER
RESIDENTIAL
LIMITED.**

PROPOSED
SUBDIVISION STAGE 1.
TIROHANGA ROAD
LOWER HUTT.

Location Plan.

DRAWING NO:

W1247-1

DATE

Oct 1989

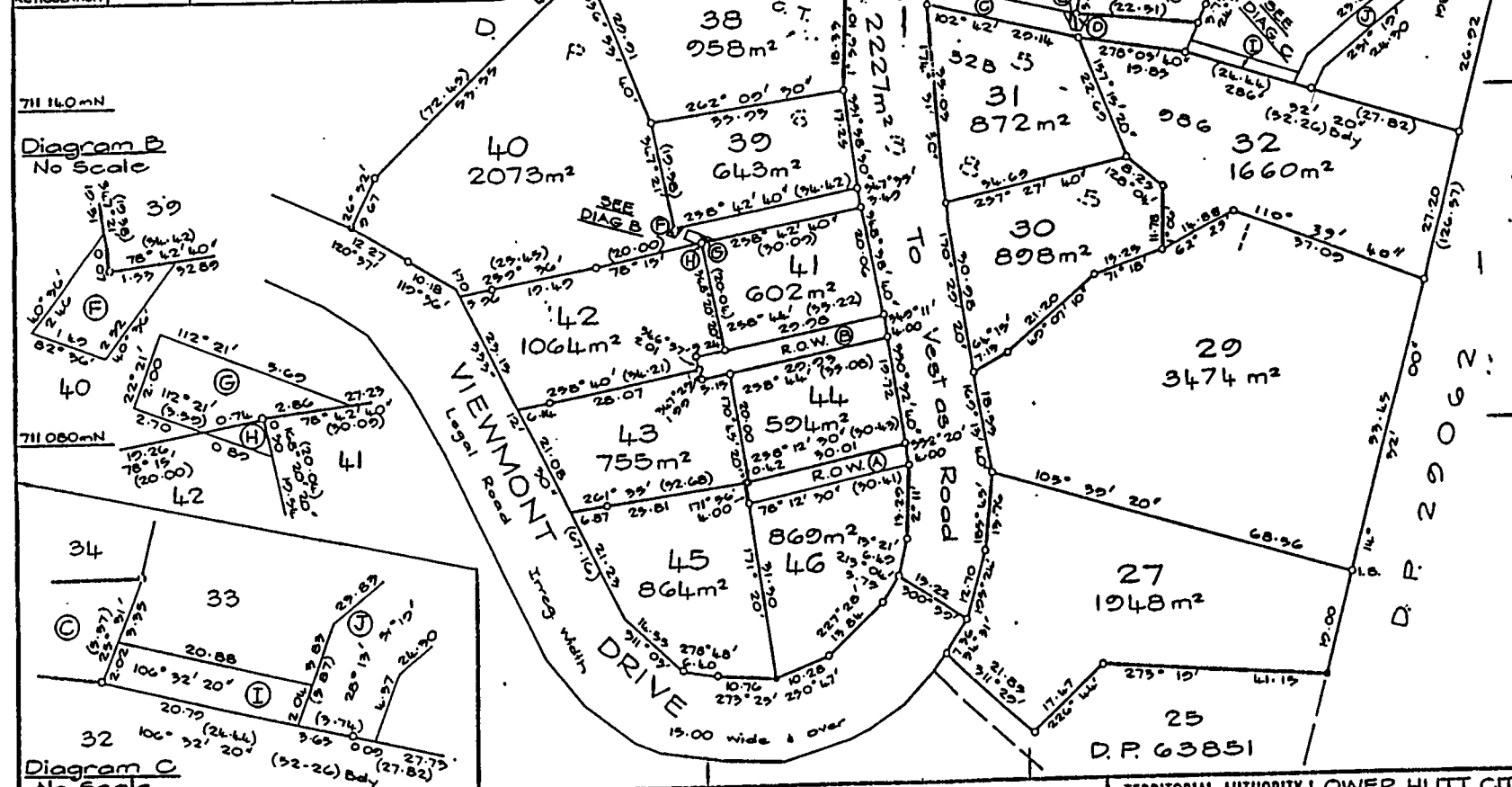
Revision

Page 5 of 10

MEMORANDUM OF EASEMENTS			
PURPOSE	SHOWN	SERV. TEN.	DOM. TEN.
RIGHT OF WAY	A	Lot 46	Lot 45
	B	Lot 42	Lots 45 & 44
	C, D, E	Lot 33	Lots 32 & 34
SEWAGE DRAINAGE	D	Lot 33	Lot 34
	E	Lot 33	Lot 33
SEWAGE & STORMWATER DRAINAGE	F	Lot 40	Lot 33
	G	Lot 40	Lot 41
	H	Lot 42	Lot 41

MEMORANDUM OF EASEMENTS IN GROSS			
PURPOSE	SHOWN	SERV. TEN.	GRANTEE
WATER RETICULATION	C, D, E, I	Lot 33	LOWER HUTT CITY COUNCIL

SCHEDULE OF EXISTING EASEMENT IN GROSS				
PURPOSE	SHOWN	SERV. TEN.	GRANTEE	CREATED BY
WATER RETICULATION	J	Lot 33	LOWER HUTT CITY COUNCIL	T. 767761



PROFESSIONAL LAND SURVEYOR
THE COMMON SEAL OF
REGISTERED OWNER

By John Harrison
John Harrison
 Registered Surveyor

Pursuant to a resolution of the Lower Hutt City Council passed on the 24th day of May 1980 approving and authorizing the granting or reserving of the easements shown in the memorandum endorsed hereon and certifying that the plan is in accordance with the requirements and provisions of the operative district scheme in force for the area to which the survey plan relates at the date of approval of the scheme plan, the common seal of the Lower Hutt City Council was affixed hereto in the presence of:

COUNCILLOR
COUNCILLOR
CITY MANAGER

I, John Harrison of the Local Government Act 1974, I hereby certify that all the easements shown on or referred to in the scheme plan of subdivision have been complied with to the satisfaction of the Lower Hutt City Council.
 Dated at Lower Hutt this 19th day of May 1980

DIRECTOR OF ADMINISTRATION

Total Area 2.4523 ha
 Comprised in G.T. 528-286 (All)

I, JOHN HARRISON & F. WANGANUI
 Registered Surveyor and holder of an annual practicing certificate for who may act as a registered surveyor pursuant to section 25 of the Survey Act 1980 hereby certify that this plan has been made from surveys made by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof.
 Dated at Wanganui this 19th day of May 1980

Field Book 2012 p. 1-16
 Reference Plans D.P. 22062, 43025, 56700, 68851
 Examined Correct

Approved as to Survey
 Chief Surveyor
 Deposited this 19th day of May 1980
 District Land Registrar

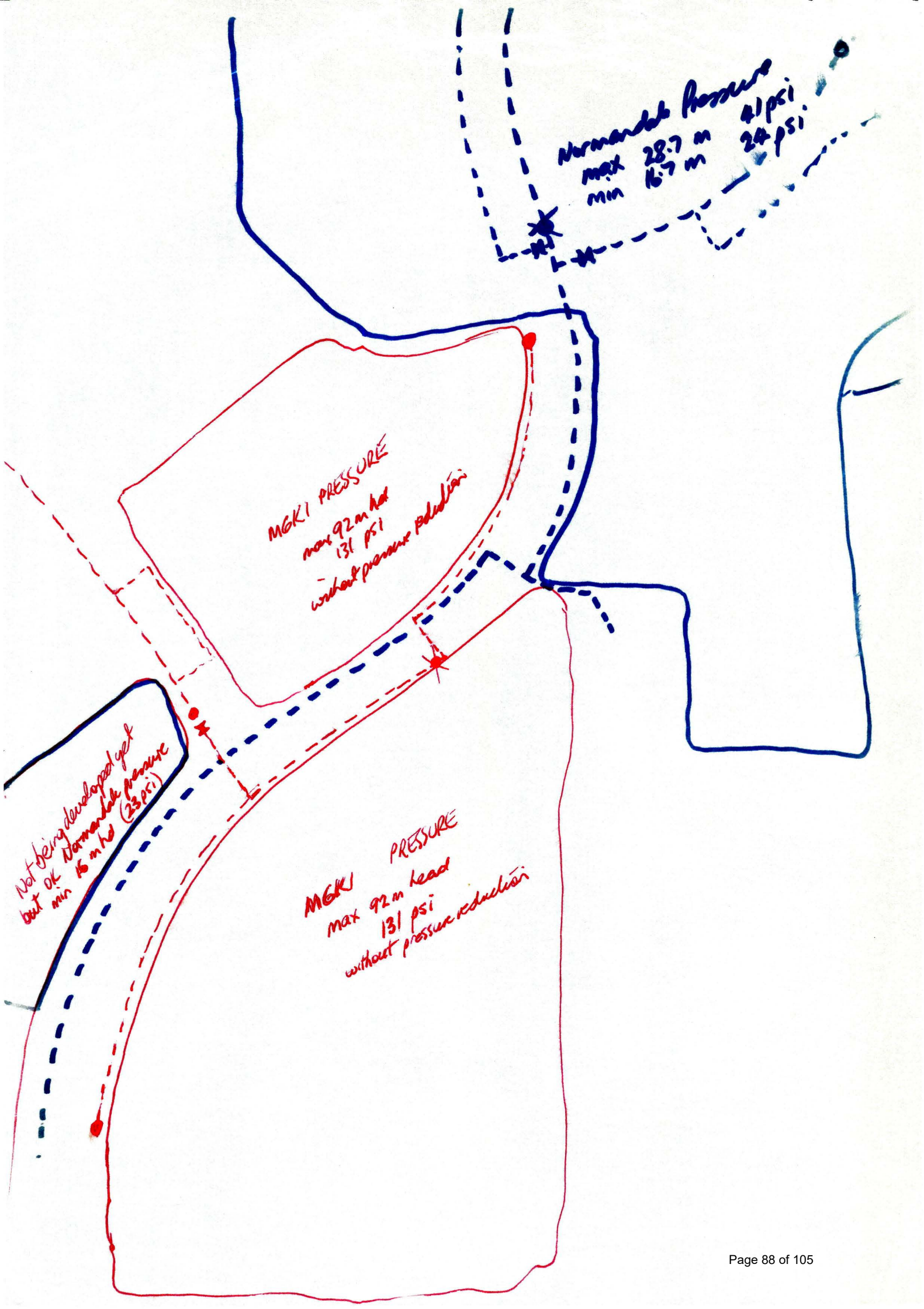
File Received 29-5-89
 Instructions

66865

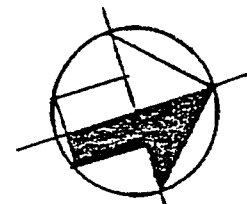
LAND DISTRICT WELLINGTON
 SURVEY BLK. & DIST. IX BELMONT
 NZMS 261 SHT R27 RECORD MAP 078-50
077-30

LOTS 1, 2, 27 & 29 - 46 BEING
 SUBDIVISION OF LOT 5 D.P. 63851

TERRITORIAL AUTHORITY LOWER HUTT CITY
 Surveyed by JOHN HARRISON
 Scale 1:600 Date APRIL 1980



Viewmont Drive.



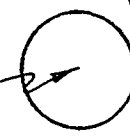
Key

- Area of fill.
- Area of Cut.

Proposed through Road.

Tirohanga Road.

Tirohanga Reservoir



Boundary of Stage 1 development.

Reference

Truebridge Callender Beach LTD
drawing NO 89-167-5 dated
July 1989.

Scale 1:1000.

TONKIN & TAYLOR LTD

CONSULTING ENGINEERS
REGISTERED SURVEYORS
TOWN PLANNERS

19 Morgan St, Newmarket, Auckland.
101 Molesworth St, Wellington.
7 Hunt St, Whangarei.
111 Cameron Rd, Tauranga.

**FLETCHER
RESIDENTIAL
LIMITED**

PROPOSED
SUBDIVISION STAGE 1
TIROHANGA ROAD
LOWER HUTT.

Location Plan.

DRAWING NO:

W1247-1

DATE

Oct. 1989

Revision

Page 49 of 108

Partners:

William N. Sheat OBE BA LL B
Gregory J. Thomas BA LL B
David B. Robinson LL M (Hons)
Peter J. Mathews BA LL B
(Notary Public)
Martin J. Montague LL B

Brian K. Boyer LL B
David K. Sargison LL B
Ian G. McLauchlan LL B
D. Gerard Dewar LL B
Michael E. Gould LL B
I. Nigel String LL B

Consultant:

Keith G. Gibson LL M

Associates:

Nigel M. Moody LL B
Louise M. Szrany LL B

PRIVATE BAG, LOWER HUTT, NEW ZEALAND
ESTV House, 1 Margaret Street, Lower Hutt
Fax (04) 694-874 DX 9008
Fax (04) 694-260 Telephone: (04) 694-873

7 November 1989

The City Manager
Lower Hutt City Council
Private Bag
LOWER HUTT

Dear Sir

G AND W FAWCET

SUBDIVISION: TIROHANGA ROAD AND MATUHI STREET

We act for Mr & Mrs Fawcet in relation to the above subdivision.

We enclose for your reference a copy of the plan of subdivision which as you will see has been approved by Council.

To deposit the plan the District Land Registrar requires a resolution/Certificate pursuant to Section 321 of the Local Government Act 1974 as Lots 1 & 4 have no frontage to a legal road.

Lot 4 is to vest as a recreation Reserve and Lot 1 has access to Normandale Road via an unquarter undivided share as tenants in common in Lot 15 DP55468.

Please would you prepare and forward to us the necessary certificate pursuant to Section 321 of the Local Government Act.

Yours faithfully

GIBSON SHEAT



Peter D Brown

PDB:LM:Let6.4/corr disk

encl.

FAW 045/4

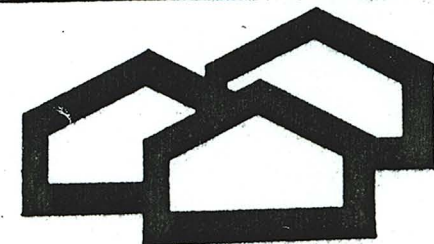


	NAME	DATE
FIELDWORK	RET	5/29
DESIGNED		
DRAWN	JG	9/29
CHECKED		

SURVEY HOUSE • 4 FRANKMOORE AVENUE
JOHNSONVILLE • WELLINGTON 4
P.O. BOX 13142 • JOHNSONVILLE • WELLINGTON 4
TEL 780-342 • FAX 789-416

**TRUEBRIDGE
CALLENDER
BEACH LTD**

SURVEYORS • ENGINEERS • ARCHITECTS • PLANNERS • VALUERS

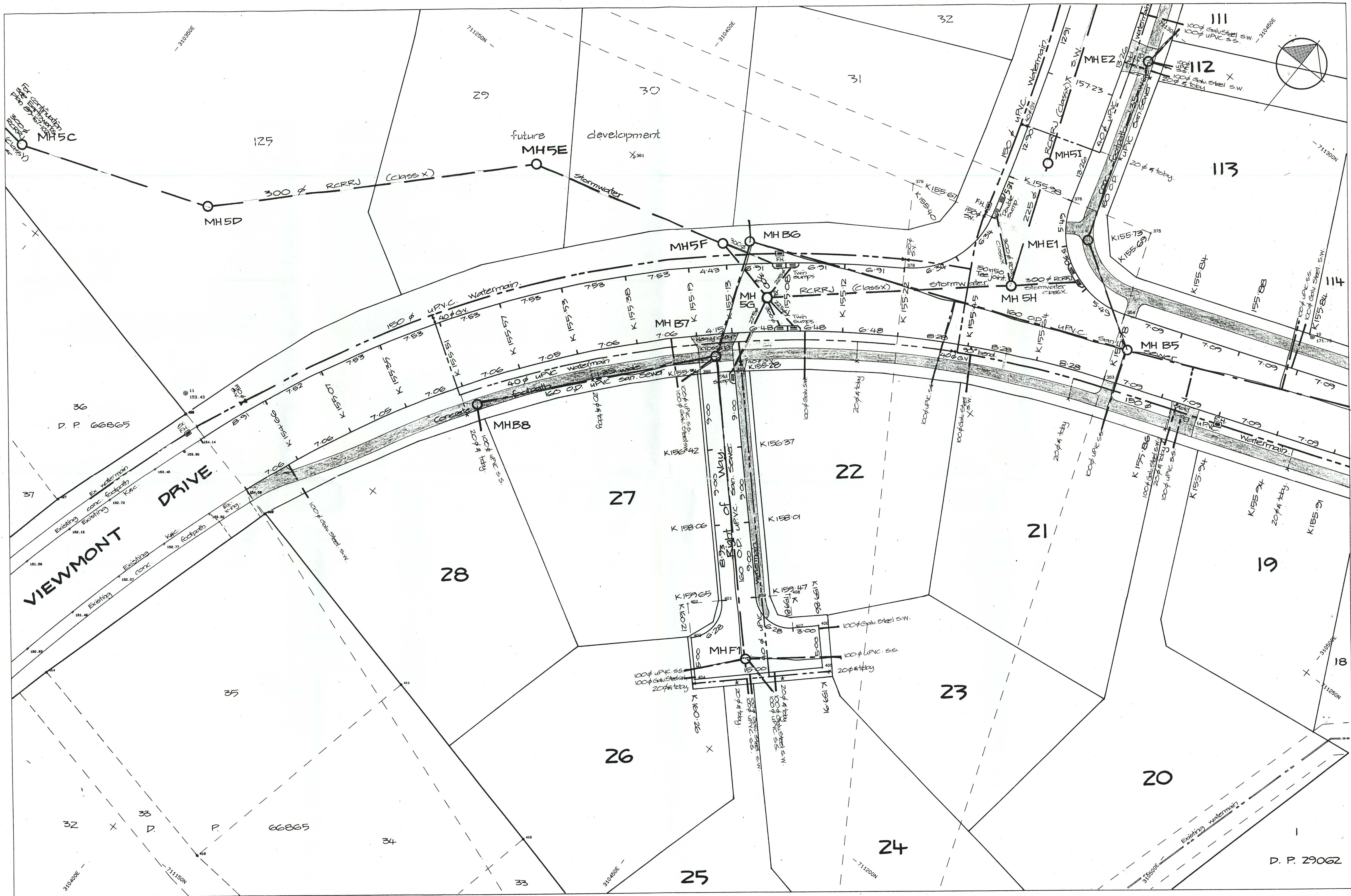


**FLETCHER
RESIDENTIAL
LIMITED**

TIROHANGA STG. 1.
Roading & services.

	AMENDMENTS	INITIALS	DATE
A			
B			
C			
D			
E			
F			

SCALES **1:200**
DRAWING NUMBER
89-167-107
SHEET OF SHEET SERIES



	NAME	DATE
FIELDWORK	Reest	5/12/9
DESIGNED		
DRAWN	JG	9/12/9
CHECKED		

SURVEY HOUSE • 4 FRANKMOORE AVENUE
JOHNSONVILLE • WELLINGTON 4
P.O. BOX 13142 • JOHNSONVILLE • WELLINGTON 4
TEL. 780-342 • FAX 789-416

TRUEBRIDGE
CALLENDER
BEACH LTD
tub

SURVEYORS • ENGINEERS • ARCHITECTS • PLANNERS • VALUERS

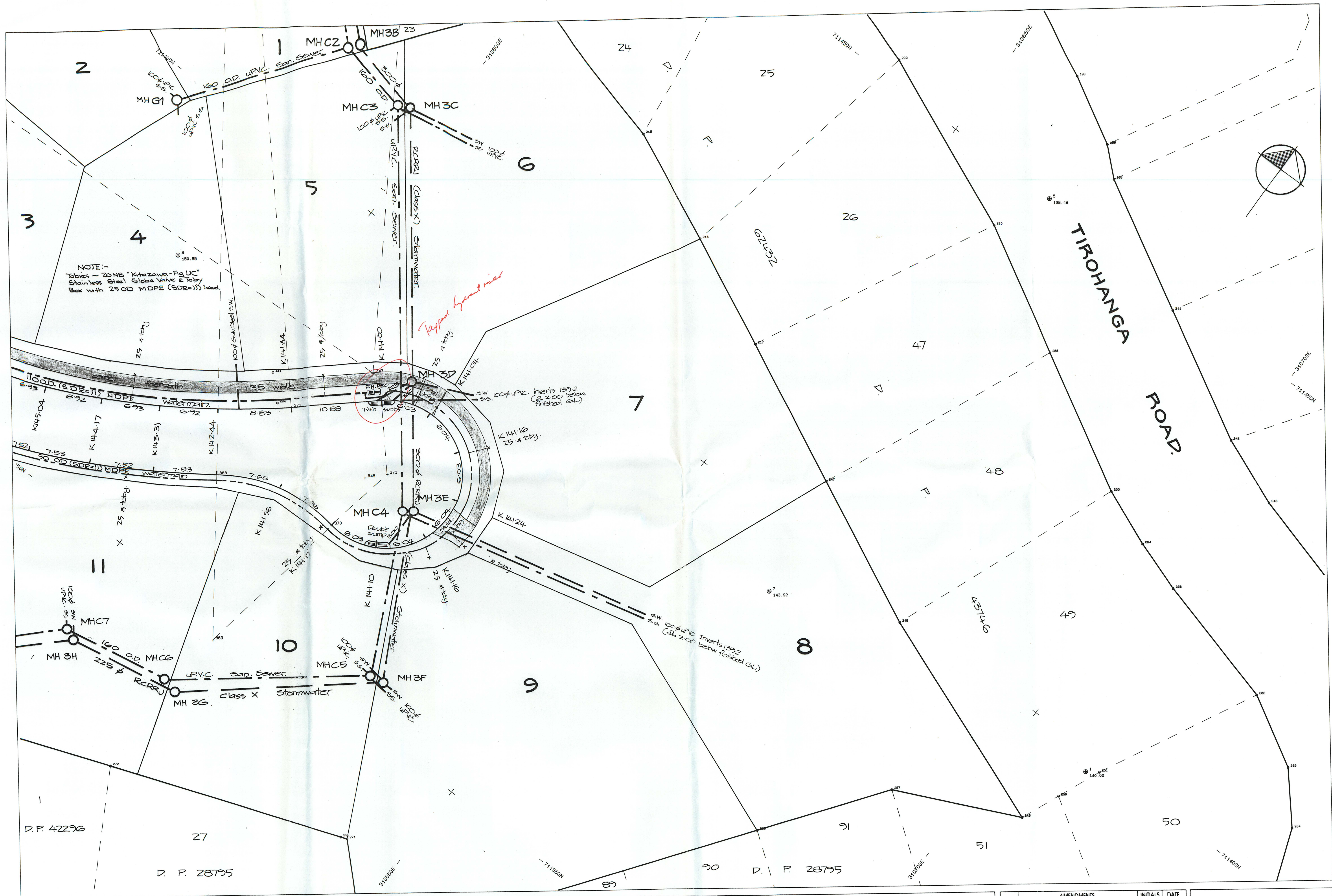


FLETCHER
RESIDENTIAL
LIMITED

TIROHANGA STG.1.
Roading & services.

	AMENDMENTS	INITIALS	DATE
A			
B			
C			
D			
E			
F			

SCALES **1:200**
DRAWING NUMBER
89-167-104
SHEET OF SHEET SERIES

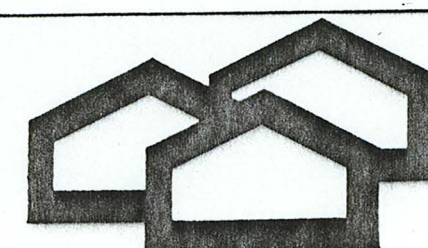


	NAME	DATE
FIELDWORK	Ross	5/89
DESIGNED		
DRAWN	JG	9/89
CHECKED		

SURVEY HOUSE • 4 FRANKMOORE AVENUE
JOHNSONVILLE • WELLINGTON 4
P.O. BOX 13142 • JOHNSONVILLE • WELLINGTON 4
TEL. 780-342 • FAX 789-416

**TRUEBRIDGE
CALLENDER
BEACH LTD**

SURVEYORS • ENGINEERS • ARCHITECTS • PLANNERS • VALUERS



**FLETCHER
RESIDENTIAL
LIMITED**

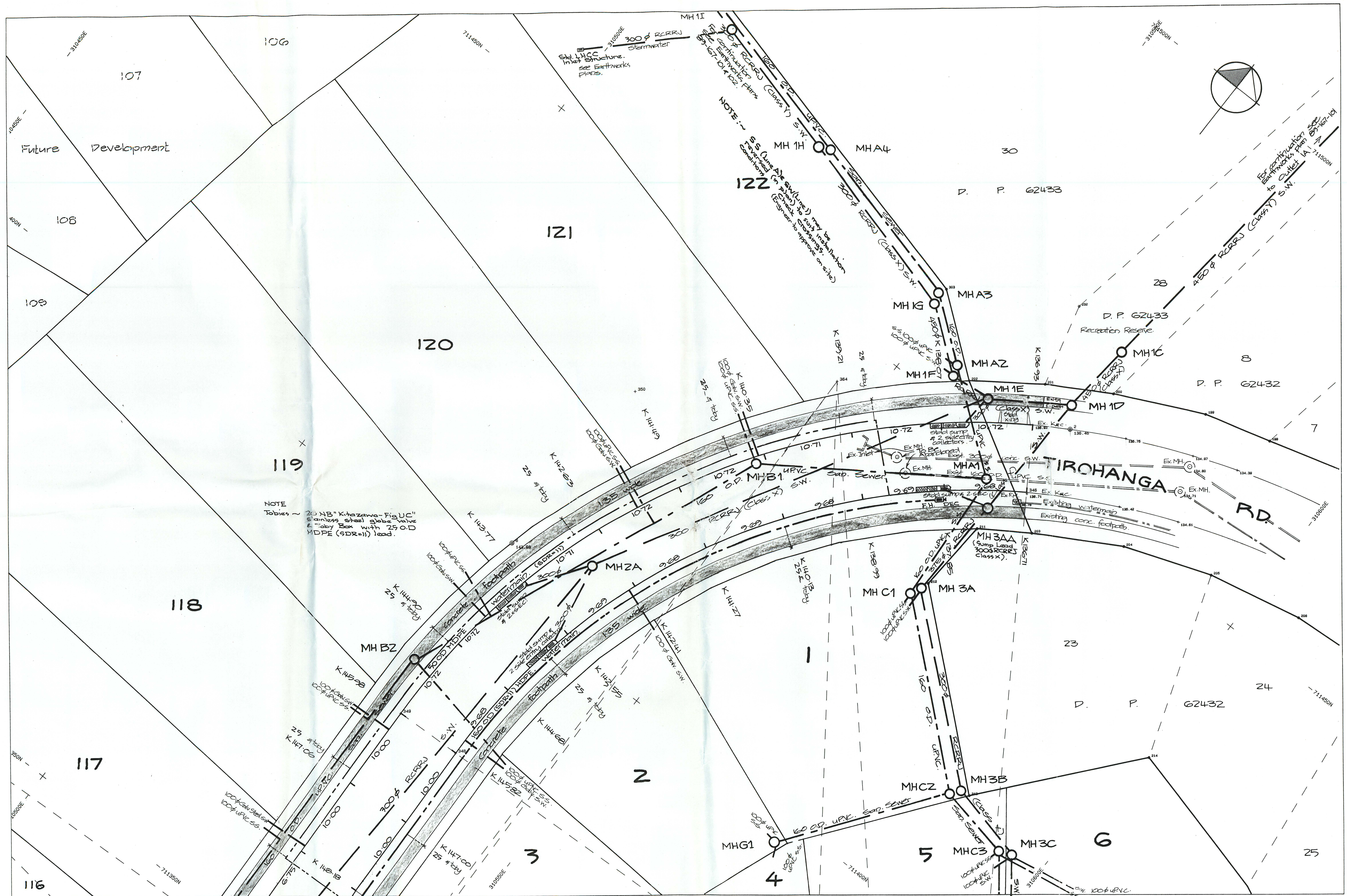
TIROHANGA STG. 1.
Roading & services.

AMENDMENTS		INITIALS	DATE
A	S.S. Leds 2 & 4, Road & Water.	Jan.	11-12-89
B			
C			
D			
E			
F			

SCALES **1:200**

DRAWING NUMBER
89-167-106

SHEET OF SHEET SERIES

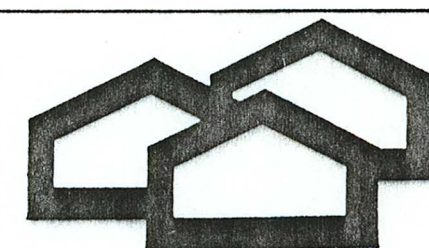


	NAME	DATE
FIELDWORK	ROSE T	5/89
DESIGNED		
DRAWN	J.E	9/89
CHECKED		

SURVEY HOUSE • 4 FRANKMOORE AVENUE
JOHNSONVILLE • WELLINGTON 4
P.O. BOX 13142 • JOHNSONVILLE • WELLINGTON 4
TEL. 780-342 • FAX 789-41

TRUEBRIDGE
CALLENDER
BEACH LTD **tcb**

SURVEYORS • ENGINEERS • ARCHITECTS • PLANNERS • VALUERS

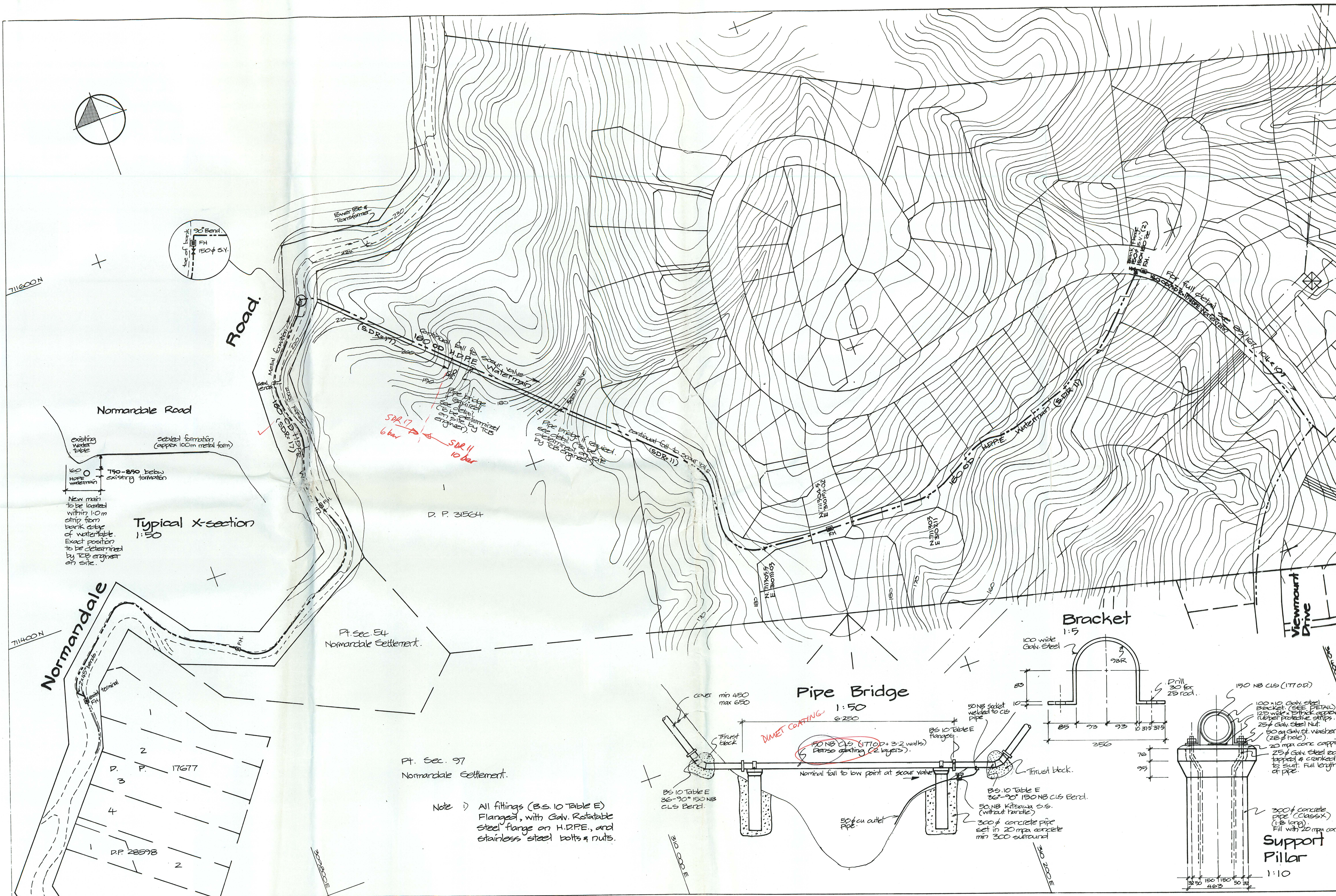


**FLETCHER
RESIDENTIAL
LIMITED**

TIROHANGA STG.1.
Roading & services.

	AMENDMENTS	INITIALS	DATE
A	S.S. S.W. Amendments.	Law	8.12.85
B	N.E. S.W. Amendments.		
C			
D			
E			
F			

SCALES 1:200
 DRAWING NUMBER 89-167-108^A
 SHEET OF SHEET SERIES



	NAME	DATE
FIELDWORK		
DESIGNED	JG	8-89
DRAWN	JG	8-89
CHECKED		

SURVEY HOUSE • 4 FRANKMOORE AVENUE
JOHNSONVILLE • WELLINGTON 4
P.O. BOX 13142 • JOHNSONVILLE • WELLINGTON 4
TEL 780-342 • FAX 789-416

**TRUEBRIDGE
CALLENDER
BEACH LTD**

SURVEYORS • ENGINEERS • ARCHITECTS • PLANNERS • VALUERS

**FLETCHER
RESIDENTIAL
LIMITED**

TIROHANGA STG. 1
Watermain connection.

AMENDMENTS	INITIALS	DATE
A Watermain	Jam.	12.12.89
B		
C		
D		
E		
F		

SCALES 1:1000

DRAWING NUMBER
89-167-122
SHEET OF SHEET SERIES

References

P/C/T 6C/306;8B/129

Transfer No.

N/C. Order No. 117521.1

SEARCH
26 APR 1978
COPY

Land and Deeds 69

REGISTER

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate dated the 6th day of May one thousand nine hundred and seventy-five under the seal of the District Land Registrar of the Land Registration District of WELLINGTON

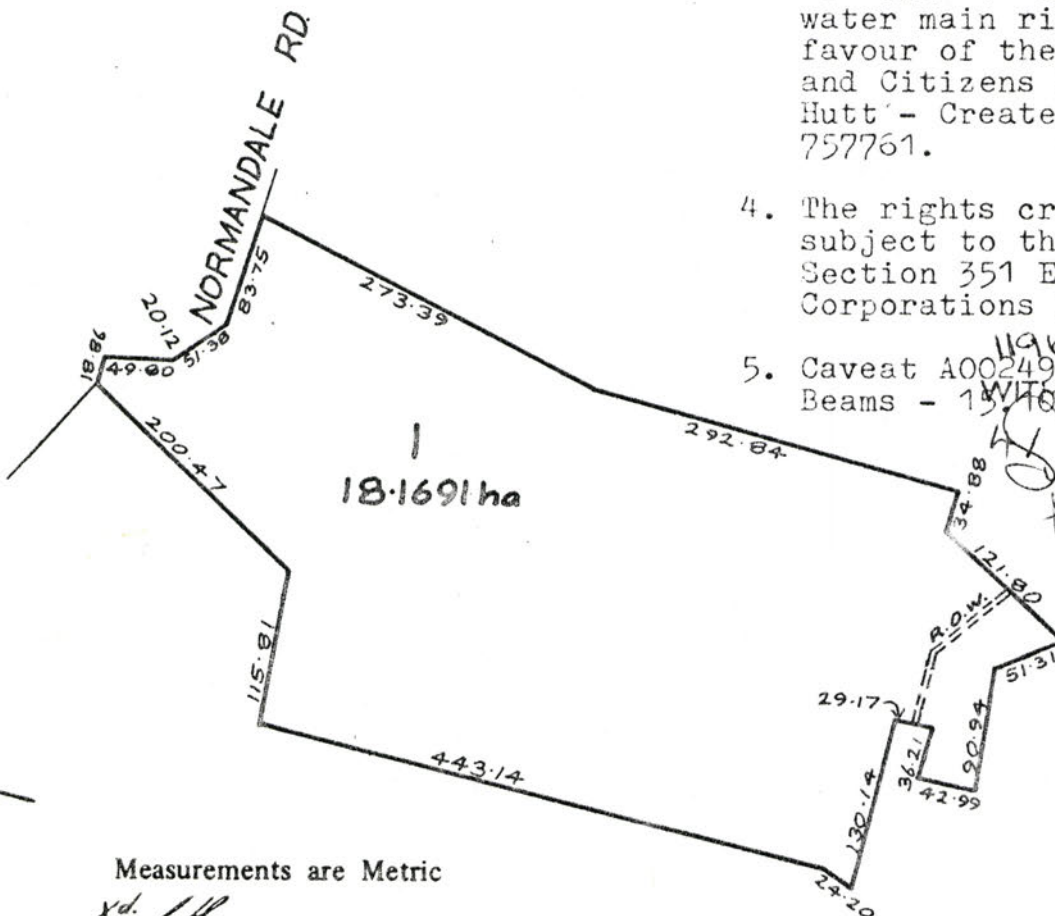
WITNESSETH that KENSINGTON VILLAS LIMITED at Lower Hutt

is seized of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 18.1691 hectares more or less situate in the City of Lower Hutt and being Lot 1 on Deposited Plan 43025


Assistant Land Registrar

Interests at date of issue:-

1. Subject as to the part formerly contained in C.T. 8B/129 to the reservation imposed by Section 8 Coal Mines Amendment Act 1950.
2. Subject as to the part marked "A" on Plan 43025 to a right of way (in gross) in favour of the Mayor Councillors and Citizens of the City of Lower Hutt. Created by Transfer 757761.
3. Subject as to the parts marked "B" and "C" on Plan 43025 to water main rights (in gross) in favour of the Mayor Councillors and Citizens of the City of Lower Hutt - Created by Transfer 757761.
4. The rights created above are subject to the provisions of Section 351 E(a) Municipal Corporations Act 1954
5. Caveat A002498 by Peter Derek Beams - 15/10/1973 at 2.10 p.m.



Measurements are Metric

(OVER)

No. 14B/1374

No. 14B/1374

RECORDS: Please note.

When a subdivisional plan is returned from the City Engineer's Department with an indication that it might be executed under Council's seal, could you please refer the file and plan to the Administration Officer in the first instance for checking of all requirements and conditions.

SUBDIVISIONAL PLAN FOR SEALING

Applicant: A. D. McMANUS & KENSINGTON UTILITIES LTD File No: 332/7/1107

Lot 1. being Lot 2 DP 31564 Date Rec'd 16.12.74

4 pc Lot 2. DP 29062, Normansdale Road.

Location of Subdivision (street names) Type of Document

N.B. Conditions for Council's approval are contained on extract from Minutes in file attached.

DATE OF SEALING AUTHORITY:

22-7-74

CIRCULATION		PAYMENTS MADE			Receipt Number	Date
Officers	Initials and date	Description	Amount			
Regn Clerk	.....	Perusal Fee	\$7.00			
C.T.	.....	Sealing Fee	\$5.00			
C.V.	.....	Reserves Contribution				
✓ T.P.	..... <i>RM</i>	Deposit for Sewerage				
✓ SD & TE	.....	Deposit for Stormwater				
✓ C.E.	.....	Sewer Connection Fees				
✓ A.O.	.....	Water Connection Fee				
(finally)	..... <i>22/8/74</i>	Stormwater Connection Fee				
		Underground Telephone and Power Reticulation				
		Deposit				

See prev appl - fees paid 22/7/74

DOCUMENTS RELEASED
Initials Date
R. J. H. 6/1/75.

OTHER DOCUMENTS, UNDERTAKINGS, ETC. REQUIRED:

RECEIVED CIRCULATED RELEASED

- (a)
- (b)
- (c)
- (d)
- (e)

FILE
-9 JAN 1975
4

REMARKS BY OFFICERS: (if any)

Town Clerk's Department (include reference to any agreements, forms of consent or other special actions required).

O.K. for entry 19.10.18/12

City Valuer

Town Planner

RM

City Engineer's Department

OK 17/12/74

See Previous Application dated 16.8.74

CUTTRISS, McKENZIE, MARTIN & CO.

CONSULTING CIVIL & STRUCTURAL ENGINEERS - REGISTERED SURVEYORS

LOWER HUTT - UPPER HUTT - PARAPARAUMU - PORIRUA

DAVID J. MCKENZIE, M.N.Z.I.S.
 WALTER J. MARTIN, B.E., C.ENG., M.I.C.E., M.N.Z.I.E.
 BARRIE N. SHUTE, M.N.Z.I.S.
 JOHN H. F. McKECHNIE, M.N.Z.I.S.
 ROBERT G. TAYLOR, C.ENG., M.I.C.E., M.N.Z.I.E.
 ALAN L. MILNE, M.N.Z.I.S.

PLEASE QUOTE REF.

710

IF CALLING ASK FOR

MR. SHUTE.

Office of Origin:

TRANSPORT CENTRE BUILDING
 QUEENS ROAD
 LOWER HUTT
 P.O. Box 30-429
 Telephone 64-197

12th December, 1974.

The Town Clerk,
 Lower Hutt City Corporation,
 Private Bag,
LOWER HUTT.

Attention M r. Sarniak-Thomson

Dear Sir,

We have received a requisition from the Land Transfer Office which requires the deletion of the amalgamation clause in your Council's seal of consent, and they have requested that we prepare a Compiled Plan of the area to be amalgamated.

We enclose this plan for sealing and the original plan for removal of the appropriate clause.

A copy of the compiled plan is enclosed for your information.

Yours faithfully,


CUTTRISS, McKENZIE, MARTIN & CO.

CUTTRISS, McKENZIE, MARTIN & CO.

CONSULTING CIVIL & STRUCTURAL ENGINEERS - REGISTERED SURVEYORS

LOWER HUTT - UPPER HUTT - PARAPARAUMU - PORIRUA

DAVID J. MCKENZIE, M.N.Z.I.S.
WALTER J. MARTIN, B.E., C.ENG., M.I.C.E., M.N.Z.I.E.
BARRIE N. SHUTE, M.N.Z.I.S.
JOHN H. F. MCKECHNIE, M.N.Z.I.S.
ROBERT G. TAYLOR, C.ENG., M.I.C.E., M.N.Z.I.E.
ALAN L. MILNE, M.N.Z.I.S.

PLEASE QUOTE REF.

710

IF CALLING ASK FOR

MR. SHUTE.

Office of Origin:
TRANSPORT CENTRE BUILDING
QUEENS ROAD
LOWER HUTT
P.O. Box 30-429
Telephone 64-197

18th November, 1974.

The Town Clerk,
Lower Hutt City Corporation.
Private Bag,
LOWER HUTT.

Dear Sir,

SUBDIVISION : KENSINGTON VILLAS, TIROHANGA ROAD.
YOUR REF. 332/7/1107.

In terms of your letter of approval dated 23rd July, 1974, the balance area is to be amalgamated with Lot 2, D.P. 31564. However, your certificate on the plan nominates Lot 1. Could you please amend your certificate and initial the alteration and return the enclosed Land Transfer Plan as soon as possible.

Yours faithfully,



CUTTRISS, McKENZIE, MARTIN & CO.

The attached plan will need to be initialled by His Worship the Mayor and the Town Clerk in the part marked X
and 18.11.74

Returned & plan updated 20/11/74