

Statement of Passing Over Information

This information has been supplied by the vendor or the vendor's agents. Professionals, Redcoats Limited is merely passing over this information as supplied or researched by us. We cannot guarantee its accuracy and reliability as we have not checked, audited, or reviewed the information and all intending purchasers are advised to conduct their own due diligence investigation into this information.

To the maximum extent permitted by law we do not accept any responsibility to any party for the accuracy or use of the information herein.

We recommend you read the whole LIM.

The LIM is issued for the 1,200m² property, which is what it was prior to the subdivision of the property and mentions the house on lot 2 which the vendors have built.

HCC were not able to provide a LIM for only lot 1 when they applied as the subdivision hadn't been completed at the time. We have not taken note of the detail pertaining to the vendors' new home on Lot 2.

Here are some things that we noted:

- A building permit was issued for the house in 1936 and in 1945 and an addition in 1958. In 1985 the vendors obtained consent to re-pile the home.
- There is a stream running along the east boundary of the subdivided property. Pages 87 and 209 of the LIM shows the contour heights rising from the stream.
- Page 165 notes recorded flood incidents in the area. It doesn't record any on this property. Page 170 is a flood hazard overlay plan.
- It is zoned High Density Residential, which allows for intensive development of the site.
- The laundry and kitchen was refurbished in 2012 for which a CCC was issued.



LAND INFORMATION MEMORANDUM

8 WILLOUGHBY STREET WOBURN

Produced by Hutt City Council
15/10/2025

Reference: LIM251228

R H Collinge
8 Willoughby Street
WOBURN 5010

Dear Ross Collinge,

Land information memorandum for 8 Willoughby Street WOBURN 5010

Please find enclosed your land information memorandum (LIM).

The LIM contains information Hutt City Council holds on record about the property and is required to provide in accordance with the requirements of section 44A of the Local Government Official Information and Meetings Act 1987, together with information it considers is relevant.

This LIM Report is an accurate representation of the information held on file and has been provided in good faith. It is not the result of any site visits. If you are unsure of what you are looking for, or how to read your LIM report, it is recommended you have your lawyer check it over with you.

While every care has been taken to ensure the information is correct, its accuracy cannot be guaranteed as third parties may have provided some of the details. Please also bear in mind the age of the building in assessing the comprehensiveness of this LIM. The older the building is, the greater the likelihood that alterations may have been made to it without the council having been informed, or that council's archives do not record the street address or legal description.

Hutt City Council accepts no liability for any errors in the report, in particular the exact location of property boundaries and private drains.

Other sources of information that may be of help include:

- Building inspectors: A building inspector can help to resolve questions about the building's structural soundness and the quality of workmanship. A register of independent building advisers can be found at the New Zealand Institute of Building Surveyors [website](#).
- Building consents and permits: More detailed information about building consents and building permits granted for work on the property can be viewed online for free using council's [Building Information Search](#) or at Council's consents counter, 30 Laings Road, Lower Hutt.
- Council's plan for the city: The [Long Term Plan](#) outlines our priorities for the next 10 years, including what we plan to do. Council's [Annual Plan](#) is an operational look at the financial year ahead to ensure we're on track.
- The Proposed Lower Hutt District Plan was publicly notified on 6 February 2025. This is proposed to replace the current District Plan. The Proposed District Plan contains information, including new hazards and risks overlays, that may be relevant to this property. It is important to note that information from the Proposed District Plan has not been included in this LIM. Please refer to the District Plan section of this LIM for more information.
- Greater Wellington Regional Council: This council may hold information on the property. Ring 04 384 5708.
- Utilities: Electricity and gas companies may also hold information on the property.

If you have any questions, please refer to the relevant contact details found in each section of this report.

Yours sincerely,

Rebecca Aumua
LIM Officer

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OVERVIEW

PROPERTY ADDRESS

8 Willoughby Street WOBURN

LEGAL DESCRIPTION

LOTS 7 & 8 DP 10974 WN450/79

VALUATION NUMBER

1605532500

LAND AREA

1199 m²

DEPOSITED PLAN

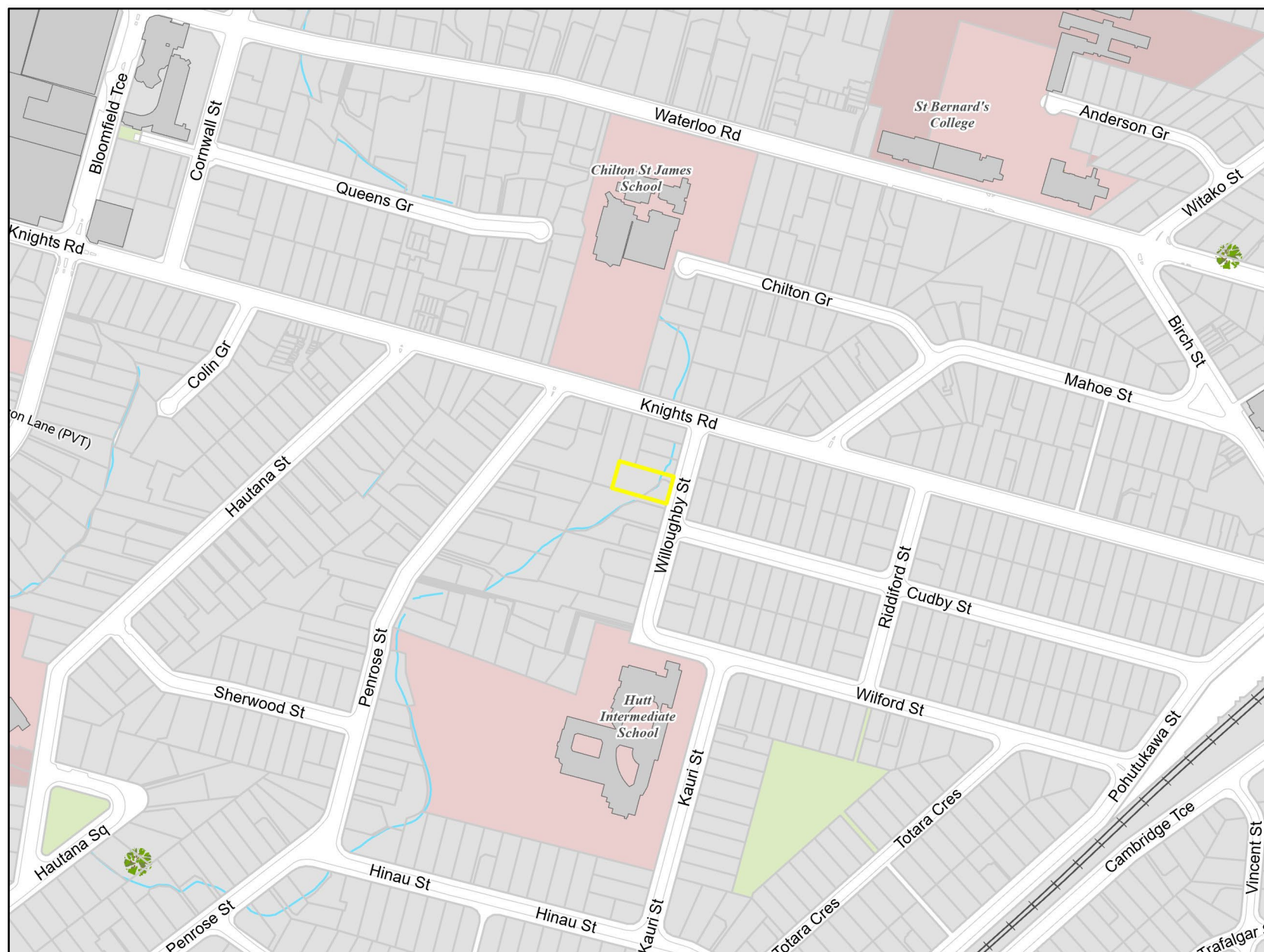
See the attached deposited plan.

Contacts	Position	Phone
Deposited Plan	Engineering Records Officer	04 570 6666

PROPERTY DETAILS

Type	Description
Suburb	Woburn
Ward	Central Ward
Rubbish Collection Day	Tuesday
District Plan - Activity Area	High Density Residential
District Plan - Flood Hazard Overlay	Inundation - Relevant. See District Plan Section Streams Corridor - Relevant. See District Plan Section
Tsunami Evacuation Zone	No Evacuation Tsunami Zone (Green Zone)
Exposure Zone (Sea spray)	NZS 3604:2011 - 4.2.3.2 Zone C: Medium
Wind Zone (Indicative only)	This land is in a medium wind zone in accordance with NZS 3604:2011.
Geological and Nuclear Sciences 1:50,000 Soil Type	Floodplain gravels. Medium grained.
Greater Wellington Regional Council Aquifer Depth	16 to 18m
Greater Wellington Regional Council Flood Modelled Area	Hutt River (0.23% AEP) - See Hazards Section

-  LIM Property
-  Properties
-  Building Outline 2021 (>1,000m²)
-  Schools
-  Reserve
-  Streams and Rivers
-  Railway



LOCALITY MAP

Scale: 1:5,000



- LIM Property
- Contours
- Properties
- Easements



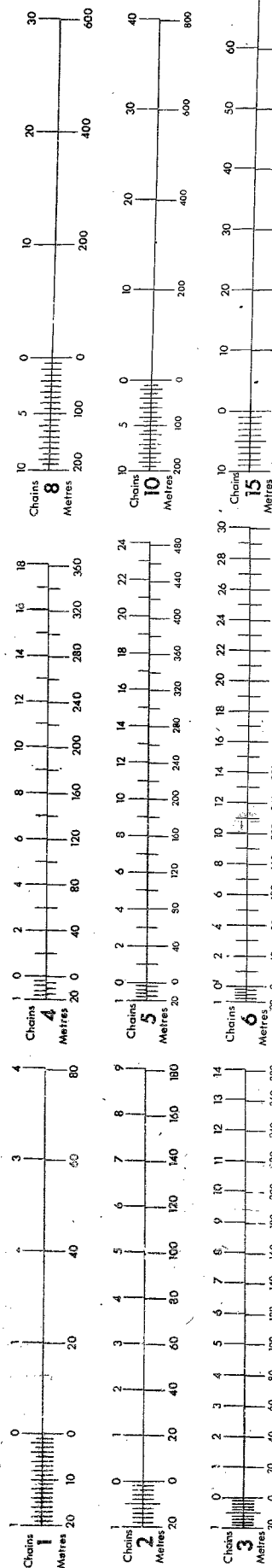
2025 AERIAL PHOTOGRAPH

Scale: 1:438

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Aerial photography flown in Jan-Mar 2021 and produced by AAM NZ Ltd for Hutt City Council and GWRC under the Creative Commons New Zealand Attribution v3.0 license. <http://creativecommons.org/licenses/by/3.0/nz/>

Deposited Plan



FILE:

LOWER HUTT BOROUGH

April, 1936
J. H. Burke
District Land Registrar.

Fee
15/-
Place
Deposit
Stamp
here.
K 14234
25-2-31

Total Area la. Or. 20-49 p.

Certificate:
I hereby certify that all hanging lines
shown ~~herein~~ have been checked
and observed twice.

A. H. Mawson.
Registered Surveyor

The Lower Hutt Borough Council hereby approves of this plan of subdivision. In witness whereof the Clerk at 1411 of St. Mayor, Councillors and Burgesses of the Borough of Lower Hutt have hereto affixed this 10th day of February 1936 in the presence of

MAYOR

TOWN CLERK

Approved,

Helena A. Garf

Applicant [or Registered Owner]

Surveyed by A.H. Mawson, Registered Surveyor, September, 1931

DECLARATION.

I, Alfred Hubert Mawlow, of Lower Merion, Registered Surveyor, do solemnly and sincerely declare that this plan has been made from surveys executed by me, and that both plan and survey are correct, and have been made in accordance with the rules of the Survey Board.

And I make this solemn declaration conscientiously believing the same to be true, and by virtue of the provisions of the Justices of the Peace Act, 1927

Declared at Lower Merion, this 27th day of October, 1981

SCALE: 60 Links to an inch.

Registered Surveyor

107.2

Current Record of Title



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy




R.W. Muir
Registrar-General
of Land

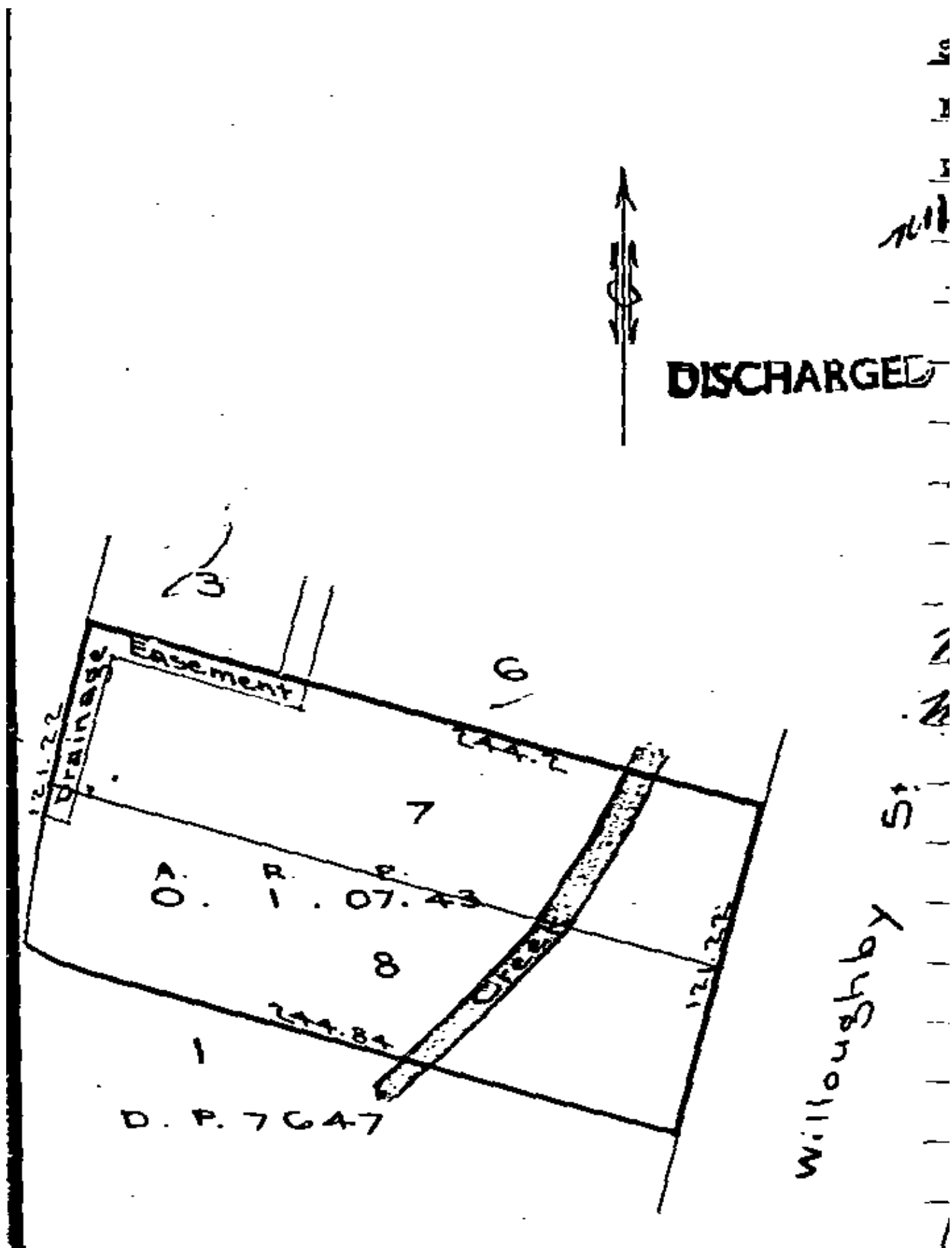
Identifier **WN450/79**
Land Registration District **Wellington**
Date Issued 08 May 1936

Prior References
WN293/130

Estate Fee Simple
Area 1200 square metres more or less
Legal Description Lot 7-8 Deposited Plan 10974
Registered Owners
Ross Hounsell Collinge, Valerie Frances Collinge and Gibson Sheat Trustees Limited

Interests

Subject to a drainage right over part created by Transfer 228841
13052461.1 Notification that a building consent issued pursuant to Section 72 Building Act 2004 identifies inundation as a natural hazard - 4.7.2024 at 11:27 am
13030172.1 Mortgage to Rachael Ann Collinge, Terence David Cousins and David John Chapman - 3.9.2024 at 12:43 pm



RATES

The following rates are based on the capital value of the property at the start of the current financial year beginning 1 July 2025.

ANNUAL RATES

The general and targeted rates charged on a property during the rating year (1st July 2025 to 30th June 2026.)

Rates: \$7,824.96

RATES DUE AND PAYABLE

Any rates that are past the due date and remain unpaid.

Rates: \$0.00

CAPITAL VALUE

This value is used to calculate the general rates component of the property's annual rates. (It is a combination of the land value and the value of buildings and other improvements.)

Current: \$1,360,000.00

LAND VALUE

The land value is one component of the capital value.

Current: \$1,310,000.00

RATING CATEGORY

Residential - Dwelling houses.

Greater Wellington Regional Council (GWRC) offers the Warm Greater Wellington home insulation scheme by way of voluntary targeted rate to help fund the cost of home insulation. In other words, GWRC fund a specific activity (eg, insulation) on behalf of an individual ratepayer because the activity meets council policy objectives as well as benefits the ratepayer. While the scheme is currently on hold for new applications, please email warm@gw.govt.nz to check if the property has an existing Warm Wellington funding attached to it.

For information on how rates are calculated and how they are used, please visit our [website](#).

Contacts	Position	Phone
Rates details	Rates Officer	04 570 6666

BUILDING WORK

BUILDING PERMITS AND CONSENTS

The building card (also called “Building Permit Record” or “Drainage and Plumbing Register”), a copy of which is below, contains a list of all known building permits and building consents for the property up until the early 2000s, at which point the records were digitised. Borough councils may have issued some of these building permits before their amalgamation into Hutt City Council.

In the case of building consents issued from 1991 onwards, copies of the following are included in this section:

- Code compliance certificate (CCC)
- Floor plans
- Elevation drawings

Note: Building consents and code compliance certificates came into existence with the passing of the Building Act 1991. Before then, councils issued only building permits. Building work carried out earlier than July 1, 1992 may quite legitimately have no code compliance certificate.

For further information and copies of pre-1991 permits that may not be included in this report but held on file, you can search online for free using council’s [Building Information Search](#).

Alternatively you can also order a copy of this information in electronic or hard copy format ([fees apply](#)):

- by phoning us on 04 570 6666/0800 HUTT CITY
- or sending an [email](#)
- or request in person from our team at the [council offices](#).

The following is a list of building consents issued under the Building Act 1991 and the Building Act 2004.

Consent number	Approval date	Description	CCC issue date
ABA2960	11/11/1993	Housing – Detached – Additions	17/06/1996
BC120242	01/05/2012	Refurbish laundry & kitchen, remove walls, replace some windows, new french doors and double slider door.	10/10/2012
BC240326	01/07/2024	Housing (Detached Dwelling) - New 2 storey 2-bedroom dwelling with attached carport and deck. Profiled metal cladding and roofing. New stormwater, waste, water and power connections.	29/08/2025
BC240326.01	17/02/2025	RBW Amendment 1 - Housing (Detached Dwelling) - Amendment to add roof bracing to Structural Engineers set	

MATTERS RELATING TO THE WEATHERTIGHT HOMES RESOLUTION SERVICES ACT 2006

The Ministry of Business, Innovation and Employment has sent council no correspondence about the building(s) on the property as it relates to the Weathertight Homes Resolution Services Act 2006.

BUILDING WARRANTS OF FITNESS

No building warrant of fitness is needed for a single household residence unless it has a cable car. A building warrant of fitness is a statement from a building owner confirming that the specified system has been properly maintained.

If you're unsure or require further information, please click [here](#) or contact the council's building warrant of fitness officer on 04 570 6948.

FENCING OF SWIMMING POOLS

Residential pools are required by law to have physical barriers compliant with the pool safety provisions enacted by the Building Act 2004, regardless of whether there are young children living at the property. This requirement applies also to temporary pools and to small heated pools such as spa pools or hot tubs.

Please note that the Fencing of Swimming Pools Act 1987 was repealed on 1 January 2017 and replaced by provisions for fencing of pools in the Building Act 2004.

HEALTHY HOMES

Eco Design Service:

Hutt City Council offers free and impartial advice on house performance with an Eco Design Advisor service.

The EDA assessment is about houses being warm, dry and healthy. It assesses how well the house will retain heat, heating, moisture control, indoor air quality and energy use. It can also cover building materials, water and waste.

House assessments take one to one-and-one half hours, and you will receive a report/action plan for future reference. If you would like to make an appointment with an Eco Design Advisor, please phone 04 570 6666 or email ecodesign@huttcity.govt.nz.

HomeFit Certification:

New Zealand homes can be cold, draughty, expensive to heat and make us, our friends and our whānau sick.

HomeFit is an inspection-based assessment of the health, comfort, energy efficiency and safety of New Zealand homes. It covers a range of topics that a panel of experts believes to be essential for a home to be livable and provides an independent check as to whether the house meets the Healthy Homes Standards.

Check the [Homefit website](#) to do an online check and to find out how to get your home certified.

Rental Properties:

The healthy homes standards became law on 1 July 2019.

The healthy homes standards introduce specific and minimum standards for heating, insulation, ventilation, moisture ingress and drainage, and draught stopping in rental properties.

Landlords are responsible for maintaining and improving the quality of their rental properties. These standards will help ensure landlords have healthier, safer properties and lower maintenance costs for their investments.

The standards will also make it easier for tenants to keep their homes warm and dry. For more information on the criteria and deadlines of the standards, please visit the [Tenancy Services](#) website.

New Build:

Are you building a new home? Consider Homestar, a national rating tool that measures the health, warmth and efficiency of New Zealand houses. A home is rated on a scale from 6 to 10 and provides assurance that a house will be better quality - warmer, drier, healthier and cost less to run - than a typical new house built to building code. A 10 Homestar rating means you've built a world leading home. Check the [NZ Green Building Council](#) website for more information.

LEAD BASED PAINT

Lead based paint was widely used in and around New Zealand homes until the 1980s. It is particularly important to keep yourself safe when renovating and not to contaminate your home and garden. For information on managing lead based paint, please see Worksafe New Zealand's [website](#).

ASBESTOS

Most houses built between 1950 and 2000 are likely to contain asbestos in some form, which may be a health hazard if the asbestos fibres become airborne, for example if the material is damaged, sanded or drilled into. For more information, check out the Ministry of Health [website](#).

If you are intending on renovating a home potentially containing asbestos, this [Worksafe](#) website might be of some use to you.

TREATED TIMBER

Treated timber is timber that has been treated with chemicals to preserve its quality. It can be hazardous to health when exposed to the preservative in the wood, for example, when you are cutting the wood and creating dust.

For more information and precautions when handling treated timber visit this Ministry of Business, Innovation and Employment [website](#)

Contacts	Position	Phone
Building consents and permits	Duty Building Consent Officer	04 570 6666
Weathertight Homes Resolution Services Act	LIM Officer	04 570 6666
Building warrant of fitness	Building Warrant of Fitness Officer	04 570 6666
Private swimming pools and spas	Swimming Pool Officer	04 570 6666
Eco design service	Eco Design Advisor	04 570 6666

Building Consents



Code Compliance Certificate No: 2960

Section 43 (3), Building Act 1991

Issued by: THE HUTT CITY COUNCIL

(Cross each applicable box and attach relevant documents)

Building Consent No: 2960

PROJECT	PROJECT LOCATION
New or relocated building: ☐	Street Address (if any): 8 WILLOUGHBY ST
Alteration: ☒	Suburb: WATERLOO
Intended use(s) [In detail]: Housing-Detached-Additions	Legal Description: 10974
Intended life:	Lot: D.P.
Indefinite but not less than 50 yrs: ☒	COUNCIL CHARGES
Specified as years	The Council's total charges payable on the
Demolition: ☐	uplifting of this code compliance certificate
Being stage 1 of an intended 1	in accordance with the attached details
stages	are as shown on the attached schedule.

This is

- ☒ A final code compliance certificate issued in respect of all the building work under the above building consent
- ☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- ☐ This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No:..... (being this certificate).

Signed for and on behalf of the Council:

Name: Anna Skinner

Position: Building Control Officer Date: 17/6/96

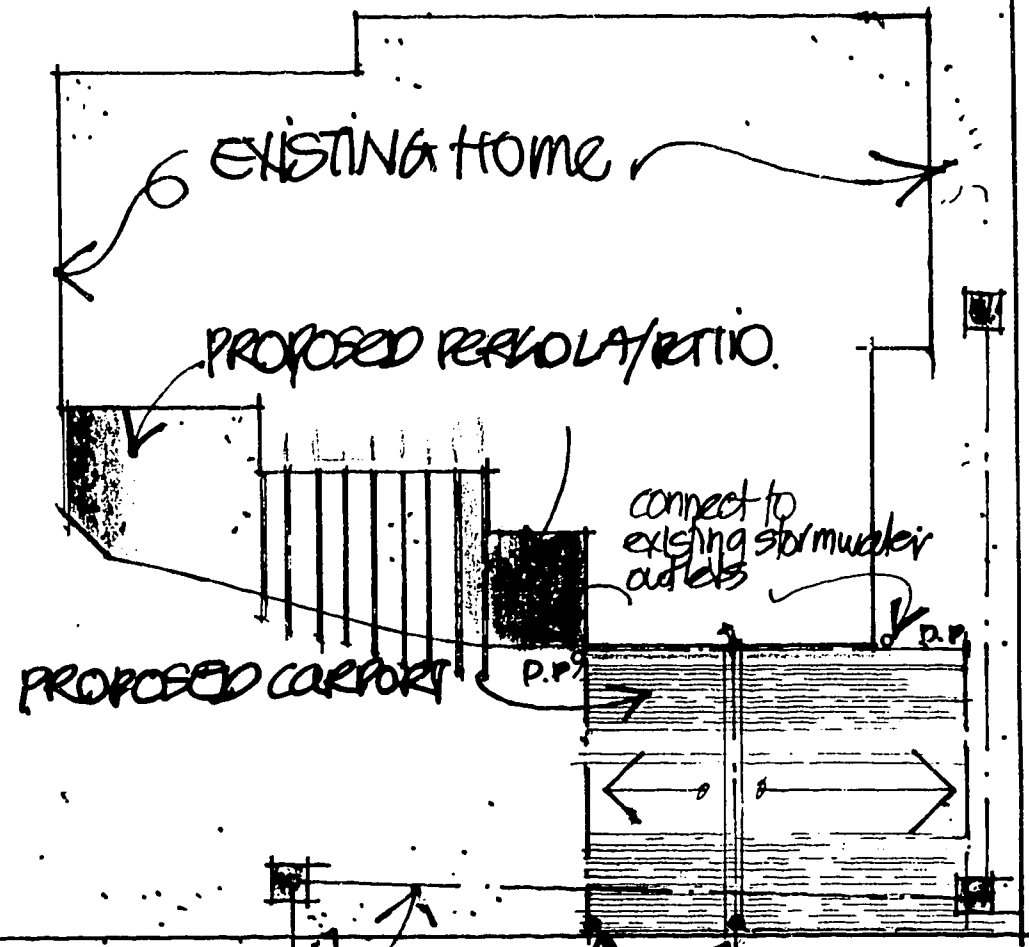
WILLOUGHBY ST.

LOTS 7, 8 DP. 10974

area = 1200m²

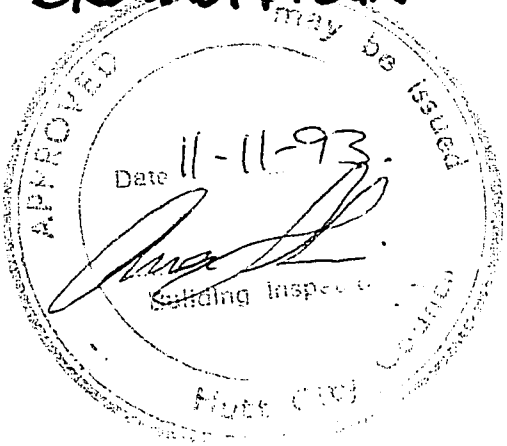
C.T. 450/79.

BLACK STREAM.



8

EXISTING DRAIN



boundary proposed work for

Collinge

FJ9321-W2

@ 8 Wilboughy St.
Lower Hutt

1:200 SITE PLAN.

JOHN MITCHELL
ANZIA
Box 9933 Te Anau
(04) 852 255 Fax (04) 801 8097
OCT. 1993

10 October 2012

R H Collinge & V F Collinge
8 Willoughby Street
WOBURN 5010

C Ewart
Environmental Consents
T 04 570 6748
craig.ewart@huttcity.govt.nz
Our reference: BC120242

Dear R H Collinge, V F Collinge, Gibson Sheat Trustees Limited,

Code compliance certificate for 8 Willoughby Street WOBURN (BC120242)

Please find enclosed a code compliance certificate for your work at the above address.

The certificate is a formal statement, issued under section 95 of the Building Act 2004 that the work you carried out complies with the building consent granted by the council.

It is a useful document to retain and should be kept in a safe place.

Do not hesitate to contact me on 04 570 6748 or at craig.ewart@huttcity.govt.nz if you have any questions. Remember to quote your building consent number, which is BC120242.

Yours sincerely,

A handwritten signature in black ink, appearing to be 'C Ewart', written over a horizontal line.

C Ewart
Building Inspection Officer

FORM 7

CODE COMPLIANCE CERTIFICATE

Section 95, Building Act 2004



BUILDING:

Street address: 8 Willoughby Street WOBURN 5010

Legal description of land where building is located: LOT 8 DP 10974No related Land

OWNER:

Name: R H Collinge, V F Collinge, Gibson Sheat Trustees Limited

8 Willoughby Street

WOBURN 5010

BUILDING WORK:

Building consent number: BC120242

Issued by Hutt City Council

RBW - Residential - Refurbish laundry & kitchen, remove walls, replace some windows, new french doors and double slider door.

COUNCIL CONTACT:

Building manager Leonie Gibb, 30 Laings Road, Private Bag 31912, Lower Hutt 5040, phone (04) 570 6922, fax (04) 570 6860, email Leonie.Gibb@huttcity.govt.nz

CODE COMPLIANCE:

The council is satisfied, on reasonable grounds, that the building work complies with the building consent.

C Ewart

Building officer, environmental consents

On behalf of Hutt City Council

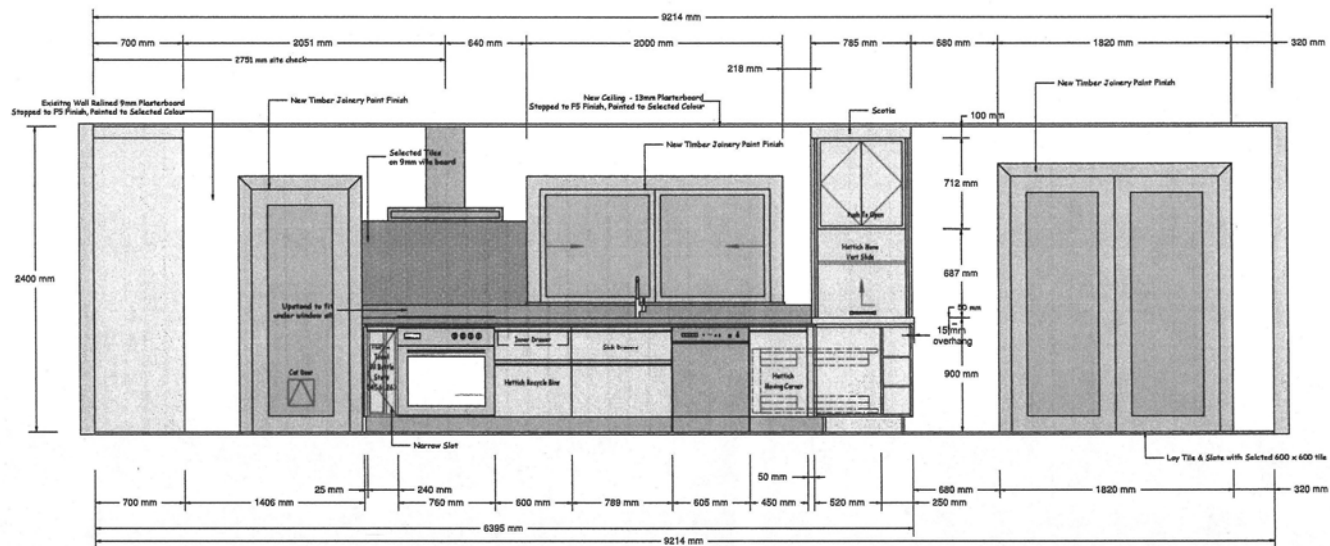
Date: 10 October 2012

BC120242

BUILDING CONSENT

GRANTED
1/05/2012

HUTT CITY COUNCIL



a'design
Design and
Project Management

*Kitchens
Bathrooms
Tailored Furniture*

Andrew Scott
Design Director

info@adesign.net.nz
T - 04 8025064
M - 021 0365 110
www.adesign.net.nz

Showroom
Design In Residence
58 Oriental Parade
Wellington

THIS IS A CAD DRAWING
UNDER NO CIRCUMSTANCES
SHALL MANUAL ALTERATIONS BE MADE.

FIGURED DIMENSIONS TAKE
PREFERENCE TO SCALE.

VERIFY AND CHECK ALL
DIMENSIONS ON SITE.

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Project

Valerie & Ross Collinge
8 Willoughby Street
Lower Hutt

Elevation A

A3 Sheet Size
Scale No Scale
Date 20th March 2012
0 0 0 Revision Number

Draft Only

BUILDING CONSENT

GRANTED
1/05/2012

HUTT CITY COUNCIL



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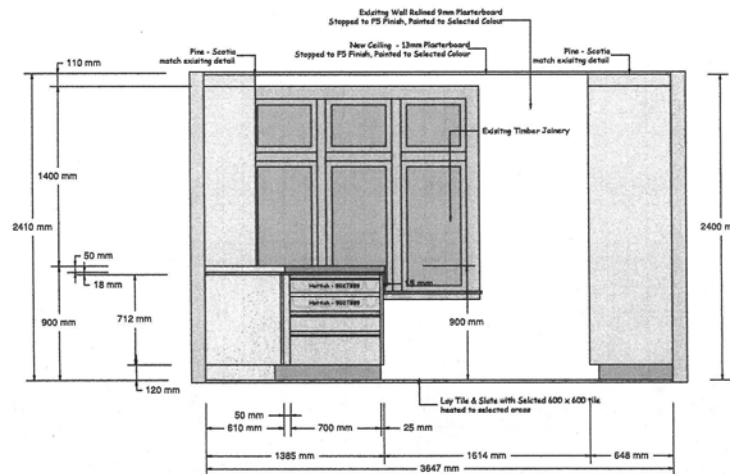
Elevation B

A3 Sheet Size

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99	100

Date 20th March 2012

000 Revision Number

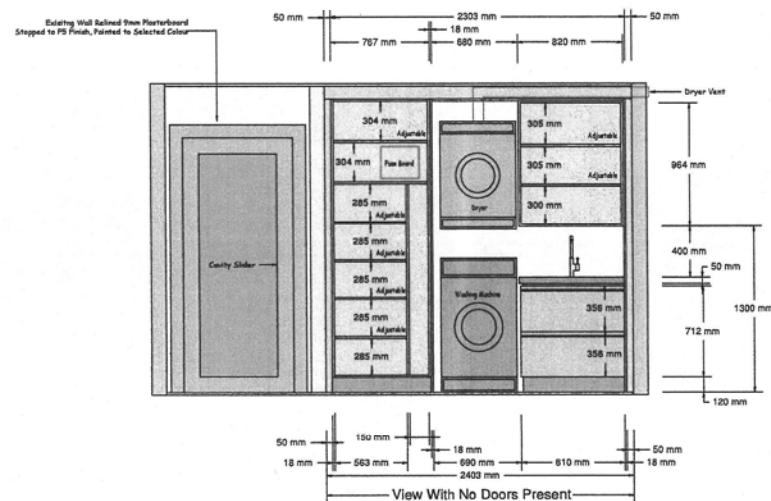
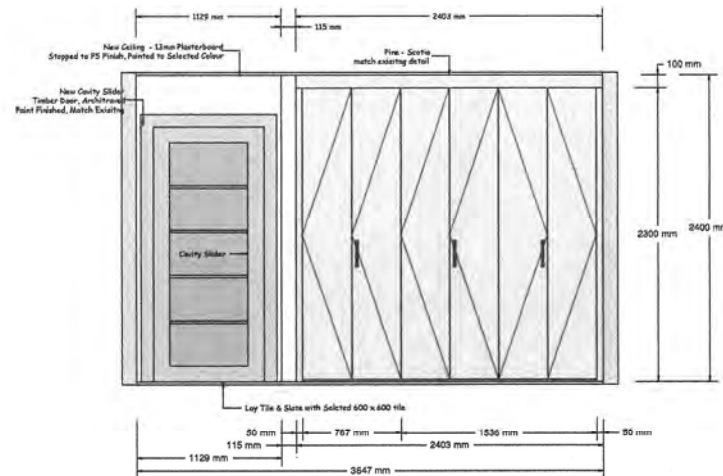


Draft Only

BUILDING CONSENT

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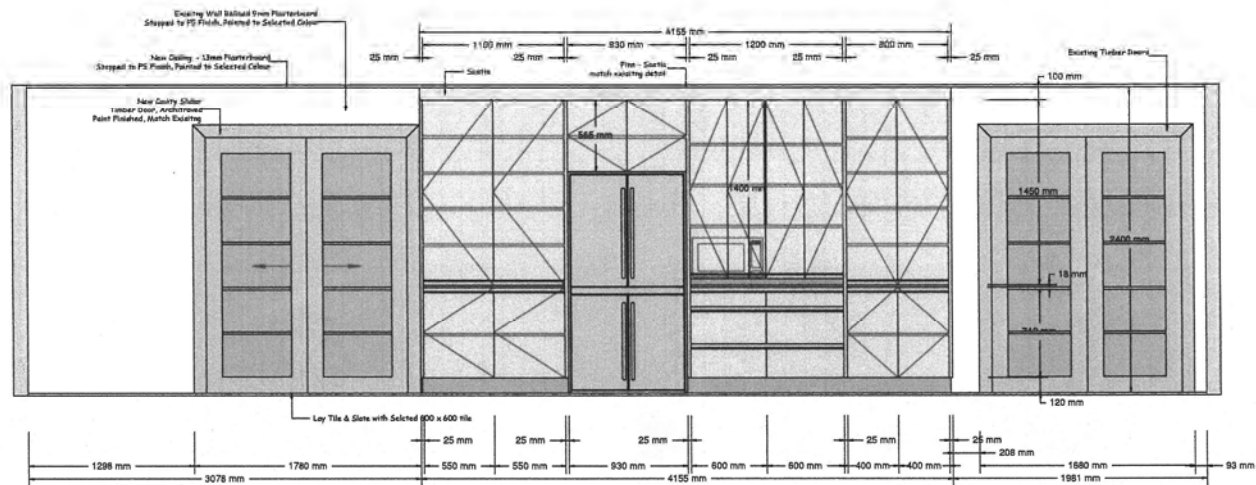
Project

Valerie & Ross Collinge
8 Willoughby Street
Lower Hutt

Elevation C

A3	Sheet Size
Scale	No Scale
Date	20th March 2012
0 0 0	Revision Number

Draft Only



a'design
Design and
Project Management

Kitchens
Bathrooms
Tailored Furniture

Andrew Scott
Design Director

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Project

Valerie & Ross Collinge
8 Willoughby Street
Lower Hutt

Elevation D

A3	Sheet Size
Scale	No Scale
Date	20th March 2012
0 0 0	Revision Number

Draft Only

a'design

Design and
Project Management

Kitchens Bathrooms Tailored Furniture

Andrew Scott
Design Director

info@adesign.net.nz
T - 04 8025064
M - 021 0365 110
www.adesign.net.nz

Showroom
Design In Residence
58 Oriental Parade
Wellington

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FIGURED DIMENSIONS TAKE
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VERIFY AND CHECK ALL
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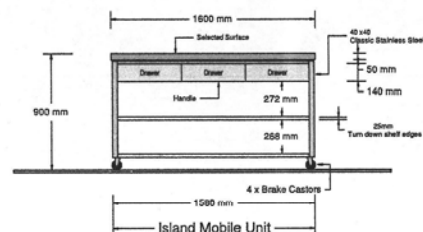
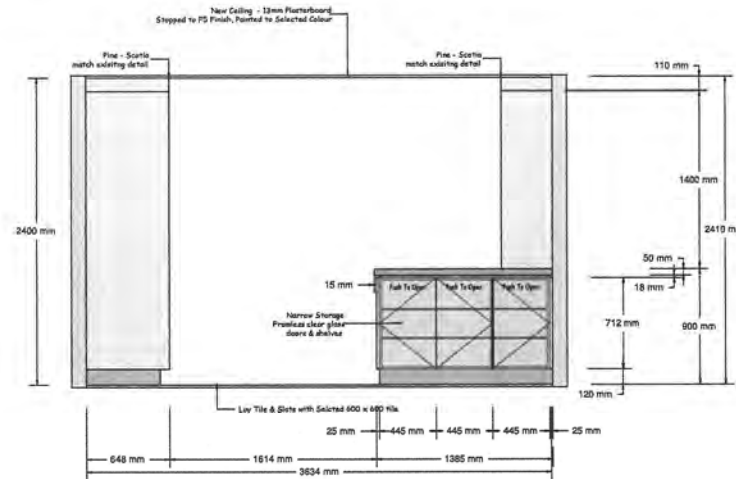
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Project

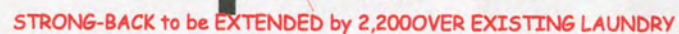
Valerie & Ross Collinge
8 Willoughby Street
Lower Hutt

Elevation E

A3	Sheet Size
Scale	No Scale
Date	20th March 2012
0 0 0	Revision Number



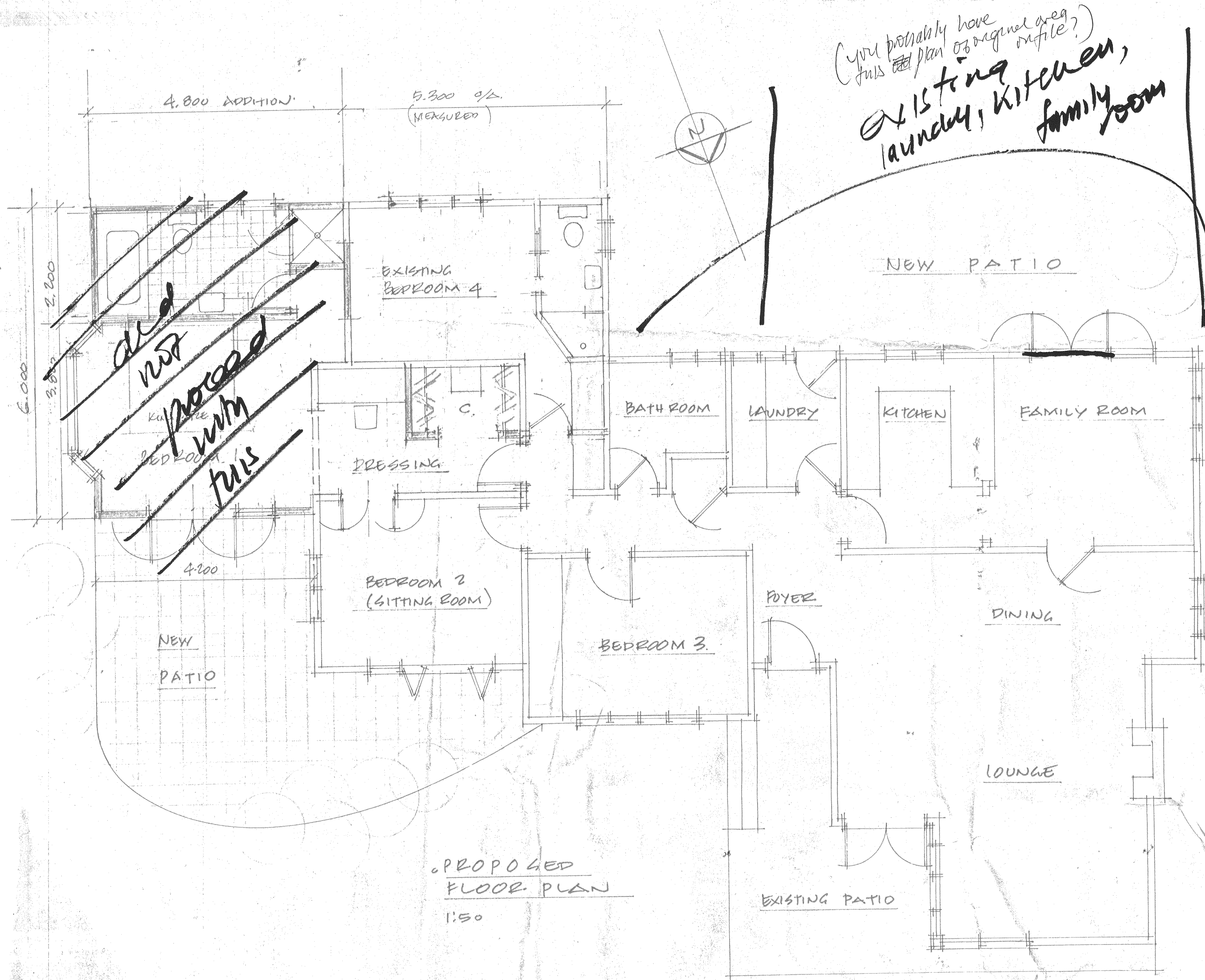




DJC 11598

ROSS & VALERIE COLLINGE
LAUNDRY/KITCHEN REFURBISHMENT

A4



o PROPOSED
ADDITION TO
o COLLINGE FAMILY HOME
8 WILLOUGHBY STREET
LOWER HUTT

SK-03 28/5/04
REVISED 10/6/04

BARRY MIELAGE
ARCHITECTS LIMITED

PO Box 2973, Wellington Tel: 64-4-499 1067
2 Collingie, Thorndon, Wellington Fax: 64-4-499 1068
email: barrymielage@clearnet.nz Mobile: 021-512 985

Memorandum from licensed building practitioner: Certificate of design work

Section 45 and section 30c, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING	
Street address:	8 Willoughby Ct
Suburb:	Lower Hutt
Town/City:	Postcode: 5010

THE OWNER(S)	
Name(s):	14 Collinge & Rf. Collinge & Gibson Sheat Trustees Ltd
Mailing address:	8 Willoughby Ct
Suburb:	Woburn
PO Box/Private Bag:	
Town/City:	Postcode: 5010
Phone number:	5663079
Email address:	thecollinges@xtra.co.nz.

IDENTIFICATION OF DESIGN WORK THAT IS RESTRICTED BUILDING WORK

I Richard J Joyce carried out/supervised the following design work that is restricted building work

PRIMARY STRUCTURE

Design work that is restricted building work	Description of restricted building work	Carried out or supervised	Reference to plans and specifications
Tick ☒	If appropriate, provide details of the restricted building work	Tick ☒ whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
Foundations and subfloor framing ☐		☐ Carried out ☐ Supervised	
Walls ☐		☐ Carried out ☐ Supervised	
Roof ☐		☐ Carried out ☐ Supervised	
Columns and beams ☒		☒ Carried out ☐ Supervised	
Bracing ☐		☐ Carried out ☐ Supervised	
Other ☐		☐ Carried out ☐ Supervised	

EXTERNAL MOISTURE MANAGEMENT SYSTEMS			
Design work that is restricted building work	Description of restricted building work	Carried out or supervised	Reference to plans and specifications
Tick ☒	If appropriate, provide details of the restricted building work	Tick ☒ whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
Damp proofing ☐	N/A	☐ Carried out ☐ Supervised	
Roof cladding or roof cladding system ☐	N/A	☐ Carried out ☐ Supervised	
Ventilation system (for example, subfloor or cavity) ☐	N/A	☐ Carried out ☐ Supervised	
Wall cladding or wall cladding system ☐	N/A	☐ Carried out ☐ Supervised	
Waterproofing ☐	N/A	☐ Carried out ☐ Supervised	
Other ☐	N/A	☐ Carried out ☐ Supervised	

FIRE SAFETY SYSTEMS			
Design work that is restricted building work	Description of restricted building work	Carried out or supervised	Reference to plans and specifications
Tick ☒ if appropriate	If appropriate, provide details of the restricted building work	Tick ☒ whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
Emergency warning systems ☐ Evacuation and fire-service operation systems Suppression or control systems Other	N/A	☐ Carried out ☐ Supervised	
Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.			

WAIVERS AND MODIFICATIONS

Waivers or modifications of the Building Code are required. ☐ Yes ☒ No

If Yes, provide details of the waivers or modifications below:

Clause	Waiver/modification required
List relevant clause numbers of building code	Specify nature of waiver or modification of building code required

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise design work that is restricted building work.

Name: Richard J Joyce LBP or Registration number:

The practitioner is a: ☐ Design LBP ☐ Registered architect ☒ Chartered professional engineer

Mailing address (if different from below): PO Box 33072 Petone

Street address/Registered office: 38 Seaview Road, Seaview

Suburb: Seaview

Town/City: Itzeh City

PO Box/Private Bag:

Postcode:

Phone number: (04) 5689-300

Mobile: (0275) 475-427

After hours: (04) 2331-858

Fax: (04) 586-9401

Email address: dick.joyce@djcconsult
co.nz

Website: —

DECLARATION

I Richard J Joyce certify that the design work that is restricted building work identified on this form:

- ☒ Complies with the building code, or
- ☐ Complies with the building code subject to any waiver or modification of the building code recorded on this form

Signature: R Joyce

Date: 20-3-2012

Memorandum from licensed building practitioner: Record of building work

Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING	
Street address: 8 Willoughby Street	
Suburb: Waterloo	
Town/City: Lower Hutt	Postcode:

THE PROJECT
Building consent number: BC120242

THE OWNER(S)	
Name(s): Valerie & Ross Collinge	
Mailing address: 8 Willoughby Street	
Suburb: Waterloo	PO Box/Private Bag:
Town/City: Lower Hutt	Postcode:
Phone number: 5663079	Email address: thecollinges@extra.co.nz

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

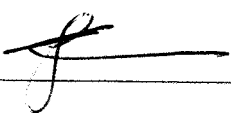
PRIMARY STRUCTURE

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick ☒	If necessary, describe the restricted building work.	Tick ☒ whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Foundations and subfloor framing ☐		☐ Carried out ☐ Supervised
Walls ☐		☐ Carried out ☐ Supervised
Roof ☐		☐ Carried out ☐ Supervised
Columns and beams ☒		☒ Carried out ☐ Supervised
Bracing ☒		☒ Carried out ☐ Supervised
Other ☐		☐ Carried out ☐ Supervised

EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick ☒	If necessary, describe the restricted building work.	Tick ☒ whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Damp proofing ☐		☐ Carried out ☐ Supervised
Roof cladding or roof cladding system ☐		☐ Carried out ☐ Supervised
Ventilation system (for example, subfloor or cavity) ☐		☐ Carried out ☐ Supervised
Wall cladding or wall cladding system ☒		☒ Carried out ☐ Supervised
Waterproofing ☒		☒ Carried out ☐ Supervised
Other ☐		☐ Carried out ☐ Supervised

ISSUED BY	
Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.	
Name: <u>Geoff Henderson</u>	LBP number: <u>BP101438</u>
Class(es) licensed in: <u>Carpentry Site 1.</u>	
Plumbers, Gasfitters and Drainlayers registration number (if applicable): <u>10755</u>	
Mailing address (if different from below): <u>7 Rankawa St Stokes Valley</u>	
Street address/Registered office: <u>7 Rankawa Street</u>	
Suburb: <u>Stokes Valley</u>	Town/City: <u>Lower Hutt</u>
PO Box/Private Bag	Postcode: <u>5019</u>
Phone number: <u>9385628</u>	Mobile: <u>0274408104</u>
After hours: <u>9385628</u>	Fax: <u>049385628</u>
Email address: <u>hendersonb@paradise</u>	Website: <u>net.nz</u>

DECLARATION	
I <u>Geoff Henderson</u> carried out or supervised the restricted building work recorded on this form.	
Signature:	
Date:	<u>22-08-12</u>

Memorandum from licensed building practitioner of design work**Section 30C or section 45, Building Act 2004****The building**

Street address of building:

8 Willoughby st
Lower Hutt

The owner

Name:

Ross & Valerie Collinge

Address:

8 Willoughby st, Lower Hutt

Telephone number:

Email address:

Identification of design work that is restricted building work

I carried out or supervised the following design work that is restricted building work:

Design work that is restricted building work	Description	Carried out/ supervised	Reference to plans and specifications
[Tick]	[If appropriate, provide details of the restricted building work]	[Specify whether you carried out this design work or supervised someone else carrying out this design work]	[If appropriate, specify references]

Primary structure

Foundations and subfloor framing	☒	() Carried out () Supervised	
Walls	☒	() Carried out () Supervised	
Roof	☒	() Carried out () Supervised	
Columns and beams	☒	() Carried out () Supervised	
Bracing	☒	() Carried out () Supervised	
Other	☒	() Carried out () Supervised	

External moisture management systems

Damp proofing	☒	() Carried out	
---------------	-------------------------------------	-----------------	--

		() Supervised	
Roof cladding or roof cladding system	()	() Carried out () Supervised	
Ventilation system (for example, subfloor or cavity)	()	() Carried out () Supervised	
Wall cladding or wall cladding system	()	() Carried out () Supervised	
Waterproofing	()	() Carried out () Supervised	
Other	(✓) details pertaining to new doors/windows in existing exterior walls, relating to flashings only	(✓) Carried out () Supervised	12001 - Sheet 10.00
Fire safety systems			
Emergency warning systems, evacuation and fire service operation systems, suppression or control systems, or other	()	() Carried out () Supervised	

Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.

Note: continue on another page if necessary.

Are waivers or modifications of the building code required? () Yes (✓) No

If Yes, provide details of the waivers or modifications below:

Clause	Waiver/modification required
[List relevant clause numbers of building code]	[Specify nature of waiver or modification of building code]

Note: continue on another page if necessary.

Issued by

Name:	Gregory Shadbolt
LBP or registration number:	3031
The practitioner is a:	() Design LBP (✓) Registered architect () Chartered professional engineer

Mailing address: 17 Reuben Ave, Brooklyn, Wellington

Street address or registered office:

Phone number: Landline:

Mobile: 021 676557

Daytime:

After hours:

Fax number:

Email address: gregshadbolt@gmail.com.

Website:

Declaration

Gregory Shadbolt

I



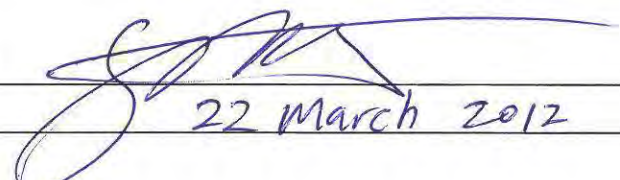
[name of practitioner]

state that the design work that is restricted building work recorded on this form:

(a) complies with the building code; or

(b) complies with the building code subject to any waiver or modification of the building code recorded on this form.

Signature:



Date:

22 March 2012

ELECTRICAL WORKERS
REGISTRATION BOARD

Safety • Competency

Electrical Certificate of Compliance

for a low voltage installation if prescribed electrical work has been done on any part of it and the prescribed electrical work involved placing, replacing, or repositioning conductors or fittings attached to conductors.

No. 3436212

No. of attachments

To be completed whether or not an Inspection is required.

HUTT CITY COUNCIL

10 SEP 2012

CUSTOMER INFORMATION - PLEASE PRINT CLEARLYName of customer *Mr, Mrs Collinge*

Phone:

Address of installation *8 Willoughby*

Postal address of customer (if not as above)

DECLARATION OF CONFORMITY (Please tick (✓) appropriate boxes)

In accordance with Regulation 58 of the Electricity (Safety) Regulations 2010, the design of the installation or part of the installation to which this certificate applies

- (a) complies with either Part 2 of AS/NZS 3000:2007 ☒ or Part 1 of AS/NZS3000:2007 and Regulation 59 ☐ and
 (b) the supply system of the installation or part of the installation to which this certificate applies is
 230V/400 V MEN ☒ or attached other system ☐

WORK DETAILS*22* No. of lighting outlets*1* *HBP**1* No. of ranges

Please tick (✓) as appropriate where work includes:

14 No. of socket outlets

No. of water heaters

☒ Mains☒ Main earthing system

Was any installation work carried out by the homeowner?

Yes

No

☒ MEN Switchboard closest to point of supply

Electric lines

Description of work carried out (If necessary attach any pages with work done)

*Upgrade internal mains to external SW Bcd.**Volts 235, 4 EL. (replaced by COO 355960)***CERTIFICATION OF WORK** (Please tick (✓) appropriate boxes)

I certify that the completed installation or part of the installation to which this certificate applies

- ☒ has been installed in accordance with the design detailed in the Declaration of Conformity section above
☒ has had tests which are required by the Electricity (Safety) Regulations 2010 satisfactorily completed
☒ has an earthing system that is correctly rated
☒ contains fittings which are safe to connect to a power supply
☒ is safe to connect to a power supply

ELECTRICAL WORKER DETAILSName *Mike Ryk*Registration No. *E11216*Company *M PE*Contact Ph No. *0274 459411*Signature *M Ryk*

Date

INSPECTION DETAILS

Electrical work requiring inspection by a registered electrical inspector

☒ Mains work (mains, MEN switchboards closest to the point of supply, or main earthing systems)☐ Attached other☐ Work carried out in accordance with Part 1 of AS/NZS 3000:2007

I certify that the items identified above are electrically safe and that the inspection has been carried out in accordance with the Electricity (Safety) Regulations 2010.

Name *M. Ryk*Registration No. *E11216*Signature *M. Ryk*Date *6-9-12*Contact Ph No. *0274 371 305***CUSTOMER COPY - THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED**

CODE COMPLIANCE CERTIFICATE

Section 95, Building Act 2004

BC240326 & BC240326.01**THE BUILDING**

Street address of building:	8 Willoughby Street WOBURN 5010
Legal description of land where building is located:	LOTS 7/8 DP 10974 450/79
Building name:	Main building
Location of building within site or block number:	Street side of site
Level/unit number:	Two levels
Current lawfully established use:	Housing – Detached dwelling
Year first constructed:	

THE OWNER

Name of owner:	Ross Hounsell Collinge
Contact person (complete if applicable):	
Mailing address:	8 Willoughby Street, WOBURN 5010
Street address/registered office:	8 Willoughby Street WOBURN 5010
Contact phone number:	568 5341
Contact mobile number:	0275663078
Daytime contact phone number:	Refer to above contact number(s)
After hours contact phone number:	Refer to above contact number(s)
Landline contact phone number:	Refer to above contact number(s)
Facsimile number:	
Contact email address:	thecollinges@xtra.co.nz
Website (if applicable)	
First point of contact for communication with the Hutt City Council/Building Consent Authority (BCA) is the Agent:	Jayden Hodson 5 Highfield place Korokoro 5012 0279188822 jayden@hodsonconstruction.co.nz

BUILDING WORK

Building Consent No: BC240326

Description of building work RBW - Housing (Detached Dwelling) - New 2 storey 2-bedroom dwelling with attached carport and deck. Profiled metal cladding and roofing. New stormwater, waste, water and power connections.

Issued By: Hutt City Council

Issued: 4 July 2024

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that:

(a) the building work complies with the building consent

Signature:



Name: R Manson

Position: Building Officer

On behalf of Hutt City Council

Date: 29 August 2025

Attachments

Attachment: None

SITE INFORMATION:	
ADDRESS:	8 WILLOUGHBY STREET WOBRURN, LOWER HUTT
LEGAL DESCRIPTION:	Lot 7 DP 10974
PROPERTY AREA:	248m²
EXPOSURE ZONE:	C
EARTHQUAKE ZONE:	ZONE 3
CLIMATE ZONE:	ZONE 3
RAINFALL INTENSITY:	60-70mm
WIND DETERMINATION: (PER BRANZ MAP)	
WIND REGION:	W
LEE ZONE:	NO
WIND ZONE:	HIGH
DISTRICT PLAN ZONE:	HUTT CITY COUNCIL
RESOURCE CONSENT:	REFER RM240061 FOR RC SUBMISSION AND BOUNDARY ADJUSTMENT

BUILDING CONSENT COMPLIANCE NOTES:	
B1/AS1 STRUCTURE:	-REFER TO STRUCTURAL ENGINEER'S DETAILS, SPECIFICATION, CALCULATIONS, LBP MEMORANDUM AND PRODUCER STATEMENT. -REFER TO STRUCTURAL ENGINEER BRACING PLANS AND CALCULATIONS. -REFER TO STRUCTURAL ENGINEER'S DETAILS FOR CONNECTIONS. -REFER TO AKA PLANS FOR WALL FRAMING STRUCTURE. REFER AKA DECK BALUSTRADE DETAILS.
B2/AS1 DURABILITY:	-NEW BUILDING MATERIALS TO COMPLY WITH B2/AS1 AND NZS3604:2011. REFER AKA SPECIFICATION (3820-CARPENTRY) + STRUCTURAL ENGINEER SPECIFICATION.
C/AS1 PROTECTION FROM FIRE:	-SINGLE FAMILY DWELLING USE. PROPOSED WALLS AND ROOF LOCATIONS ARE GREATER THAN 1 METRE FROM THE SITE SIDE BOUNDARIES. -REFER AKA ELECTRICAL FLOOR PLANS (C-220 SERIES) FOR SMOKE ALARM LOCATIONS. SMOKE ALARM TO BE INSTALLED AS PER F7/AS1 - TYPE 1 DOMESTIC. WITHIN 3M OF SLEEPING SPACES AND AT LEAST 1 PER LEVEL.
D1/AS1 ACCESS ROUTES:	-NEW INTERNAL STAIRS COMPLY WITH D1/AS1 COMMON - MAIN PRIVATE STAIR REQUIREMENTS (190MM MAX RISER / 280MM MIN TREAD). Ø40 TIMBER HANDRAIL AT 900MM ABOVE STAIR PITCHLINE ON PROPRIETARY HANDRAIL BRACKETS. REFER TO AKA FLOOR PLANS + SECTION DRAWING C-400.
E1/AS1 SURFACE WATER:	-REFER TO ROOF PLANS (TL-102) FOR ROOF CATCHMENT AREAS, GUTTER, DOWNPIPE SIZES ETC. REFER TL-240 PLUMBING/DRAINAGE PLAN REFER TO AKA FLOOR PLANS + SECTION DRAWING C-400.
E2/AS1 EXTERNAL MOISTURE:	-REFER TO DRAWING C-001 FOR E2 BUILDING ENVELOPE RISK MATRIX. REFER TO C-900 SERIES DRAWINGS FOR EXTERIOR DETAILS. -REFER TO AKA SPECIFICATION 3000+4000 SERIES SPECIFICATION SECTIONS AND ASSOCIATED BRANZ/CODEMARK APPRASALS + TECHNICAL INFORMATION.
E3/AS1 INTERNAL MOISTURE:	-NEW ENSUITE HAVE SHEET VINYL WALLS, FLOORS AND SHOWER ENCLOSURE FORMING CONTINUOUS WPM. VINYL EXTENDS FULL HEIGHT TO WALLS. PROPRIETARY SHOWER CUBICLE. VINYL FLOOR COVERINGS + PAINTED GIB WALL/CEILINGS. -REFER TO SPECIFICATION (6411 POLYFLOOR VINYL) AND DETAILS ON SHEETS C-702 SERIES DRAWINGS.
F2/AS1 HAZARDOUS BUILDING MATERIALS:	-GLAZING TO COMPLY WITH NZS 4223.3. REFER AKA SPECIFICATION (4610-GLAZING)
F4/AS1 SAFETY FROM FALLING:	-RESTRICTOR STAYS TO WINDOW W-06 RESTRICTING OPENING WIDTH TO 100MM MAX. 1M HIGH PROPRIETARY BALUSTRADE SYSTEM TO EDGE OF DECK WHERE FALL IS GREATER THAN 1M. REFER GUARDIAN FENCING P51 + INSTALLATION INSTRUCTIONS + AKA 300/400 SERIES FOR BALUSTRADE EXTENT.
F7/AS1 WARNING SYSTEMS:	-SMOKE ALARMS TO BE INSTALLED AS PER F7/AS1 -REFER AKA ELECTRICAL FLOOR PLANS (C-220 SERIES) FOR SMOKE ALARM TYPE/LOCATIONS.
F9/AS1 RESTRICTING ACCESS TO RESIDENTIAL POOLS:	N/A.
G1/AS1 PERSONAL HYGIENE	-PERSONAL HYGIENE TO G1/AS1. -REFER C-200 SERIES FLOOR PLANS + C-240 PLUMBING + DRAINAGE PLAN AND C 700 SERIES BATHROOM PLANS/ELEVATIONS.
G2/AS1 LAUNDRING	-LAUNDRY TO G2/AS1 -REFER C-700 GROUND FLOOR TOILET/LAUNDRY PLAN + C-240 PLUMBING + DRAINAGE PLAN.
G4/AS1 VENTILATION:	-REFER TO C-240 PLUMBING AND DRAINAGE PLAN AND C-900 SERIES FOR EXTRACT FAN THROUGH WALL DETAILS AND FOR VENT PIPE THROUGH ROOF DETAIL. MECHANICAL EXTRACT TO ENSUITE, BATHROOMS, LAUNDRY AND KITCHEN TO COMPLY WITH G4/AS1. -REFER TO SPECIFICATION FOR FAN SPEC ON ELECTRICAL / PLUMBING LEGEND C-210/211+ 220.
G7/AS1 NATURAL LIGHT	-REFER AKA C-300/400 SERIES + C-800 DRAWINGS FOR EXTERIOR WINDOWS / SKYLIGHTS.
G8/AS1 ARTIFICIAL LIGHTING	-INSTALLATION OF ARTIFICIAL LIGHTING AS PER G8/AS1. -REFER AKA SPECIFICATION (7701-ELECTRICAL). REFER ELECTRICAL PLANS C-220/221.
G9/AS1 ELECTRICITY	-INSTALLATION OF ELECTRICAL COMPONENTS AS PER G9/AS1. -REFER AKA SPECIFICATION (7701-ELECTRICAL). REFER ELECTRICAL PLANS C-220/221.
G10/AS1 PIPED SERVICES:	N/A/NO GAS APPLIANCES
G12/AS1 WATER SUPPLIES:	-INSTALLATION OF POTABLE WATER SUPPLY PIPEWORK AS PER G12/AS1. -REFER TO C-240 PLUMBING & DRAINAGE PLAN / AKA SPECIFICATION (7120-HOT + COLD WATER SYSTEMS). -HWC WITH SAFETY TRAY AND SEISMIC RESTRAINT AS PER G12/AS1 FIG14 - REFER DETAIL SHEET C-910.
G13/AS1 FOUL WATER:	-ALL PLUMBING AND DRAINAGE WORK TO COMPLY WITH AS/NZS3500.2. -REFER TO C-240 PLUMBING & DRAINAGE PLAN / AKA SPECIFICATION (7420-SANITARY SYSTEM).
H1/AS1 ENERGY EFFICIENCY:	-REFER TO H1 REPORT SHOWING COMPLIANCE TO H1/AS1 EDITION 5, VIA THE CALCULATED METHOD. REFER TO DETAILS + PLANS FOR INSULATION R-VALUES AND H1 REPORT FOR CONSTRUCTED R-VALUES. REFER AKA SPECIFICATION (4710 ROCKWOOL INSULATION / 4710EW EARTHWOOL + 4610AP RESIDENTIAL GLAZING)

GENERAL OUTLINE SPECIFICATION NOTES:	
(READ IN CONJUNCTION WITH DETAILED DRAWINGS + SPECIFICATION)	
EXTERIOR WALLS (LOWER LEVEL):	ELECTRICAL:
140x45 SG8 H1.2 FRAMING AT 600 CTRS, 0.55BM1 COLORSTEEL ENDURA CORRUGATED PROFILE VERTICAL CLADDING AND ASSOCIATED FLASHINGS SECURED OVER THERMAKRAFT WATERGATE BUILDING WRAP. R4.1 EARTHWOOL INSULATION BATTS AND GIB LININGS (TYPICALLY). TAPERED CLADDING SKIRT TO BUILDING BASE SET NOM 150 ABOVE GROUND.	NEW POWER FEED, METERBOARD + DIGITAL METER. DISTRIBUTION BOARD. REFER ELECTRICAL PLAN + SPECIFICATION FOR LIGHTING AND POWER SOCKET OUTLETS.
	ALLOW FOR POWER FOR MOTORISED GATE AND HOTWATER/HEATING SYSTEM. 20AMP SUPPLY TO LIFT GEAR
	LIGHTING: REFER PROVISIONAL SUMS.
	ROOF:
	0.55BM1 COLORSTEEL ENDURA METALKRAFT KAHU PROFILE ROOFING OVER THERMAKRAFT 407 SELF-SUPPORTING ROOF UNDERLAY ON 20MM VENT BATTEN ON 240X45 SG8 H1.2 RAFTERS @ 600 CTRS. WITH R5.0 EARTHWOOL INSULATION BATTS.
	SPROUTING / DOWNPIPE:
	METALCRAFT 175 BOX SPOUTING WITH EXTERNAL BRACKETS OUTLET TO FIT 65 DIA CIRCULAR DOWNPIPE.
	SKYLIGHTS:
	VELUX SOLAR OPENING OPENING SKYLIGHTS 4622, 1302 mm x 692 mm. WITH CUSTOM OR PROPRIETARY FLASHING KIT.
	FLOORS:
	GROUND FLOOR:
	21mm ECOPLY CD GRADE FLOORING SCREWED AND GLUED TO 190X45@ 400 CTRS SG8 H1.2 FLOOR JOISTS - OVER 190X90 H3.2 BEARERS. EXPOL R1.8 UNDER FLOOR POLYSTYRENE INSULATION (100mm).
	200MU POLYTHENE TO EXPOSED GROUND BELOW SUSPENDED FLOOR AREA.
	CORK TILES TO GROUND FLOOR AREAS (ALLOW \$120/SQM SUPPLY/INSTALL)
	FIRST FLOOR:
	21mm ECOPLY CD GRADE FLOORING SCREWED AND GLUED TO 290X45@ 400 CTRS SG8 H1.2 FLOOR JOISTS. CARPET TO FIRST FLOOR TYPICALLY (ALLOW \$80/SQM SUPPLY/INSTALL). VINYL AS PER SPEC TO ENSUITE/BATHROOM.
	STAIR:
	18/20mm PLY/MDF RISERS/TREADS WITH CONCEALED TIMBER STRINGER. NEW COMMON STAIR AS PER NZBC D1/AS1: 190mm RISER (NOMINAL), 280mm MIN TREAD DEPTH. 305mm TOTAL WITH 25mm ANGLE NOSING LAP. Ø40 CLEAR PINE HANDRAIL (PAINTED) ON HALLIDAY BALLIE HB500 PROPRIETARY STAIR BRACKETS AT 800 CTRS.
	FIXTURES AND FITTINGS:
	BATHROOM FITTINGS, TAPWARE ETC. REFER PROVISIONAL SUMS. KITCHEN / LAUNDRY APPLIANCES. REFER PROVISIONAL SUMS.
	KITCHEN FINISHES:
	STAINLESS STEEL BENCHTOP WITH INTEGRATED SINKS. MELTECA OR SIMILAR CARCASS + FRONTS. REFER PROVISIONAL SUMS.
	LANDSCAPE STRUCTURES:
	HARDWOOD DECKING TO H3.2 SUB-STRUCTURE - INCLUDING ENTRY RAMP DECK BALUSTRADE - MITRE 10 GUARDIAN BALUSTRADE - BLACK 1010H X 1500W - MITRE 10 SKU: 322609/MODEL: NZBALP1500B.
	BROOM FINISHED CONCRETE PATHS, AND CARPAD.
	MODIFY EXISTING FENCE TO INSTALL NEW TIMBER GATE. NEW MATCHING FENCE TO NORTH BOUNDARY - ADJACENT TO EXISTING DRIVEWAY. PAINT EXTG AND NEW FENCE.
	NEW MOTORISED SLIDING GATE- REFER PROVISIONAL SUMS.
	PLUMBING + DRAINAGE:
	SEWER: ALLOW TO MAKE NEW SEWER CONNECTION TO SEWER MAIN IN STREET - NOMINALLY 5m SOUTH OF SITE.
	STORMWATER: DOWNPIPES RUN TO 2000L THIN TANK DETENTION TANK (ON 50MM CONC PAD) + SEISMIC RESTRAINT BEFORE DISCHARGE TO STREAM OR STORMWATER MAIN. REFER PLUMBING + DRAINAGE AND ROOF PLANS.

These documents must be retained on site. Inspections may not be carried out if they are not.

RISK SEVERITY	SCORES AS PER E2/AS1 TABLE 2:				SUBTOTALS FOR EACH RISK FACTOR PER WALL:			
RISK FACTOR	LOW	MEDIUM	HIGH	V. HIGH	NORTH	SOUTH	EAST	WEST
WINDZONE	0	0	1	2	1	1	1	1
NUMBER OF STOREYS	0 (1S)	1 (2 IN PART)	2 (2 S)	4 (2+)	2	2	2	2
ROOF/WALL INTERSECTION	0	1	3	5	1	1	1	1
EAVES WIDTH	0 (600 +)	1 (451-600)	2 (101-450)	5 (0-100)	5	5	5	5
ENVELOPE COMPLEXITY	0	1	3	6	1	1	1	1
DECK DESIGN	0	2	4	6	0	0	0	0
TOTAL RISK SCORE PER WALL					10	10	10	10
THIS RISK MATRIX IS FOR THE EXTERNAL CLADDING OF THE HOUSE LOWER LEVEL CLAD WITH CORRUGATE PRORLED METAL CLADDING (VERTICAL) DIRECT FIXED OVER BUILDING WRAP TO H1.2 SG8 140x45 FRAMING AT 600 CTRS. R4.1 WALL INSULATION. UPPER LEVEL WALLS CLAD WITH METALCRAFT KAHU PROFILED METAL CLADDING (VERTICAL) OVER VENTED CAVITY TO BUILDING WRAP TO H1.2 SG8 140x45 FRAMING AT 600 CTRS. R4.1 WALL INSULATION.								

E2 Matrix
1 : 50

BUILDING CONSENT

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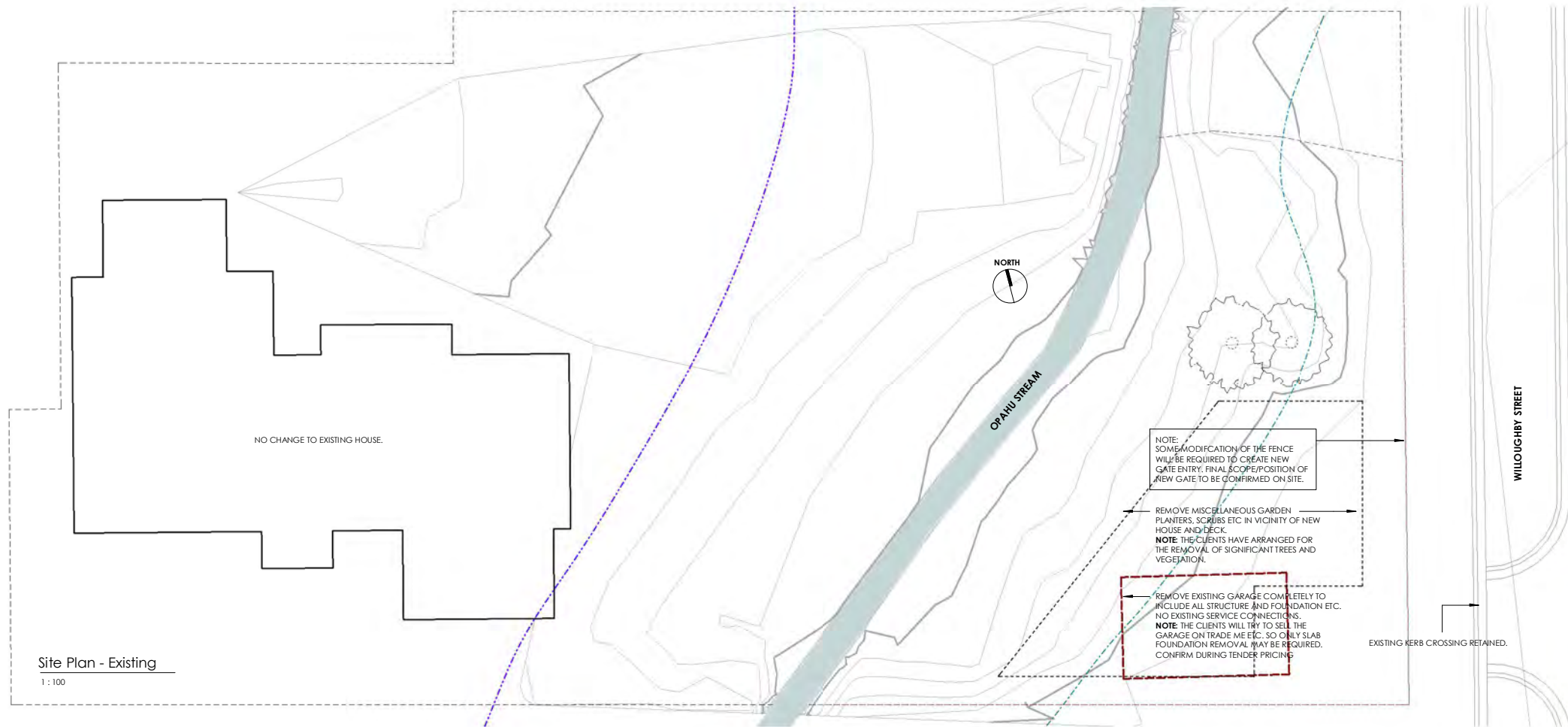
Drawing List			
Number	Sheet Name	Date	Rev
C-001	Cover Sheet	10 MAY 24	A
C-010	Site Plan	10 MAY 24	B
C-190	Grid / Pile Setout	10 MAY 24	A
C-200	Foundation Plan	10 MAY 24	A
C-201	Set Out Plan - Ground Floor	10 MAY 24	B
C-202	Set Out Plan - First Floor	10 MAY 24	B
C-210	Proposed Floor Plans	10 MAY 24	B
C-220	Ground Floor - Electrical Plan / Reflected Ceiling Plan	10 MAY 24	A
C-221	First Floor - Electrical + Reflected Ceiling Plans	10 MAY 24	A
C-240	Plumbing + Drainage Plans	10 MAY 24	B
C-300	East / West Elevation	10 MAY 24	B
C-301	North / South Elevations	10 MAY 24	B
C-302	True West Elevation	10 MAY 24	A
C-400	Sections A-C	10 MAY 24	B
C-401	Sections D-G	10 MAY 24	B
C-410	Foundation Sections AA-BB	10 MAY 24	A
C-411	Foundation Sections CC_DD	10 MAY 24	A
C-700	WC / Laundry	10 MAY 24	A
C-701	Bathroom Plan + Elevations	10 MAY 24	A
C-702	Ensuite / Wardrobe Plan + Elevations	10 MAY 24	A
C-710	Kitchen Plan + Elevations	10 MAY 24	A
C-800	Window + Door Schedule	10 MAY 24	A
C-900	Construction Detail - Sheet 1 - W-03/W-13 Jamb	10 MAY 24	A
C-901	Construction Detail - Sheet 2 - W-6/ W-16 Jamb, W-15 Sil	10 MAY 24	A
C-902	Construction Detail - Sheet 3 - W-06 / W-16 Section	10 MAY 24	A
C-903	Construction Detail - Sheet 4 - Roof Vent - W-12 Jamb/Head	10 MAY 24	A
C-904	Construction Detail - Sheet 5 - Internal Cladding Corner / Carport Roof Apron	10 MAY 24	A
C-905	Construction Detail - Sheet 6 - Carport Roof Barge / Extract Details / W13 Head / Roof Barge	10 MAY 24	A
C-906	Construction Detail - Sheet 7 - W-02 Jamb + Wall Section	10 MAY 24	A
C-907	Construction Detail - Sheet 8 - W-02 / W-12 Section	10 MAY 24	A
C-908	Construction Detail - Sheet 9 - Carport	10 MAY 24	A
C-909	Construction Detail - Sheet 10 - Skylight	10 MAY 24	A
C-910	Construction Detail - Sheet 11 - Shower Base / HWC Seismic	10 MAY 24	A
C-911	Construction Detail - Sheet 12 - Wind Screen	10 MAY 24	A

NO#:	LOCATION:	TYPE:	LEAF/FRAME:	SIZE:	HARDWARE:
D-1	STAIR CUPBOARD (LOCKABLE)	HINGED	PAINT QUALITY CARBON CORE DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	810 X 2200	LEVER HANDLE LOCKSET WITH INTERNAL TURN.
D-2	LIFTENTRY	HINGED	PAINT QUALITY CARBON CORE DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	810 X 2200	REFER UFT INSTALLATION INSTRUCTIONS FOR ELECTRONIC DOOR RELEASE + HARDWARE REQMTS.
D-3	WASHROOM	HINGED	PAINT QUALITY CARBON CORE DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	810 X 2200	LEVER HANDLE PRIVACY SET. WALL MOUNTED DOOR STOP
D-4	LAUNDRY	BI-FOLDING	PAINT QUALITY CARBON CORE DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	2/600 X 2200	RECESSED FLUSH PULL. HETTICH OR SIMILAR BI-FOLDING DOOR GEAR.
D-5	PANTRY	CAVITY SLIDER - SINGLE	PAINT QUALITY DOOR LEAF WITH PROPRIETARY CAVITY SLIDER FRAME WITH PLANTED ARCHITRAVES.	760 X 2200	RECESSED FLUSH PULL. CS SLIDER TIMBER FORM WITH SOF-CLOSE.
D-6	LIFTENTRY	HINGED	PAINT QUALITY CARBON CORE DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	810 X 2200	REFER UFT INSTALLATION INSTRUCTIONS FOR ELECTRONIC DOOR RELEASE + HARDWARE REQMTS.
D-7	STORE/STUDY	HINGED	PAINT QUALITY CARBON CORE DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	710 X 2200	LEVER HANDLE LATCH SET. WALL MOUNTED DOOR STOP.
D-8	BATHROOM	HINGED	PAINT QUALITY CARBON CORE DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	710 X 2200	LEVER HANDLE PRIVACY SET. WALL MOUNTED DOOR STOP.
D-9	BEDROOM	HINGED	PAINT QUALITY CARBON CORE DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	810 X 2200	LEVER HANDLE LATCH SET. WALL MOUNTED DOOR STOP.
D-10	BEDROOM WARDROBE	SLIDING - DOUBLE	PAINT QUALITY DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	2/900 X 2200	RECESSED FLUSH PULLS. COWDROY ROBEMAKER (WHITE) SLIDING DOOR GEAR.
D-11	BEDROOM	HINGED	PAINT QUALITY CARBON CORE DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	810 X 2200	LEVER HANDLE LATCH SET. FLOOR MOUNTED DOOR STOP.
D-12	ENSUITE	HINGED	PAINT QUALITY CARBON CORE DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	810 X 2200	LEVER HANDLE PRIVACY SET. FLOOR MOUNTED DOOR STOP

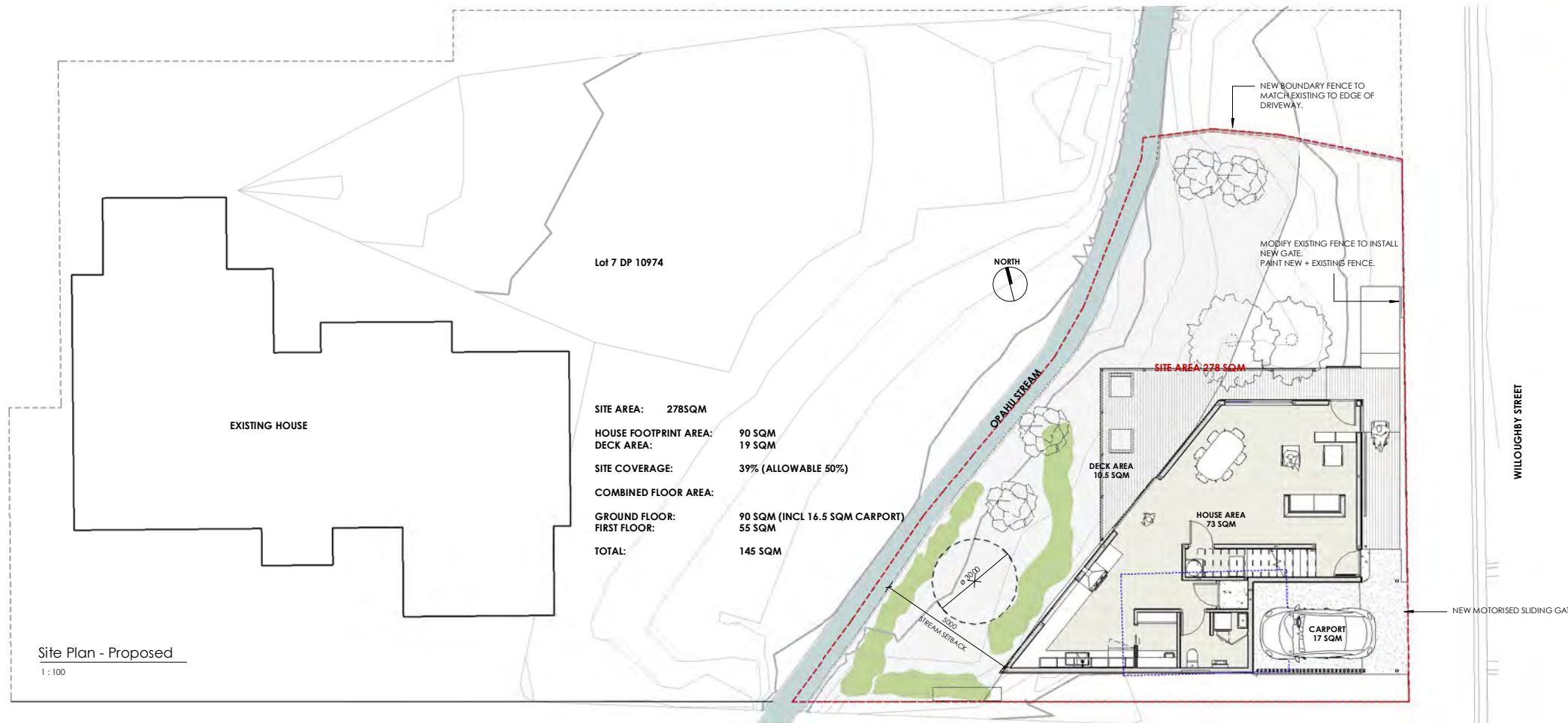
Interior Door Schedule
1 : 25

BUILDING CONSENT / TENDER

	A 10 MAY 24	BUILDING CONSENT / TENDER	As indicated - A1	8 Willoughby Street Woburn Lower Hutt	COLLINGE HOUSE	REV
					Cover Sheet	C-001 A



Site Plan - Existing
1 : 100



Site Plan - Proposed
1 : 100



REMOVE EXISTING GARAGE COMPLETELY TO INCLUDE ALL STRUCTURE AND FOUNDATION ETC.
NOTE: THE CLIENTS WILL TRY TO SELL THE GARAGE ON TRADE ME ETC. SO ONLY SLAB FOUNDATION REMOVAL MAY BE REQUIRED. CONFIRM DURING TENDER PRICING.
THERE ARE NO EXISTING SERVICE CONNECTIONS.

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BUILDING CONSENT / TENDER

All work is to be in accordance with the NZBC.

Contractor to confirm all dimensions on site prior to commencement of work.

This drawing is to be read in conjunction with the specification of materials and workmanship.

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH
STRUCTURAL ENGINEERS DOCUMENTATION

Rev	Date	Description
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A 10MAY24 BUILDING CONSENT / TENDER



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Ltd

Scale @ A1 Scale @ A3
55 : 25



Note: Original (scaled) drawing sheet size A1.

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Contractor to confirm all dimensions on site prior to commencement of work.

This drawing is to be read in conjunction with the specification of materials and workmanship.

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH
STRUCTURAL ENGINEERS DOCUMENTATION

Rev	Date	Description
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A 10MAY24 BUILDING CONSENT / TENDER

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Ltd

8 Willoughby Street
Woburn
Lower Hutt

Drawing Number

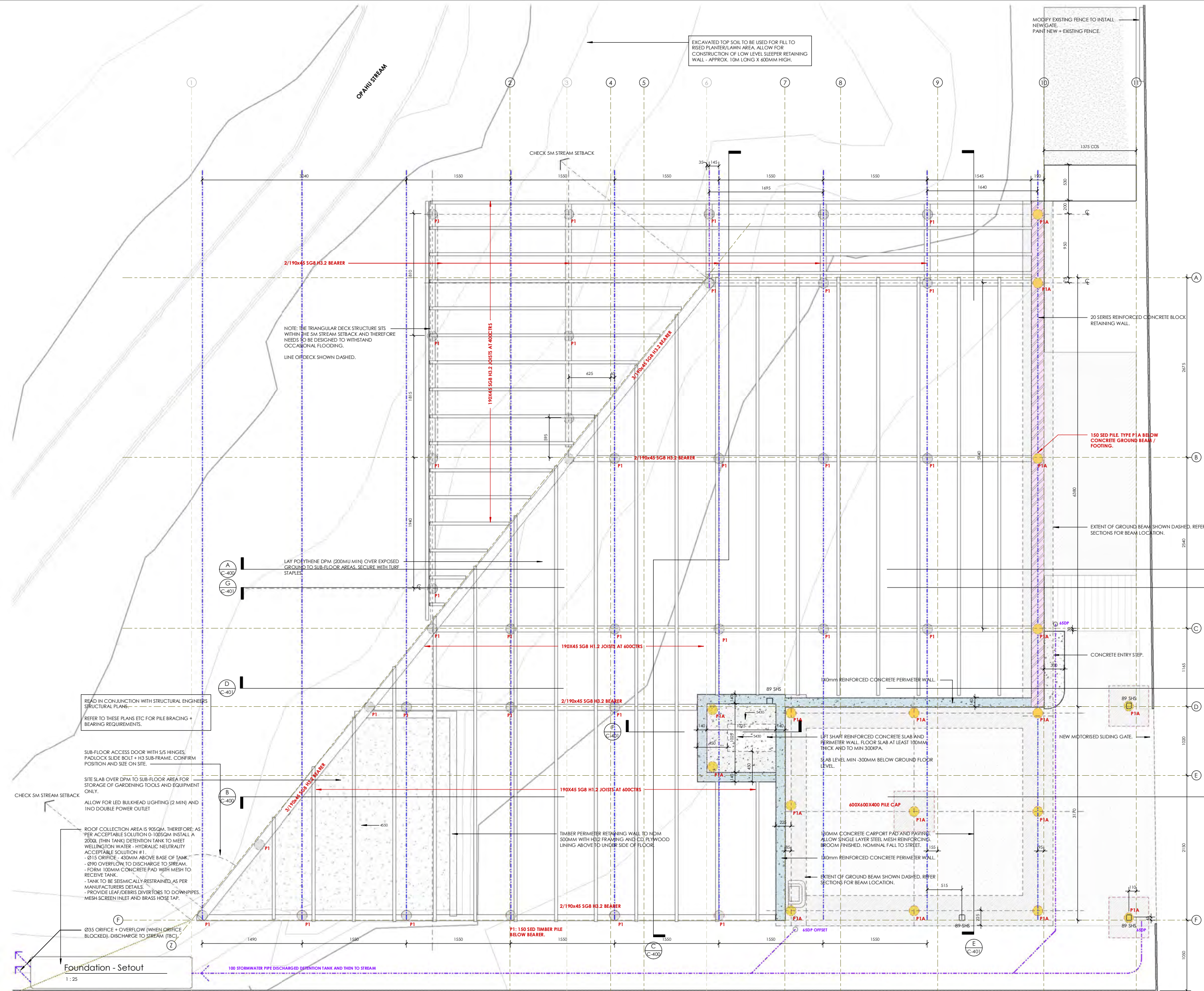
C-200

Date
10 MAY 24

revision

A

Scale @ A1 Scale @ A3
56 : 25





Note: Original (scaled) drawing sheet size A1.
All work is to be in accordance with the NZBC.
Contractor to confirm all dimensions on site prior to commencement of work.
This drawing is to be read in conjunction with the specification of materials and workmanship.

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTATION

Rev	Date	Description
A	8MAR24	RESOURCE CONSENT
B	10MAY24	BUILDING CONSENT / TENDER
C	13JUN24	BUILDING CONSENT RFI RESPONSE

BUILDING CONSENT

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BUILDING CONSENT
/ TENDER



COLLIDGE HOUSE

8 Willoughby Street
Woburn
Lower Hutt

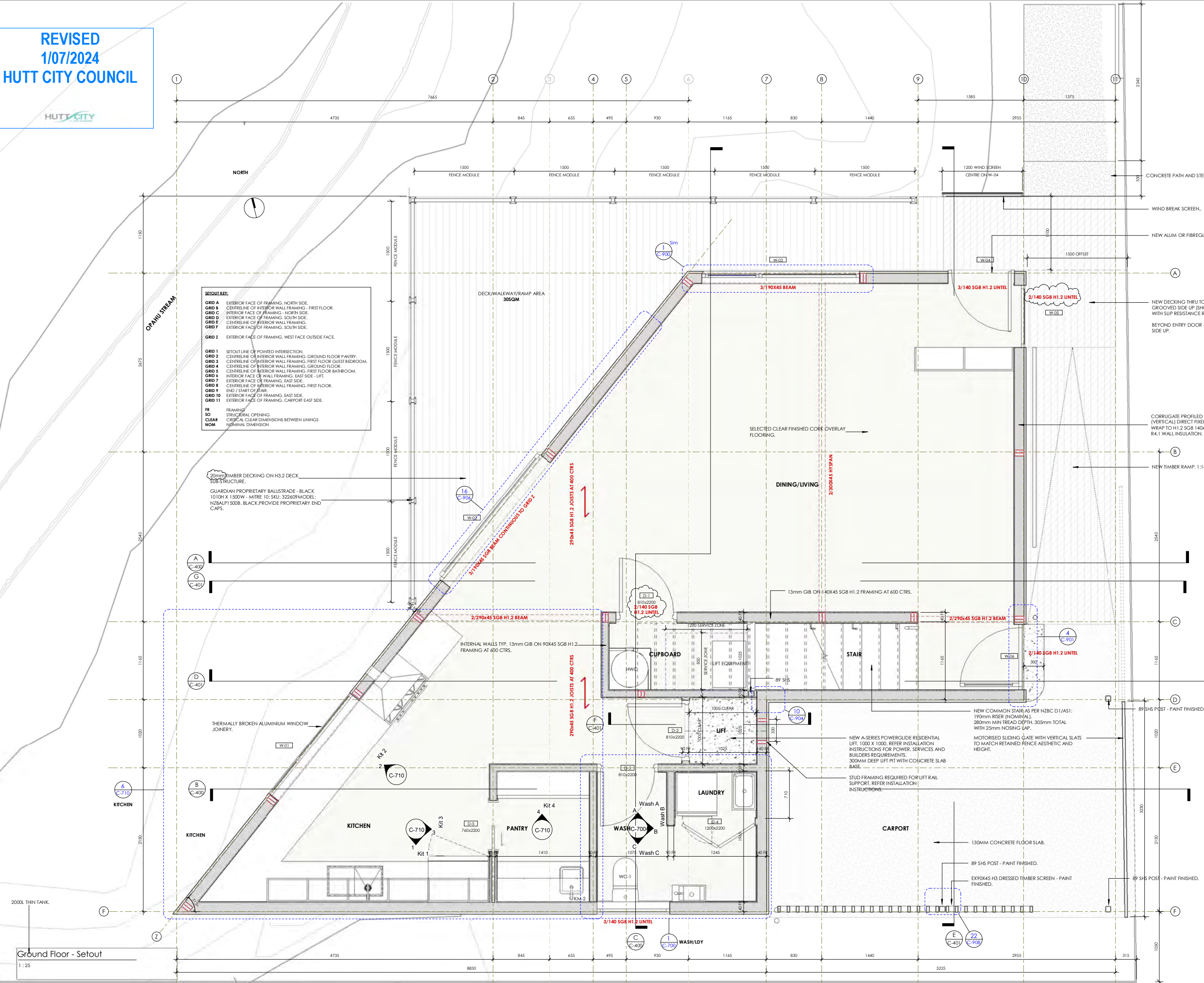
Set Out Plan - Ground Floor

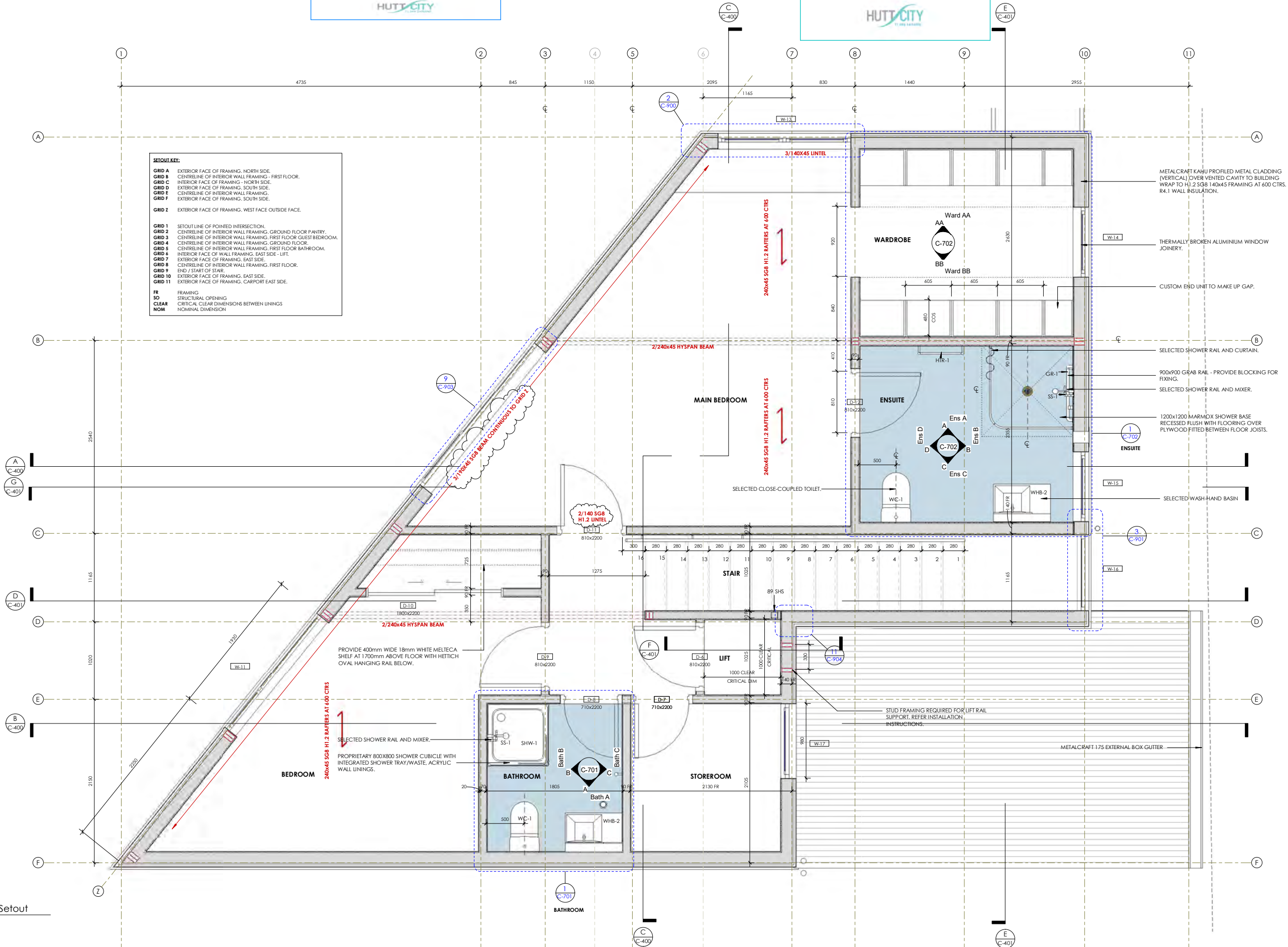
Drawing Number
C-201

Revision
C

Date
13 JUN 2024

Scale @ A1 Scale @ A3
57 : 25





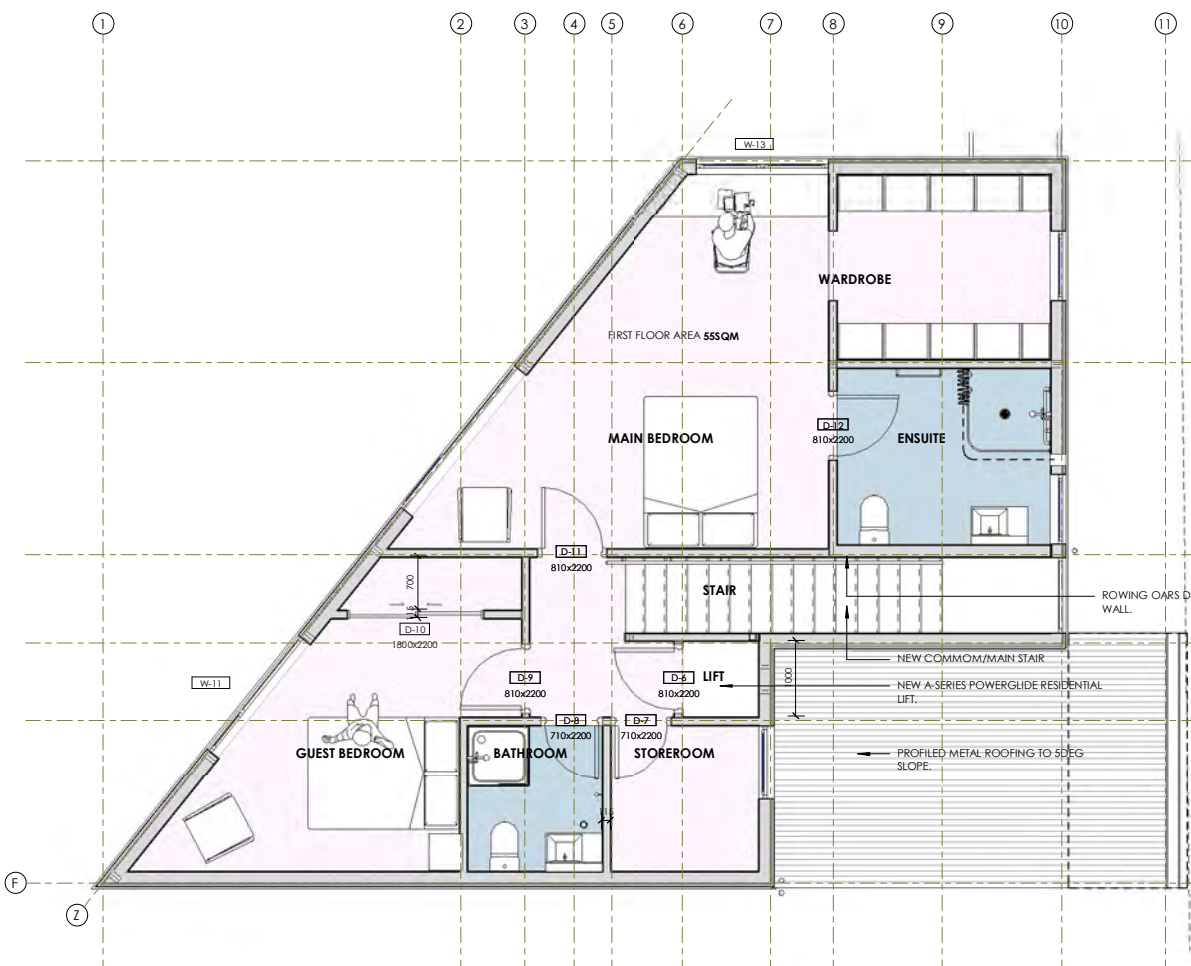
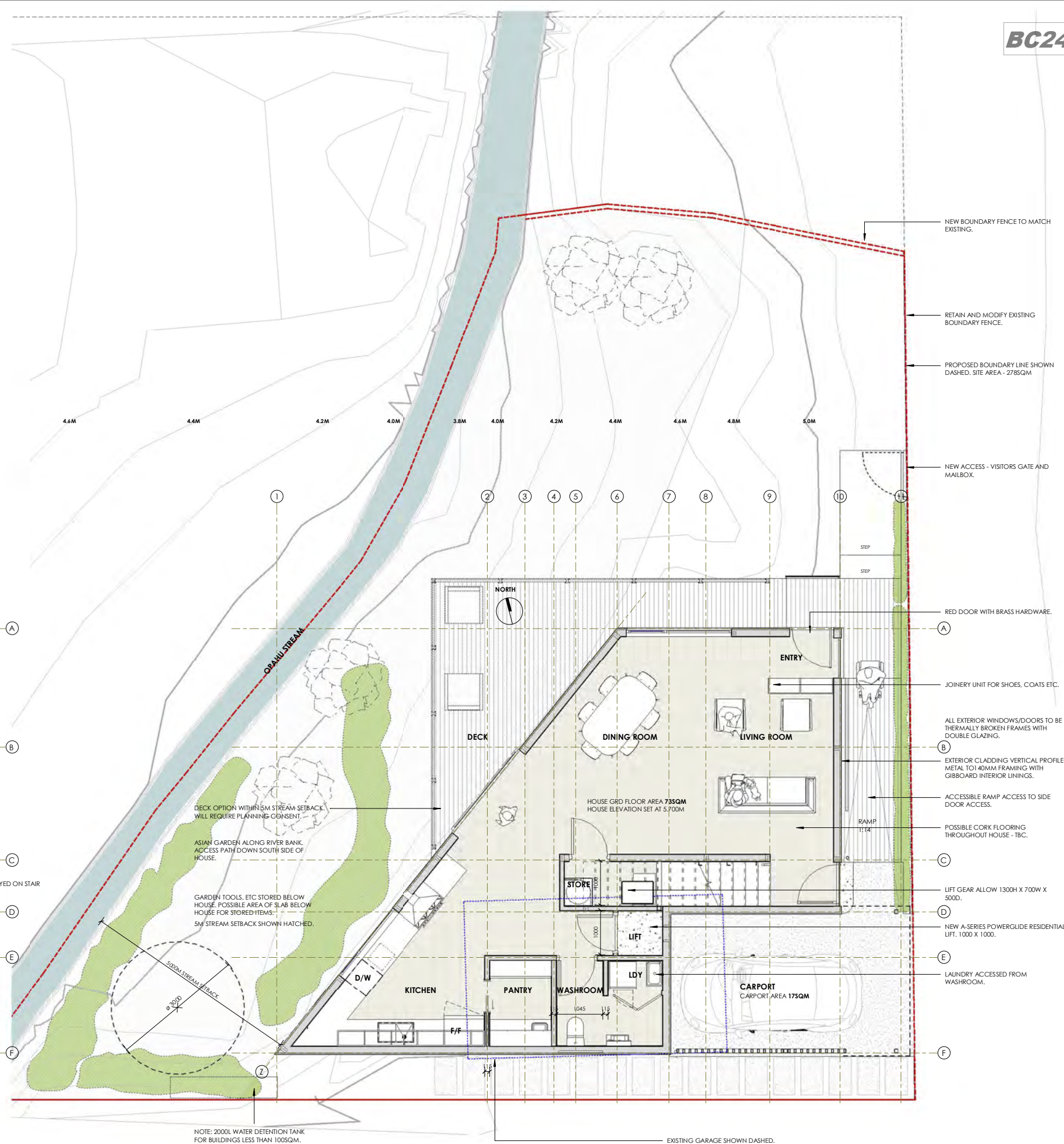
1 : 25

Scale @ A1 Scale @ A3
58
↑ : 25

BUILDING CONSENT

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1/07/2024

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First Floor Level 8.75
1:50Ground Floor Level 5.75
1:50

BUILDING CONSENT / TENDER

8 MAR 24
10 MAY 24
RC INFO
BUILDING CONSENT /
TENDER8 Willoughby Street
Woburn
Lower Hutt

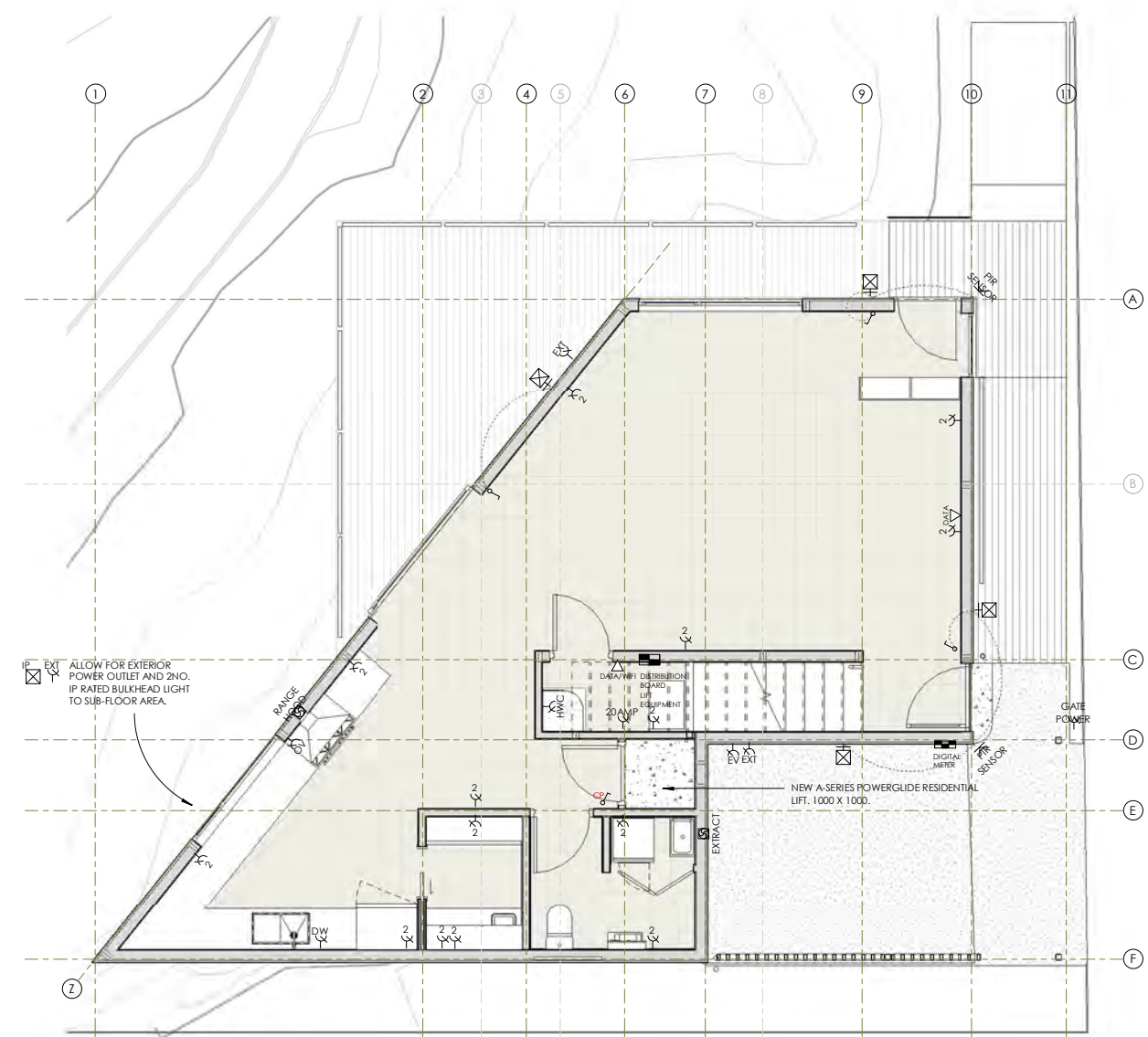
COLLINGS HOUSE

Proposed Floor Plans

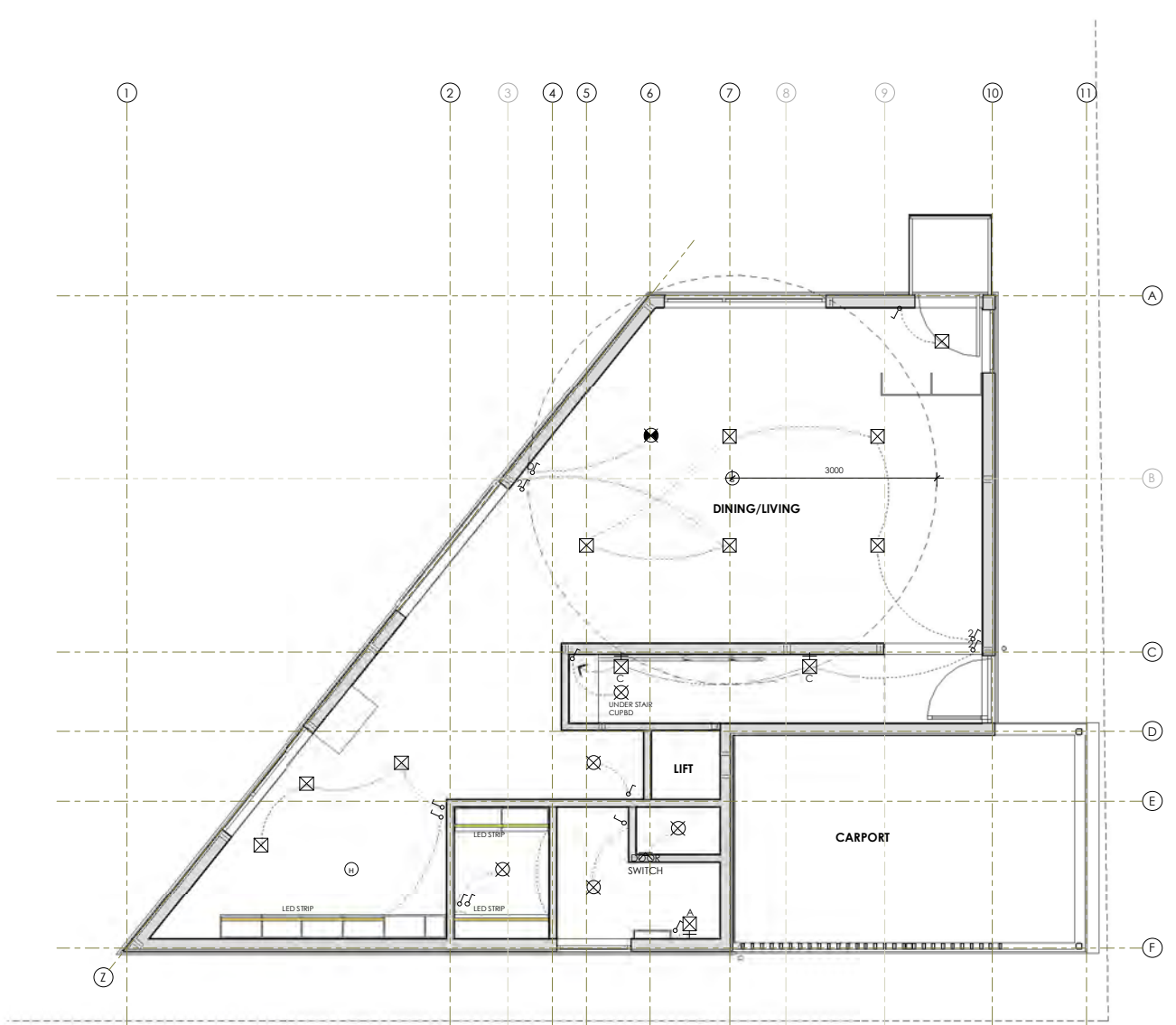
C-210 B

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Ground Floor - Electrical
1 : 50



Ground Floor Reflected Ceiling Plan
1 : 50

LIGHTING KEY:

- [Symbol] SURFACE MOUNTED LIGHT
- [Symbol] CEILING RECESSED LED LIGHT
- [Symbol] CEILING ROSE (PENDANT)
- [Symbol] INTERIOR WALL MOUNTED LIGHT
- [Symbol] EXTERIOR WALL MOUNTED LIGHT
- [Symbol] EXTERIOR INGROUND/DECK LIGHT
- [Symbol] RECESSED LED STRIP
- [Symbol] LIGHT SWITCH
- [Symbol] 2-WAY LIGHT SWITCH
- [Symbol] LIGHT SWITCH WITH DIMMER
- [Symbol] LIFT CALL POINT
- [Symbol] ELECTRIC VEHICLE CHARGER - WIRE FOR FUTURE
- [Symbol] HEATED TOWEL RAIL

ELECTRICAL KEY:

- [Symbol] DOUBLE ELECTRICAL SOCKET
- [Symbol] HARDWIRED POWER OUTLETS WITH ISOLATING SWITCH
- [Symbol] ELECTRICAL FLOOR BOX
- [Symbol] CEILING MOUNTED POWER SOCKET
- [Symbol] 2-ELECTRICAL + 1 C-TYPE / 1 A-TYPE USB SOCKET
- [Symbol] DATA/WIFI
- [Symbol] EXTERIOR ELECTRICAL OUTLET
- [Symbol] TYPE 1 DOMESTIC SMOKE ALARM
- [Symbol] CAVIUS WIRELESS HEAT DETECTOR
- [Symbol] DISTRIBUTION BOARD
- [Symbol] DIGITAL METER
- [Symbol] UNDER FLOOR HEATING ZONE - COMPLETE WITH CONTROLLER, THERMOSTAT AND TIMER.

NOTES:

1: ALL LIGHT SWITCHES TO BE LOCATED 1200MM AFFL (LOWER EDGE OF PLATE).

2: ALL SOCKETS TO BE LOCATED 300MM AFFL UNLESS STATED OTHERWISE (LOWER EDGE).

3: LOCATION OF ALL OUTLETS + LIGHTS TO BE CONFIRMED ON SITE PRIOR TO INSTALLATION.

4: BATHROOM/TOILET EXTRACTS SWITCHED TO ROOM LIGHTING WITH OVRUNN TIMER.

5: ALL APPLIANCES SUPPLIED BY CLIENT UNLESS STATED.

6: ELECTRICAL PLAN TO BE READ IN CONJUNCTION WITH REFLECTED CEILING PLAN (VICE VERSA), SPECIFICATION AND LIGHTING SCHEDULE.

7: SMOKE ALARMS TO BE LOCATED WITHIN 3M OF ALL BEDROOMS, ATLEAST ONE SMOKE ALARM TO BE PROVIDED PER LEVEL.

8: REFER PROVISIONAL SUM FOR SUPPLY OF LIGHT FITTINGS.

9: REFER TO LIFT INSTALLATION INSTRUCTIONS FOR ELECTRICAL REQUIREMENTS. INCLUDES:
- 20 amp single phase Non-RCD power supply in HPU/PLC cupboard. Dedicated and permanent supply (to be wired permanently once PLC has been installed). Non RDC. Provide isolating switch.
- Telephone jack in HPU/PLC cupboard for lift car phone

LIGHT FITTINGS:

LED-S
LED SURFACE MOUNTED LIGHT:
Brightlight Baseline 01: White (unless stated otherwise)

SM2
SURFACE MOUNTED DOWNLIGHT:
Prolux Ruawai NS226: White + white

TR1
TRACK SYSTEM SURFACE MOUNTED:
Light Plan Move II Magnetic: White 26w X 54h
IT35 SPOT: White 35w X 85h

LED-R
LED RECESSED JOINERY LIGHT:
Brightlight Lowline 02: Anodised (unless stated otherwise)

WL1
WALL MOUNTED LIGHT:
Prolux Hauraki UL720: White 140w X 140h X 110d

SM1
SURFACE MOUNTED SWIVEL DOWNLIGHT:
Prolux Te Hana NS215: White 75w X 91h

WL2
WALL MOUNTED LIGHT VANITY:
Prolux Ngaroto W1933/20: White 500w X 50h X 125d

EWL1
EXTERIOR WALL MOUNTED LIGHT:
Prolux Wairarapa VAS06: Black 70w X 140h X 45d

ESM1
EXTERIOR SURFACE MOUNTED DOWNLIGHT:
Prolux Pukekohe DL37: Black 90w X 91h

BUILDING CONSENT

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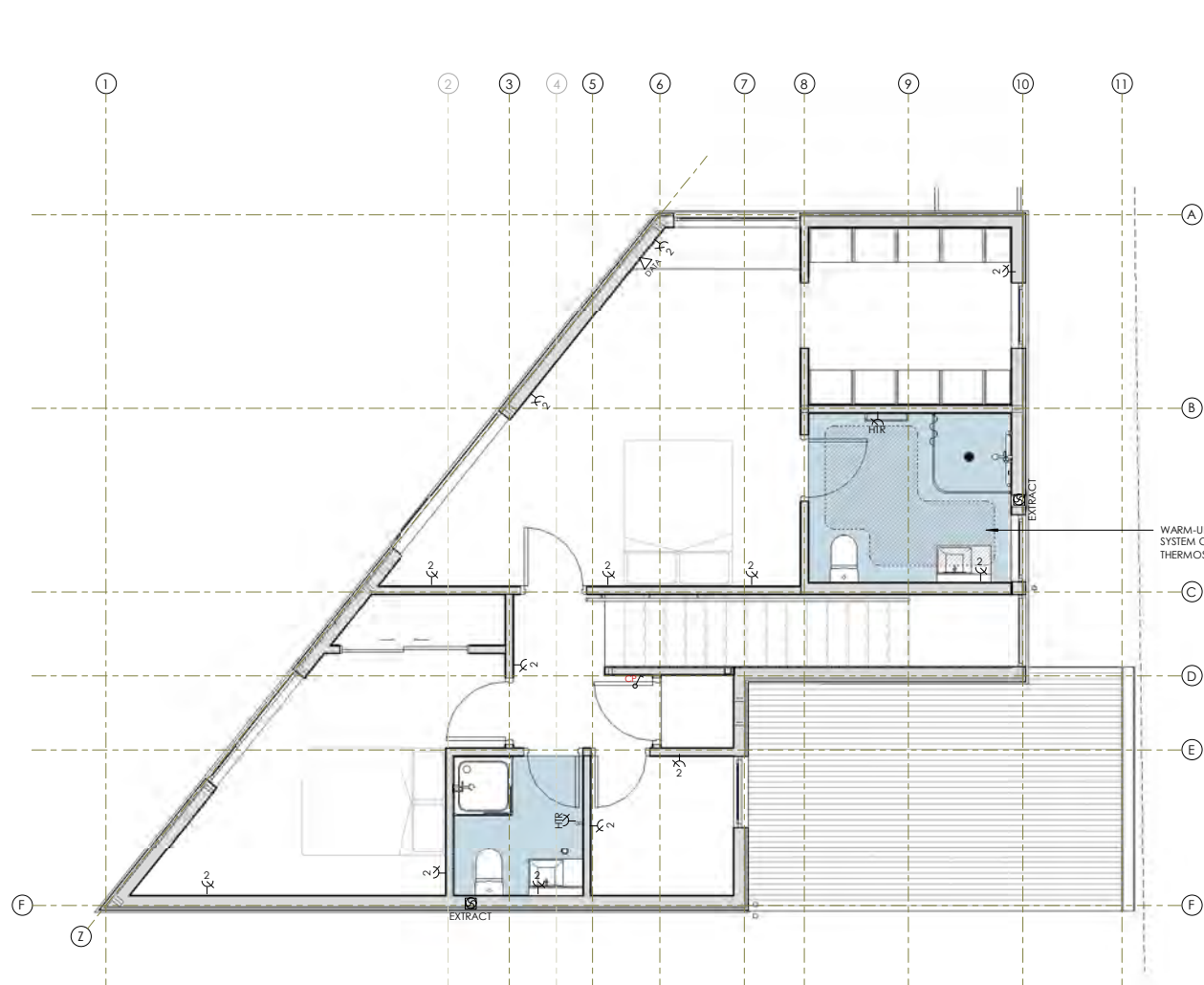
HUTT CITY COUNCIL

BUILDING CONSENT / TENDER

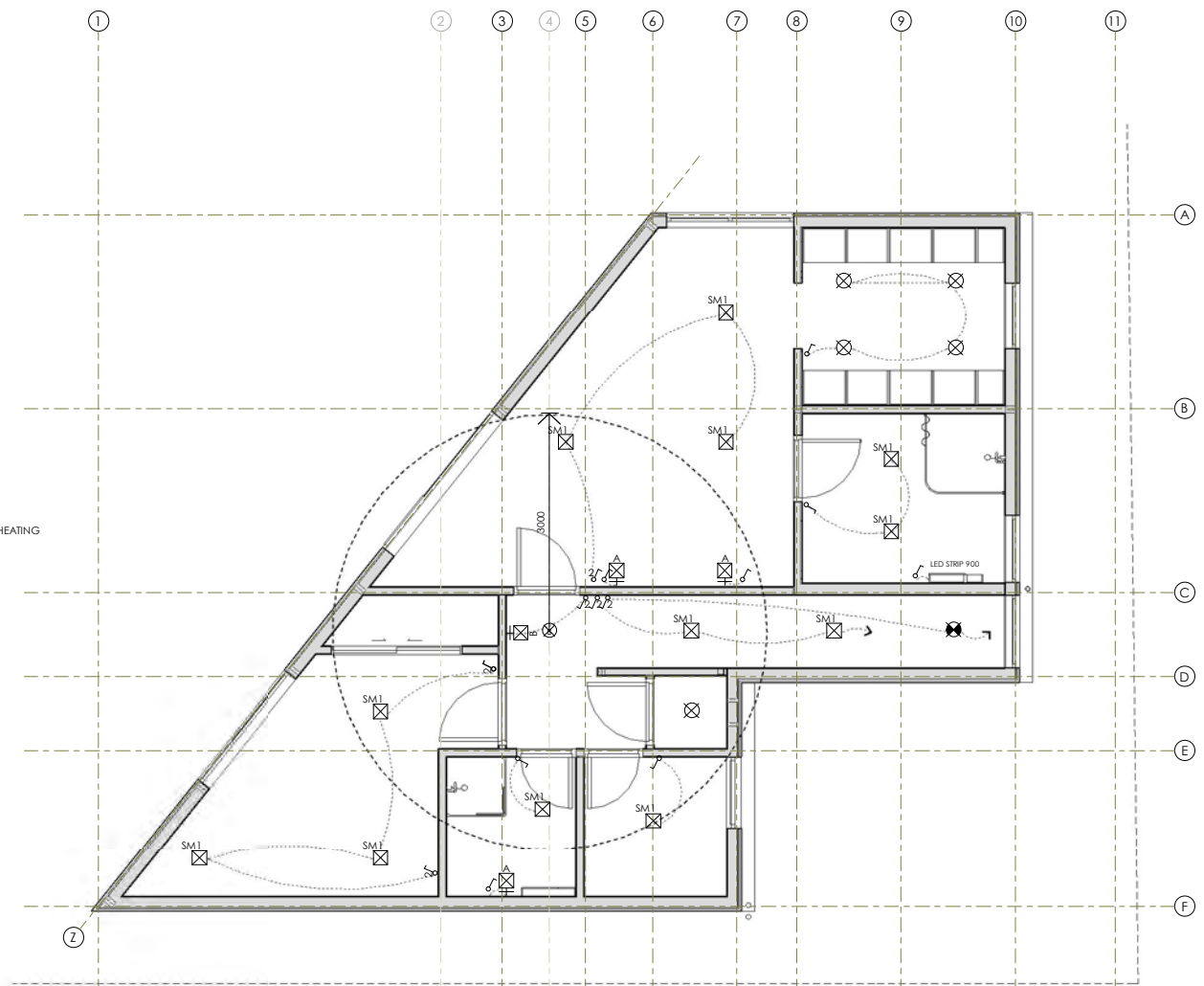
	A 10 MAY 24	BUILDING CONSENT / TENDER	8 Willoughby Street Woburn Lower Hutt	COLLINGE HOUSE	REV
				Ground Floor - Electrical Plan / Reflected Ceiling Plan	A

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First Floor - Electrical
1 : 50



First Floor Reflected Ceiling Plan
1 : 50

LIGHTING KEY:		ELECTRICAL KEY:	
	SURFACE MOUNTED LIGHT		DOUBLE ELECTRICAL SOCKET POLYCONIC VERTICAL 40 HORIZONTAL
	CEILING RECESSED LED LIGHT		HARDWIRED POWER OUTLETS WITH ISOLATING SWITCH
	CEILING ROSE (PENDANT)		ELECTRICAL FLOOR BOX POLYCONIC VERTICAL 40 HORIZONTAL
	INTERIOR WALL MOUNTED LIGHT		CEILING MOUNTED POWER SOCKET POLYCONIC VERTICAL 40 HORIZONTAL
	EXTERIOR WALL MOUNTED LIGHT		2-ELECTRICAL + 1 C-TYPE / 1 A-TYPE USB SOCKET
	EXTERIOR INGROUND/DECK LIGHT		DATA / WIFI POLYCONIC VERTICAL 40 HORIZONTAL
	RECESSED LED STRIP SELECTED ALUMINUM PROFILE: CONTINUOUS		DATA / WIFI POLYCONIC VERTICAL 40 HORIZONTAL
	LIGHT SWITCH POLYCONIC VERTICAL WHITE		EXTRACT FAN REFER SPECIFICATION FOR TYPE
	2-WAY LIGHT SWITCH POLYCONIC VERTICAL WHITE		TYPE 1 DOMESTIC SMOKE ALARM CABLED TO YEAR SMOKE ALARM
	LIGHT SWITCH WITH DIMMER POLYCONIC VERTICAL WHITE		CARIUS WIRELESS HEAT DETECTOR 40MM WITH 51R BATTERY LINK TO SMOKE ALARM
	LIFT CALL POINT		DISTRIBUTION BOARD
	ELECTRIC VEHICLE CHARGER - WIRE FOR FUTURE		DIGITAL METER
	HEATED TOWEL RAIL		UNDER FLOOR HEATING ZONE - COMPLETE WITH CONTROLLER, THERMOSTAT AND TIMER.

NOTES:
1: ALL LIGHT SWITCHES TO BE LOCATED 1200MM AFFL (LOWER EDGE OF PLATE).
2: ALL SOCKETS TO BE LOCATED 300MM AFFL UNLESS STATED OTHERWISE (LOWER EDGE).
3: LOCATION OF ALL OUTLETS + LIGHTS TO BE CONFIRMED ON SITE PRIOR TO INSTALLATION.
4: BATHROOM/TOILET EXTRACTS SWITCHED TO ROOM LIGHTING WITH OVERTIMER.
5: ALL APPLIANCES SUPPLIED BY CLIENT UNLESS STATED.
6: ELECTRICAL PLAN TO BE READ IN CONJUNCTION WITH REFLECTED CEILING PLAN (VICE VERSA). SPECIFICATION AND LIGHTING SCHEDULE.
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- Telephone jack in HPU/PLC cupboard for lift car phone

LIGHT FITTINGS:	
	LED-S LED SURFACE MOUNTED LIGHT: Brightlight Baseline 01: White (unless stated otherwise)
	LED-R LED RECESSED JOINERY LIGHT: Brightlight Lowline 02: Anodised (unless stated otherwise)
	SM1 SURFACE MOUNTED SWIVEL DOWNLIGHT: Pratux Te Hana NS21S: White 75w X 91h
	SM2 SURFACE MOUNTED DOWNLIGHT: 80w X 140h X 110d Pratux Ruawai NS226: White + white + white + white
	WL1 WALL MOUNTED LIGHT: Pratux Hauraki UL720: White 140w X 140h X 110d
	WL2 WALL MOUNTED LIGHT VANITY: Pratux Ngararo W1933/20: White 500w X 50h X 125d
	TR1 TRACK SYSTEM SURFACE MOUNTED: Light Plan Move II Magnetic: White 26w X 54h IT35 SPOT: White 35w X 85h
	EW1 EXTERIOR WALL MOUNTED LIGHT: Pratux Wairarapa VAS06: Black 70w X 140h X 45d
	ESM1 EXTERIOR SURFACE MOUNTED DOWNLIGHT: Pratux Pukekohe DL37: Black 90w X 91h

BUILDING CONSENT

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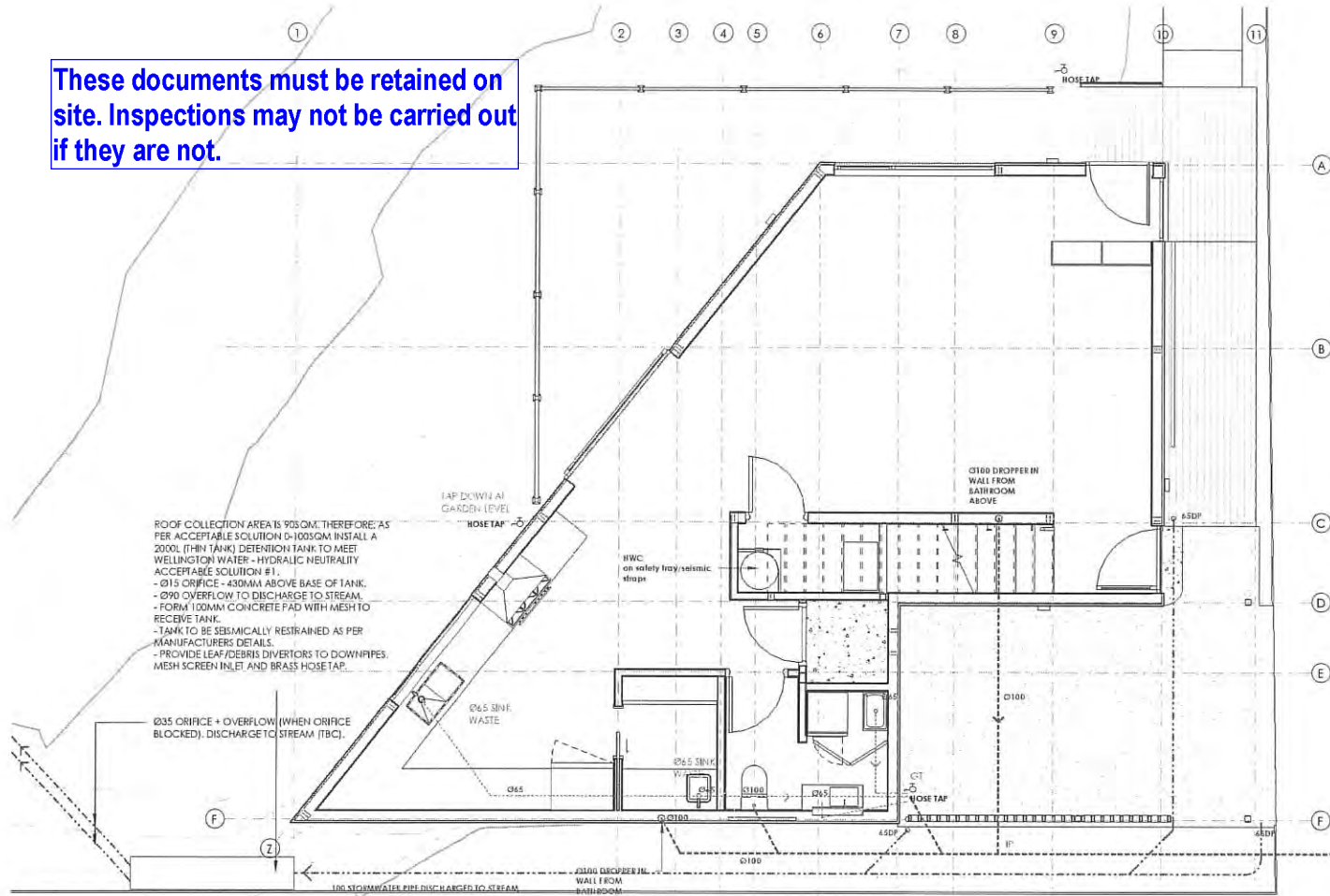
	A 10 MAY 24	BUILDING CONSENT / TENDER	8 Willoughby Street Woburn Lower Hutt	COLLINGS HOUSE		REV
				First Floor - Electrical + Reflected Ceiling Plans		A

These documents must be retained on site. Inspections may not be carried out if they are not.

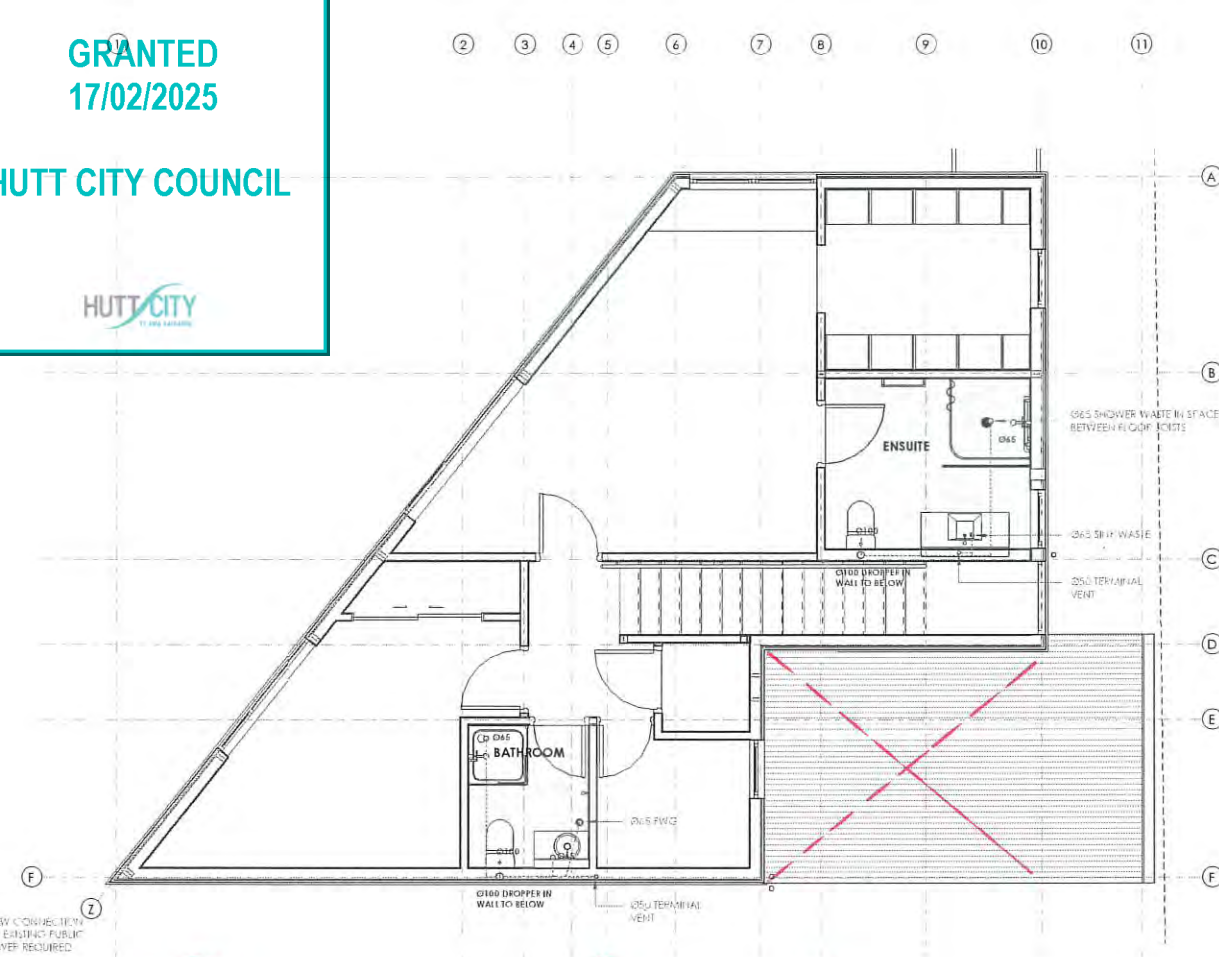
AMENDMENT

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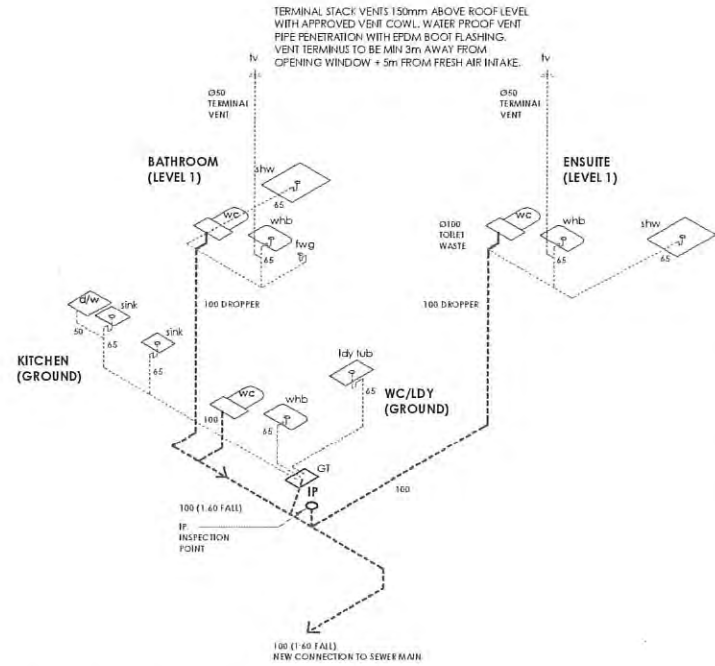


Ground Floor - Plumbing/Drainage
1:50



First Floor - Plumbing/Drainage
1:50

~~25x0.91 strip~~
Braces with tensioner
6kN connection each end.



Plumbing Schematic
1:50

PLUMBING
ALL PLUMBING TO COMPLY WITH AS/NZS3500.

MINIMUM GRADIENTS:	
100DN	1.65%
45DN	2.5%
50DN	2.5%
40DN	2.5%
VENT PIPE	1.25%

TERMINAL STACK VENTS (TV):
TERMINAL STACK VENTS 150mm ABOVE ROOF LEVEL WITH APPROVED VENT COWL. WATER PROOF VENT PIPE PENETRATION WITH EPDM BOOT FLASHING. VENT TERMINUS TO BE MIN 3m AWAY FROM OPENING WINDOW + 5m FROM FRESH AIR INTAKE.

GT - GULLY TRAPS (ORG):
100 DN OVERFLOW RELIEF GULLY (ORG) TRAP ASSEMBLY, COMPRISING 100 DN TRAP BOTTOM + RISER. TERMINATE ABOVE SURFACE LEVEL WITH REMOVABLE GRATE THAT LIFTS TO PERMIT SURCHARGE. SET GULLY TRAP ON 100mm CONCRETE. CHARGE WITH HOSE TAP OR WASTE PIPE ENTERING RISER.

EXTERIOR TAPS:
ALLOW FOR A NO. EXTERIOR BRASS HOSETAPS. CONFIRM EXACT LOCATION ON SITE WITH CLIENT.

HOTWATER SUPPLY:
ALL HOTWATER PIPES TO BE THERMALLY INSULATED. HOTWATER TEMPERATURE AT ANY SANITARY FIXTURE USED FOR PERSONAL HYGIENE SHALL NOT EXCEED 55°C. PROVIDE SEISMIC RESTRAINT TO ALL HWCS.

MECHANICAL VENTILATION:

BATHROOM EXTRACT: (ALL WITH RUN-ON TIMER).
SIXX MANROSE LOW PROFILE THRU-WALL EXTRACT FAN WITH EXTERIOR WEATHER GRILL. FAN/523 101/L/5 150mm DUCTING - WHITE DESIGNER SERIES WALL GRILL DCT2236 (INTERNAL). 3/5 DCT3616 EXTERNAL WEATHERCOWL HOOD.

KITCHEN EXTRACT:
KITCHEN RANGEHOOD EXTRACT - FLOW RATE OF NO LESS THAN 50L/S. WITH 5/5 DCT3616 EXTERNAL WEATHERCOWL HOOD.

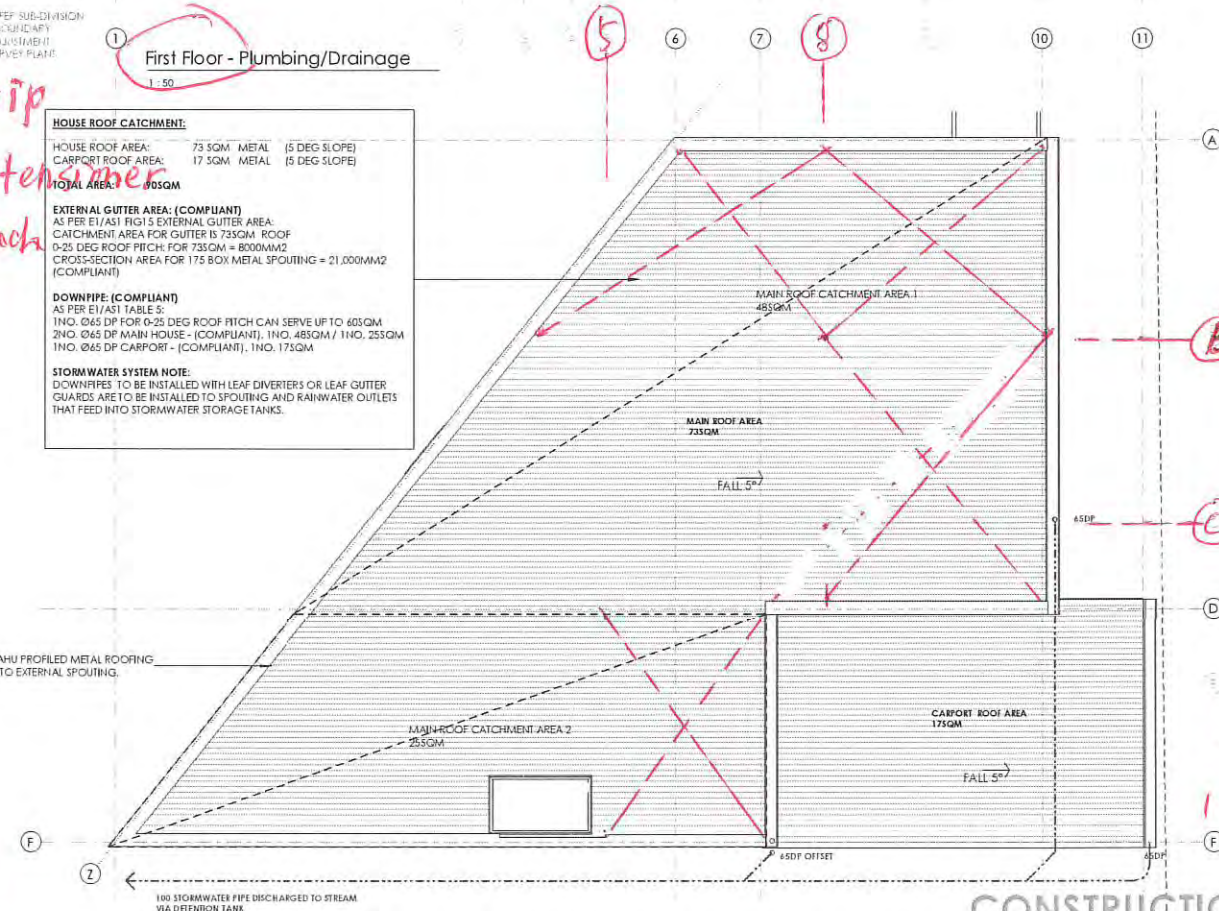
Roof Plan
1:50

HOUSE ROOF CATCHMENT:
HOUSE ROOF AREA: 73 SQM. METAL (5 DEG SLOPE)
CARPORT ROOF AREA: 17 SQM. METAL (5 DEG SLOPE)
TOTAL AREA: 90 SQM

EXTERNAL GUTTER AREA: (COMPLIANT)
AS PER E1/AS1 FIG 5 EXTERNAL GUTTER AREA:
CATCHMENT AREA FOR GUTTER IS 73 SQM. ROOF 0-25 DEG ROOF PITCH FOR 73 SQM = 8000MM² CROSS-SECTION AREA FOR 175 BOR METAL SPOUTING = 21,000MM² (COMPLIANT)

DOWNPIPE (COMPLIANT)
AS PER E1/AS1 TABLE 5:
1NO. Ø65 DP FOR 0-25 DEG ROOF PITCH CAN SERVE UP TO 605 SQM
2NO. Ø65 DP MAIN HOUSE - (COMPLIANT), 1NO. 485QM / 1NO. 255QM
1NO. Ø65 DP CARPORT - (COMPLIANT), 1NO. 175QM

STORMWATER SYSTEM NOTE:
DOWNPIPES TO BE INSTALLED WITH LEAF DIVERSIFIERS OR LEAF CUTTER GUARDS. ARE TO BE INSTALLED TO SPOUTING AND RAINWATER OUTLETS THAT FEED INTO STORMWATER STORAGE TANKS.



CONSTRUCTION ISSUE

23141
17/12/24



8 MAR 24 RC INFO
10 MAY 24 BUILDING CONSENT / TENDER
24 SEPT 24 CONSTRUCTION ISSUE

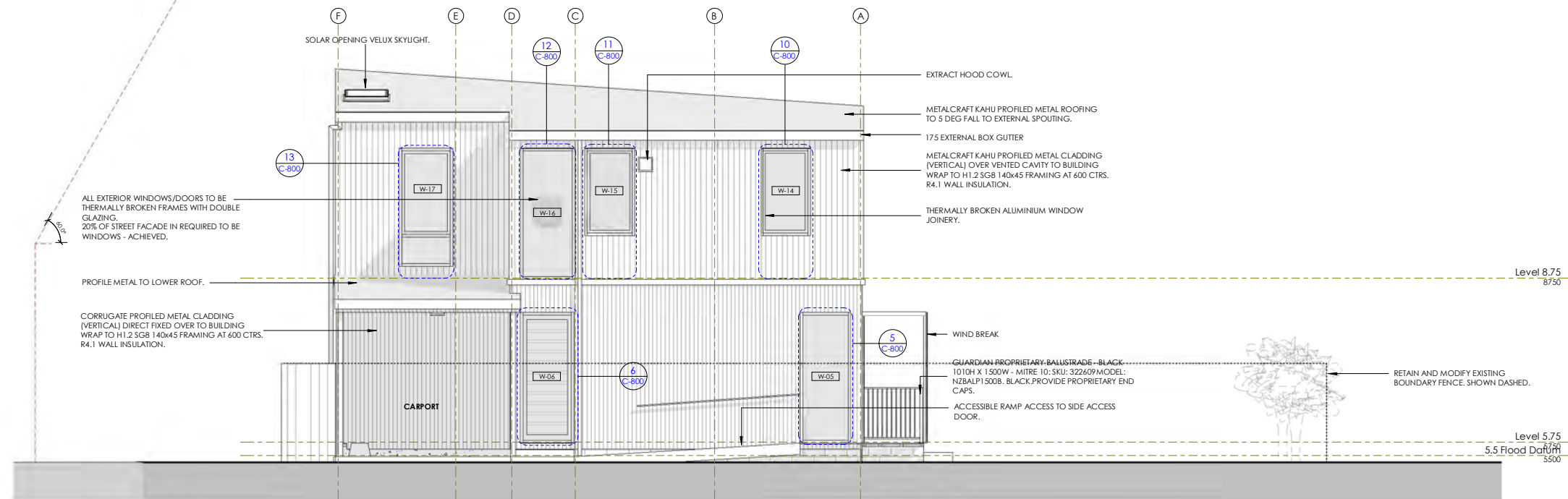
1:50 - A1

COLLIDGE HOUSE

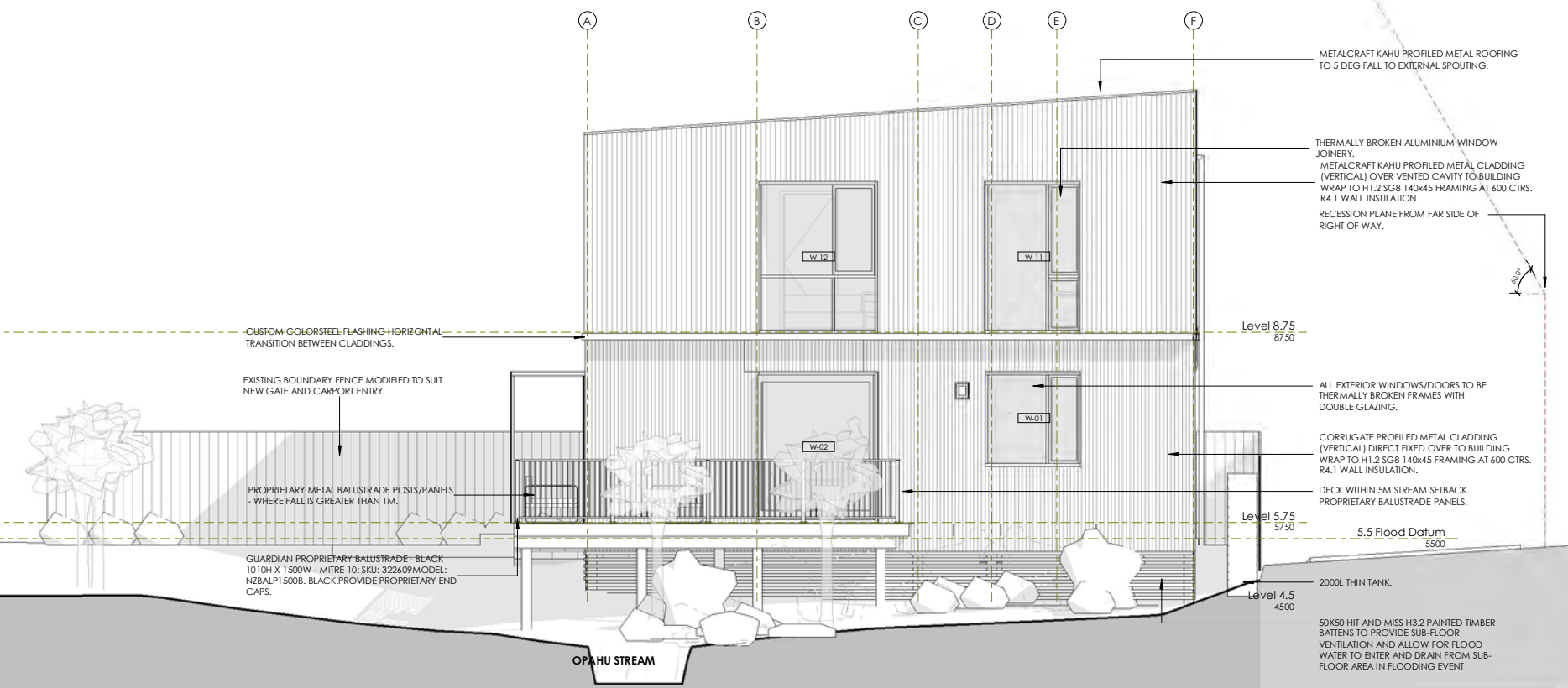
8 Willoughby Street
Woburn
Lower Hutt

Plumbing + Drainage Plans

C-240 1



1 East Elevation (Street)
1 : 50



2 West Elevation
1 : 50

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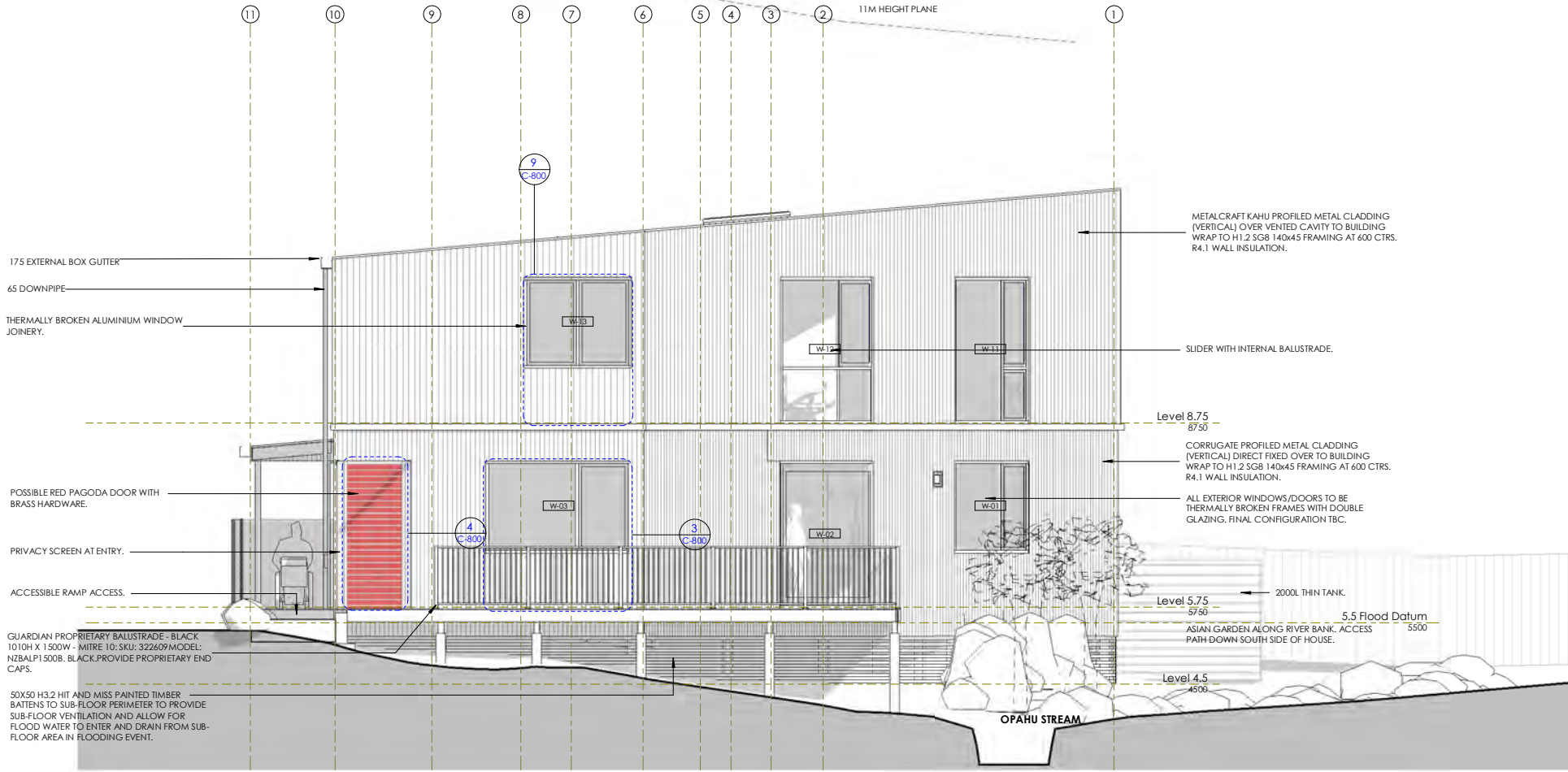
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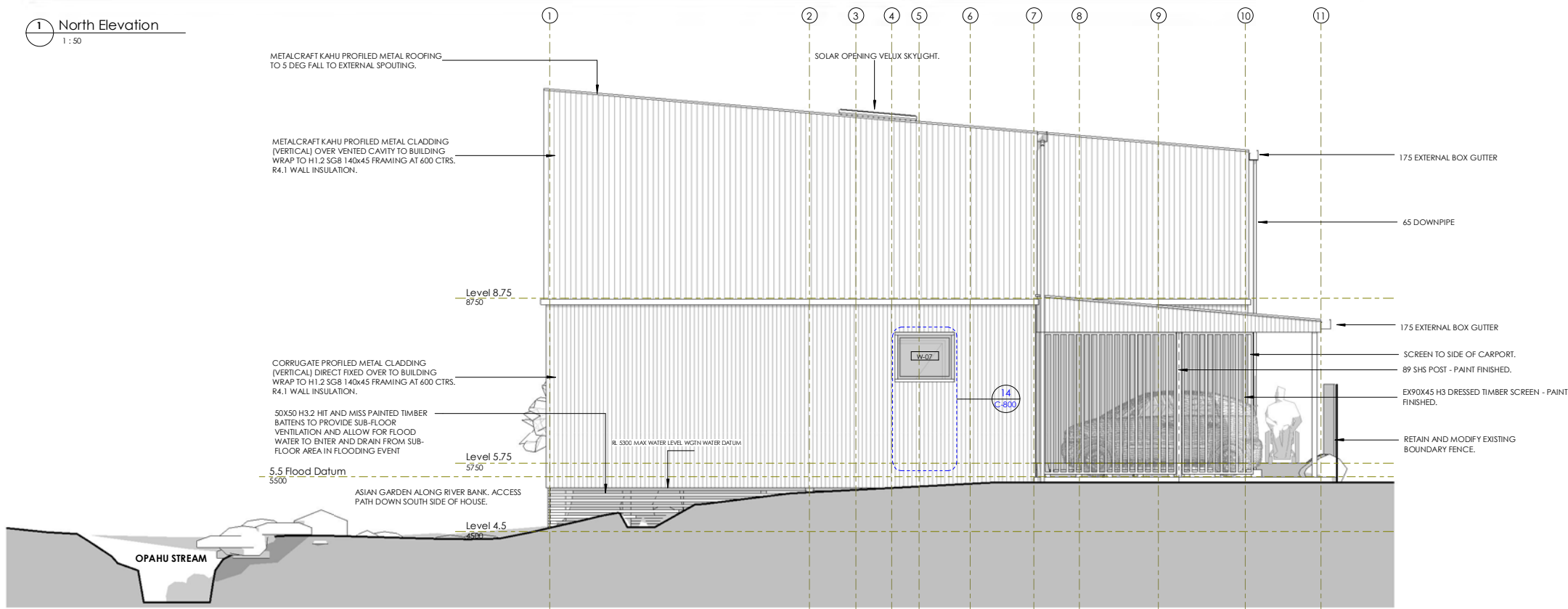
HUTT CITY
11 JUNE 2024

BUILDING CONSENT / TENDER

	A B 8 MAR 24 10 MAY 24 RC INFO BUILDING CONSENT / TENDER	1 : 50 · A1	8 Willoughby Street Woburn Lower Hutt	COLLINGS HOUSE	REV
				East / West Elevation	C-300 B



1 North Elevation
1 : 50



2 South Elevation
1 : 50

BUILDING CONSENT

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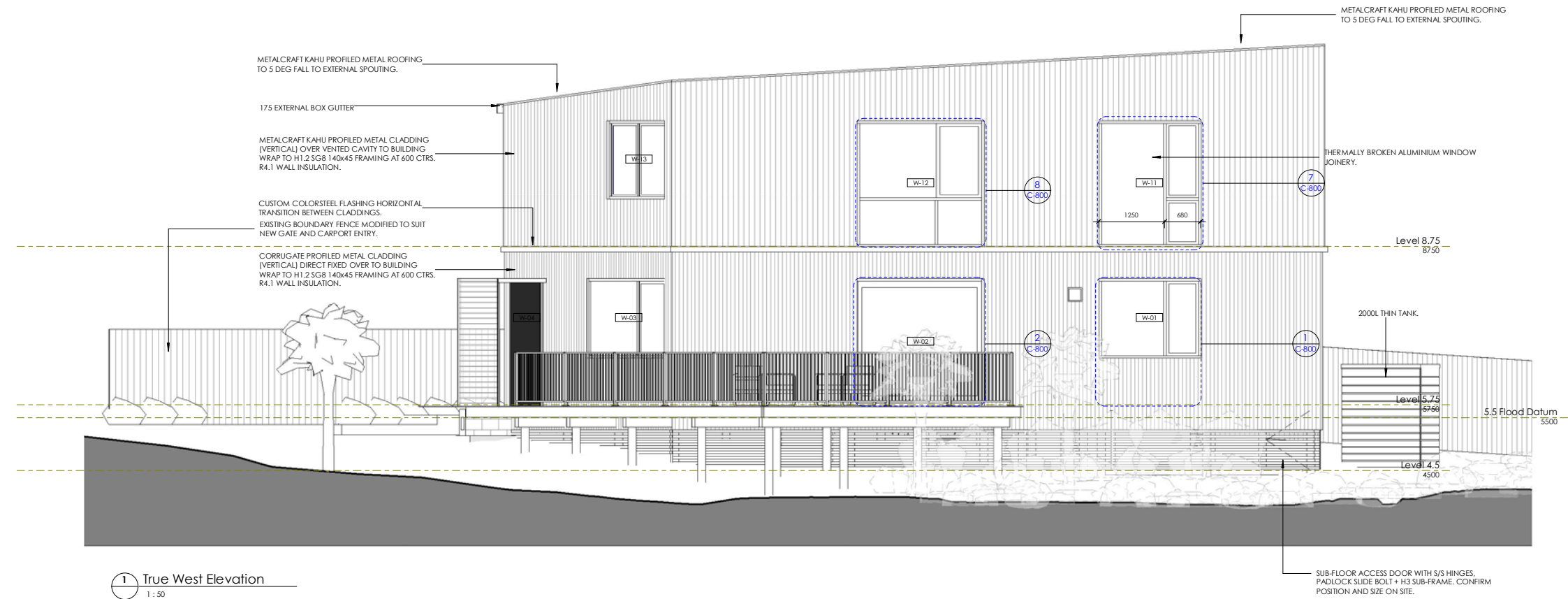


BUILDING CONSENT / TENDER

	A B 8 MAR 24 10 MAY 24 RC INFO BUILDING CONSENT / TENDER		1 : 50 · A1	8 Willoughby Street Woburn Lower Hutt	COLLINGE HOUSE	REV
					North / South Elevations	C-301 B

14/05/2024 11:04:46 AM

1 : 50 · A1



GENERAL OUTLINE SPECIFICATION NOTES			
(READ IN CONJUNCTION WITH DETAILED DRAWINGS + SPECIFICATION)			
ELECTRICAL: NEW POWER FEED, METERBOARD + DIGITAL METER, DISTRIBUTION BOARD, REFER ELECTRICAL PLAN + SPECIFICATION FOR LIGHTING AND POWER SOCKET OUTLETS. ALLOW FOR POWER FOR MOTORISED GATE AND HOTWATER/HEATING SYSTEM. 20AMP SUPPLY TO LIFT GEAR LIGHTING: REFER PROVISIONAL SUMS.			
EXTERIOR WALLS (LOWER LEVEL): 140x45 SG8 H1.2 FRAMING AT 600 CTRS. 0.558MT COLORSTEEL ENDURA CORRUGATED PROFILE VERTICAL CLADDING AND ASSOCIATED FLASHINGS SECURED OVER THERMAKRAFT WATERGATE BUILDING WRAP. R4.1 EARTHWOOL INSULATION BATTS AND GIB LININGS (TYPICALLY). TAPERED CLADDING SKIRT TO BUILDING BASE SET NOM 150 ABOVE GROUND.			
EXTERIOR WALLS (UPPER LEVEL): 140x45 SG8 H1.2 FRAMING AT 600 CTRS. 0.48MT COLORSTEEL ENDURA METAKRAFT KAHU PROFILE VERTICAL CLADDING AND ASSOCIATED FLASHINGS OVER 20mm VENTILATED CAVITY BATENS @ NOM 600 CENTRES. SECURED OVER THERMAKRAFT WATERGATE BUILDING WRAP. R4.1 EARTHWOOL INSULATION BATTS AND GIB LININGS (TYPICALLY). HORIZONTAL COLORSTEEL FLASHING JUNCTION TO LOWER CLADDING TRANSITION.			
INTERIOR WALLS: TYPICALLY, 13MM GIB ON 90X45 SG8 H1.2 TIMBER FRAMING AT 600mm CTRS. NZS3604 HIGH WIND ZONE 2.7m HIGH WALLS.			
EXTERIOR WINDOW/DOOR JOINERY: THERMALLY BROKEN ALUMINIUM, LOW-E DOUBLE GLAZED IGUS WITH 19mm PAINTED PINE REVEALS/ARCHITRAVES.			
ENTRY DOOR: CLIENT SUPPLIED TIMBER DOOR LEAF TO NEW TIMBER FRAME - ALL PAINT FINISHED. PROVIDE NEW PERIMETER DOOR SEALS AND STAINLESS STEEL HINGES.			
INTERIOR DOORS: PAINT QUALITY CARBON CORE DOORS 2200mm HIGH WITH PAINTED 30MM CLEAR PINE FRAMES AND ARCHITRAVES.			
HARDWARE: ALLOW PC SUM \$3K. FOR INTERIOR DOORS AND JOINERY UNITS.			
STAIR: PLYWOOD / TIMBER STAIR - WITH CONCEALED STRINGER, CARPET FINISHED. 40 DIA CLEAR PINE HANDRAIL ON H+B HANDRAIL BRACKETS.			
PAINTING: - RESENE SPACECOAT ACRYLIC PAINT TO GIB WALLS AND GIB CEILINGS. - RESENE LUSTACRYL TO DOOR LEAF, FRAMES, ARCHITRAVES, SKIRTING + WINDOW REVEALS.			
CEILING: 13mm GIB ON RONDO CEILING BATENS TO GROUND + FIRST FLOOR CEILINGS.			
HOT WATER HEATING: RINNIA 180L HOT WATER CYLINDER WITH SAFETY TRAY / SEISMIC BRACING. REFER SPEC FOR DETAILS.			
PLUMBING + DRAINAGE: SEWER: ALLOW TO MAKE NEW SEWER CONNECTION TO SEWER MAIN IN STREET - NOMINALLY 5m SOUTH OF SITE.			
STORMWATER: DOWNPIPES RUN TO 2000L THIN TANK DETENTION TANK (ON 50MM CONC PAD) + SEISMIC RESTRAINT BEFORE DISCHARGE TO STREAM OR STORMWATER MAIN. REFER PLUMBING + DRAINAGE AND ROOF PLANS.			
LANDSCAPE STRUCTURES: HARDWOOD DECKING TO H3.2 SUB-STRUCTURE - INCLUDING ENTRY RAMP DECK BALUSTRADE - MITRE 10 GUARDIAN BALUSTRADE - BLACK 1010H X 1500W - MITRE 10 SKU: 322609MODEL: NZBALP1500B.			
BROOM FINISHED CONCRETE PATHS, AND CARPAD.			
MODIFY EXISTING FENCE TO INSTALL NEW TIMBER GATE.			
NEW MATCHING FENCE TO NORTH BOUNDARY - ADJACENT TO EXISTING DRIVEWAY.			
PAINT EXTG AND NEW FENCE.			
NEW MOTORISED SLIDING GATE- REFER PROVISIONAL SUMS.			
PROVISIONAL SUMS (EX GST)			
LIGHTING SUPPLY: \$5,000			
HARDWARE (INTERNAL DOORS ETC): \$3,000			
BATHROOM FITTINGS: \$15,000			
KITCHEN/PANTRY JOINERY: \$35,000			
WARDROBE JOINERY- FLAT PACK: \$3,500			
KITCHEN/LAUNDRY APPLIANCES: \$10,000			
HEATING: \$8,000			
LIFT: POWER GLIDE A-SERIES - SUPPLY/INSTALL: \$35,000			
MOTORISED SLIDING GATE: \$10,000			
CORK FLOORING (GRD/STAIR 70SQM): \$8,400			
\$120/SQOM			
CARPET FLOORING (FIRST FLOOR 50SQM): \$4,000			
\$80/SQOM			
ROOF: 0.558MT COLORSTEEL ENDURA METAKRAFT KAHU PROFILE ROOFING OVER THERMAKRAFT 407 SELF-SUPPORTING ROOF UNDERLAY ON 20MM VENT BATTEN ON 240X45 SG8 H1.2 RAFTERS @ 600 CTRS. WITH R5.0 EARTHWOOL INSULATION BATTS.			
SPOUTING / DOWNPIPE: METALCRAFT 175 BOX SPOUTING WITH EXTERNAL BRACKET'S OUTLET TO FIT 65 DIA CIRCULAR DOWNPIPE.			
SKYLIGHTS: VELUX SOLAR OPENING OPENING SKYLIGHTS 4622, 1302 mm x 692 mm. WITH CUSTOM OR PROPRIETARY FLASHING KIT.			
FLOORS:			
GROUND FLOOR: 21mm ECOPLY CD GRADE FLOORING SCREWED AND GLUED TO 290X45@ 400 CTRS SG8 H1.2 FLOOR JOISTS - OVER 190X90 H3.2 BEARERS, EXPOL R1.8 UNDER FLOOR POLYSTYRENE INSULATION (100mm).			
200ML POLYTHENE TO EXPOSED GROUND BELOW SUSPENDED FLOOR AREA.			
CORK TILES TO GROUND FLOOR AREAS (ALLOW \$120/SQOM SUPPLY/INSTALL)			
FIRST FLOOR: 21mm ECOPLY CD GRADE FLOORING SCREWED AND GLUED TO 290X45@ 400 CTRS SG8 H1.2 FLOOR JOISTS - CARPET TO FIRST FLOOR TYPICALLY (ALLOW \$80/SQOM SUPPLY /INSTALL). VINYL AS PER SPEC TO ENSUITE/BATHROOM.			
STAIR: 18/20mm PLY/MDF RISERS/TREADS WITH CONCEALED TIMBER STRINGER. NEW COMMON STAIR AS PER NZBC D1/AS1: 190mm RISER (NOMINAL). 280mm MIN TREAD DEPTH. 305mm TOTAL WITH 25mm ANGLE NOSING LAP. Q40 CLEAR PINE HANDRAIL (PAINTED) ON HALLIDAY BALLIE HB500 PROPRIETARY STAIR BRACKETS AT 800 CTRS.			
FIXTURES AND FITTINGS: BATHROOM FITTINGS, TAPWARE ETC. REFER PROVISIONAL SUMS. KITCHEN / LAUNDRY APPLIANCES. REFER PROVISIONAL SUMS.			
KITCHEN FINISHES: STAINLESS STEEL BENCHTOP WITH INTEGRATED SINKS. MELTECA OR SIMILAR CARCASS + FRONTS. REFER PROVISIONAL SUMS.			

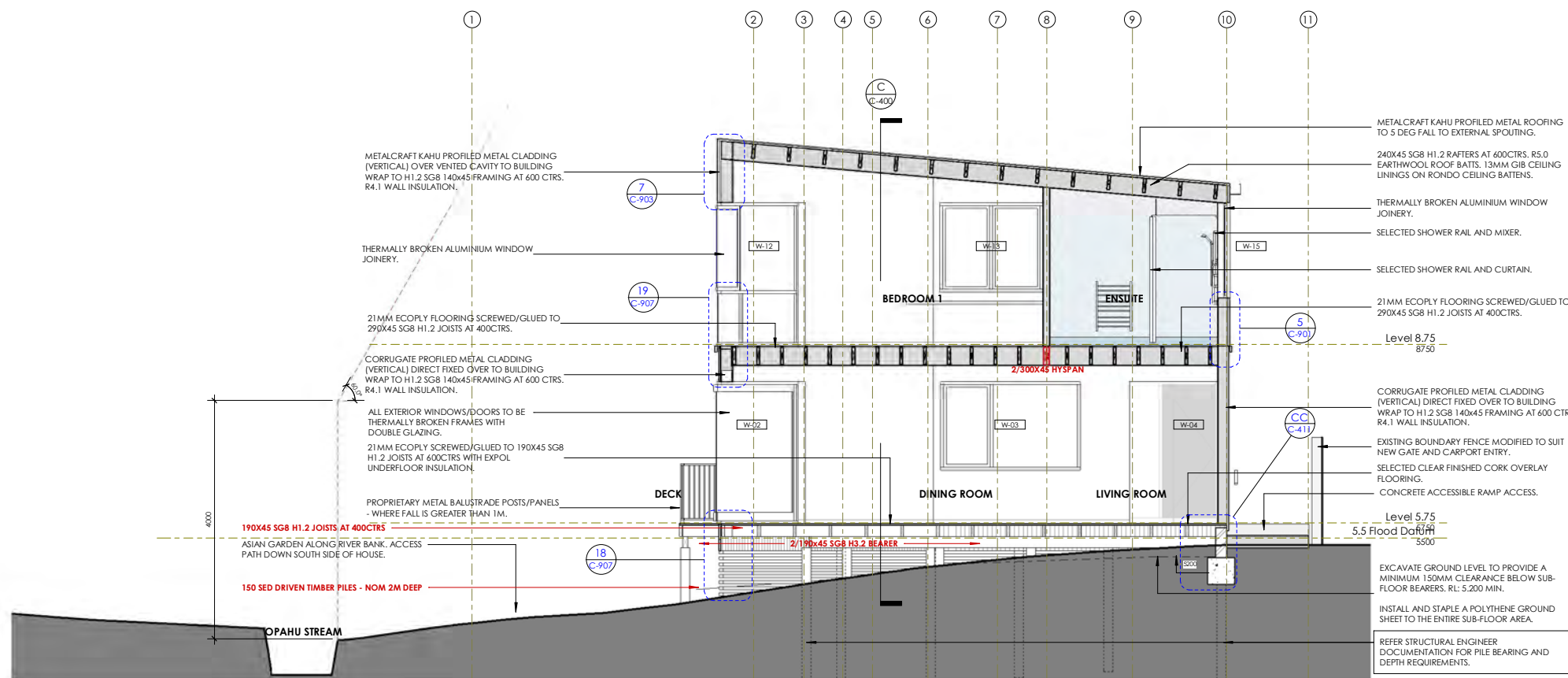
Pricing Spec Notes
1 : 50

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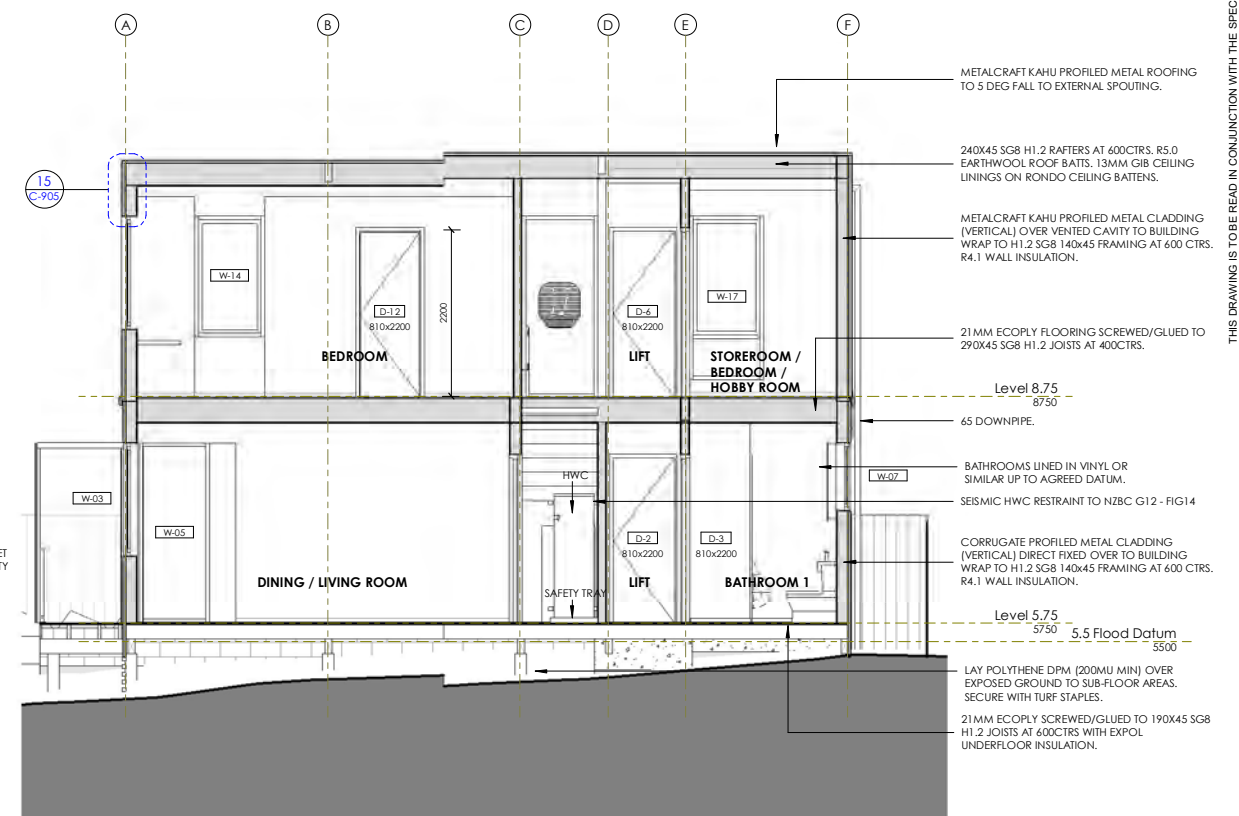
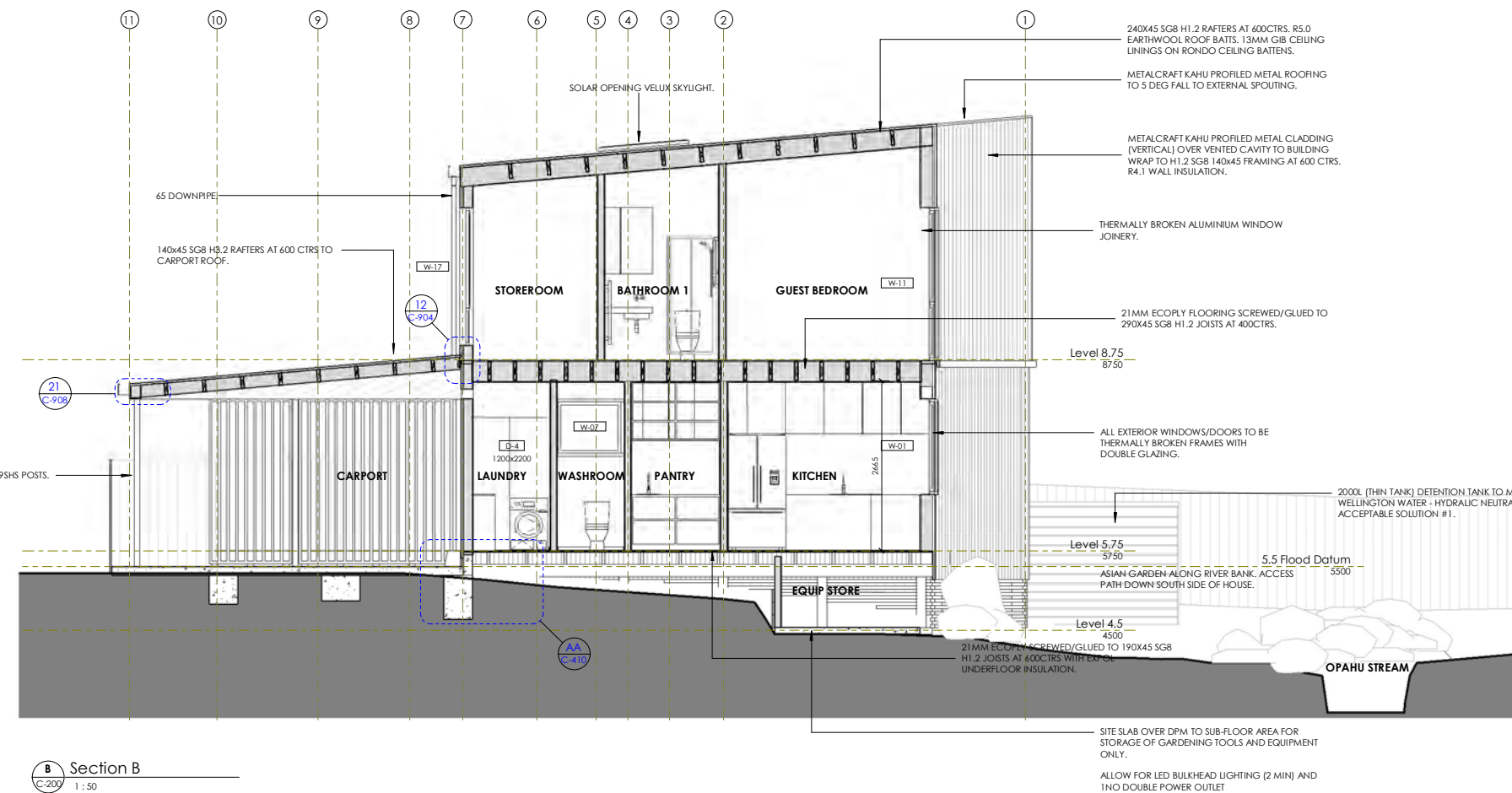
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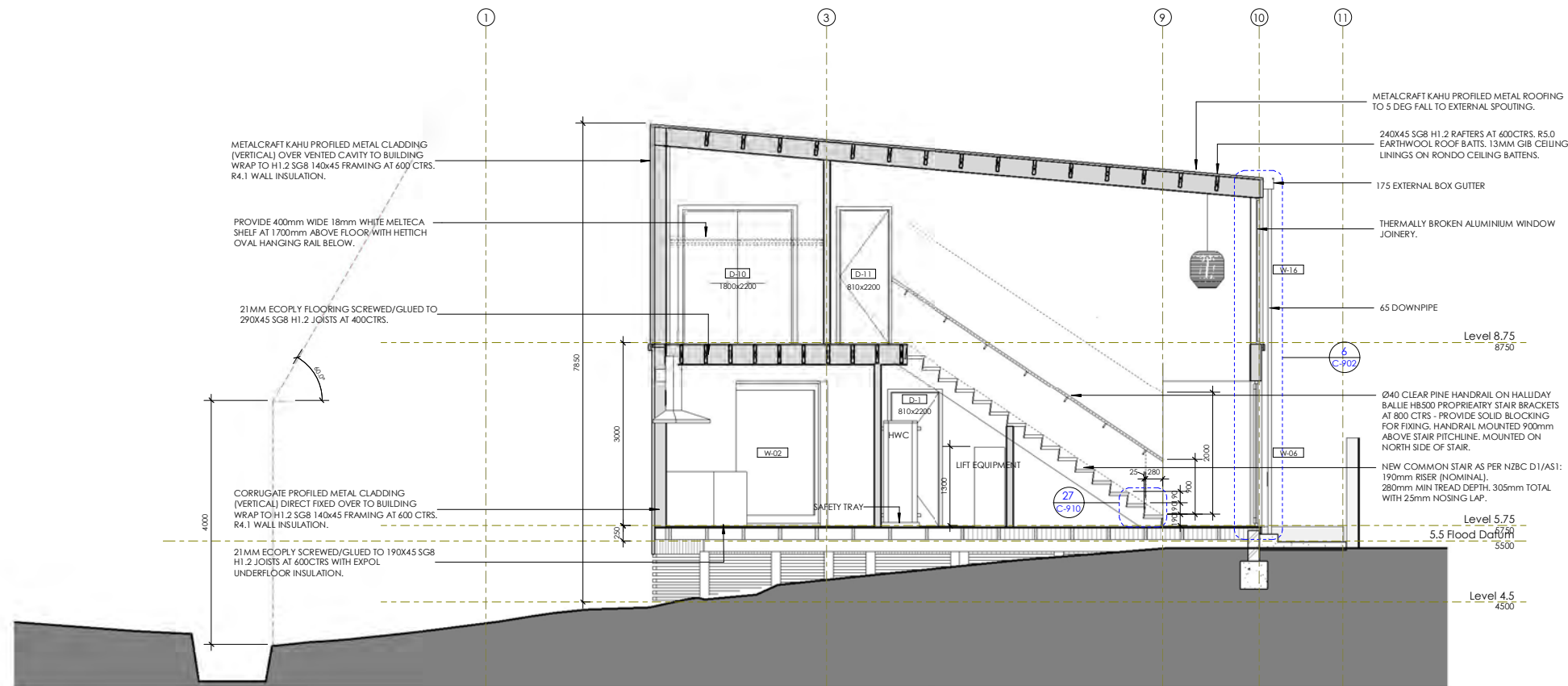
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1/07/2024

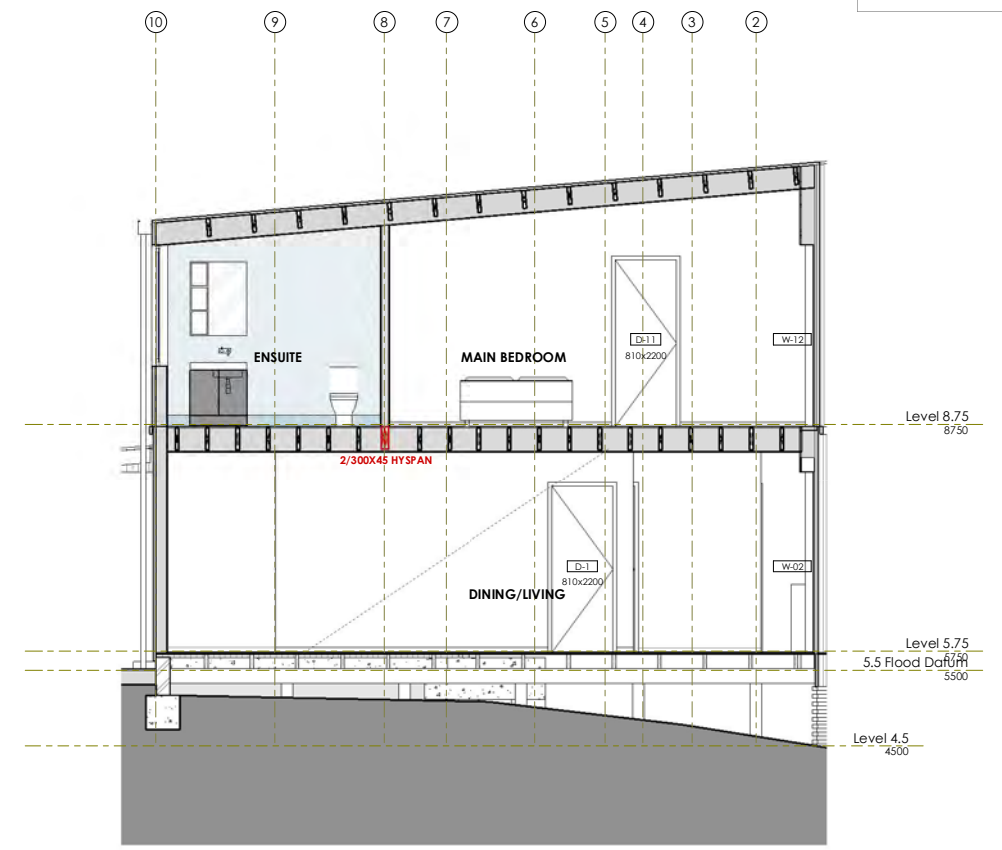
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Section A
1:50

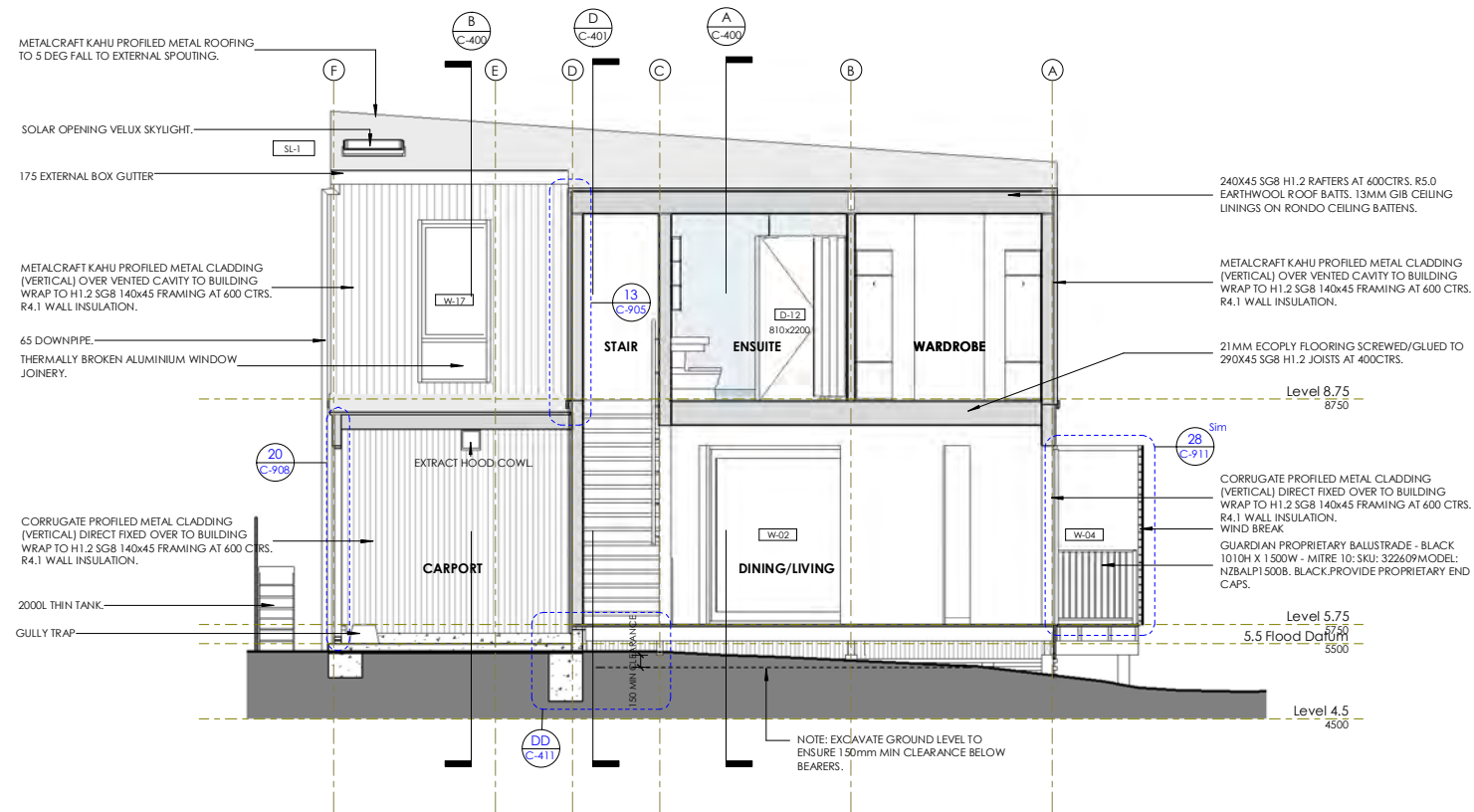
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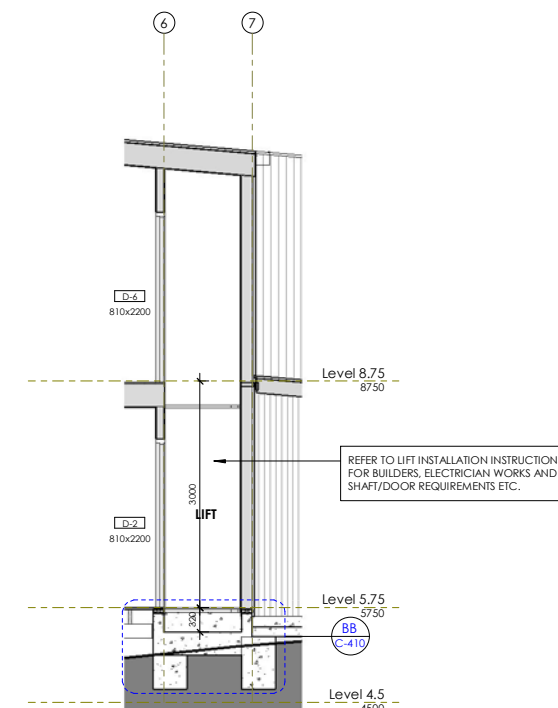
D Section D
C-200 1:50



G Section G
C-200 1:50



E Section E
C-200 1:50



F Section F - Lift Shaft
C-200 1:50

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CITY COUNCIL

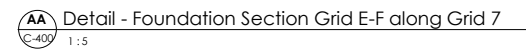
BUILDING CONSENT / TENDER

This drawing is to be read in conjunction with the specification of materials and workmanship.

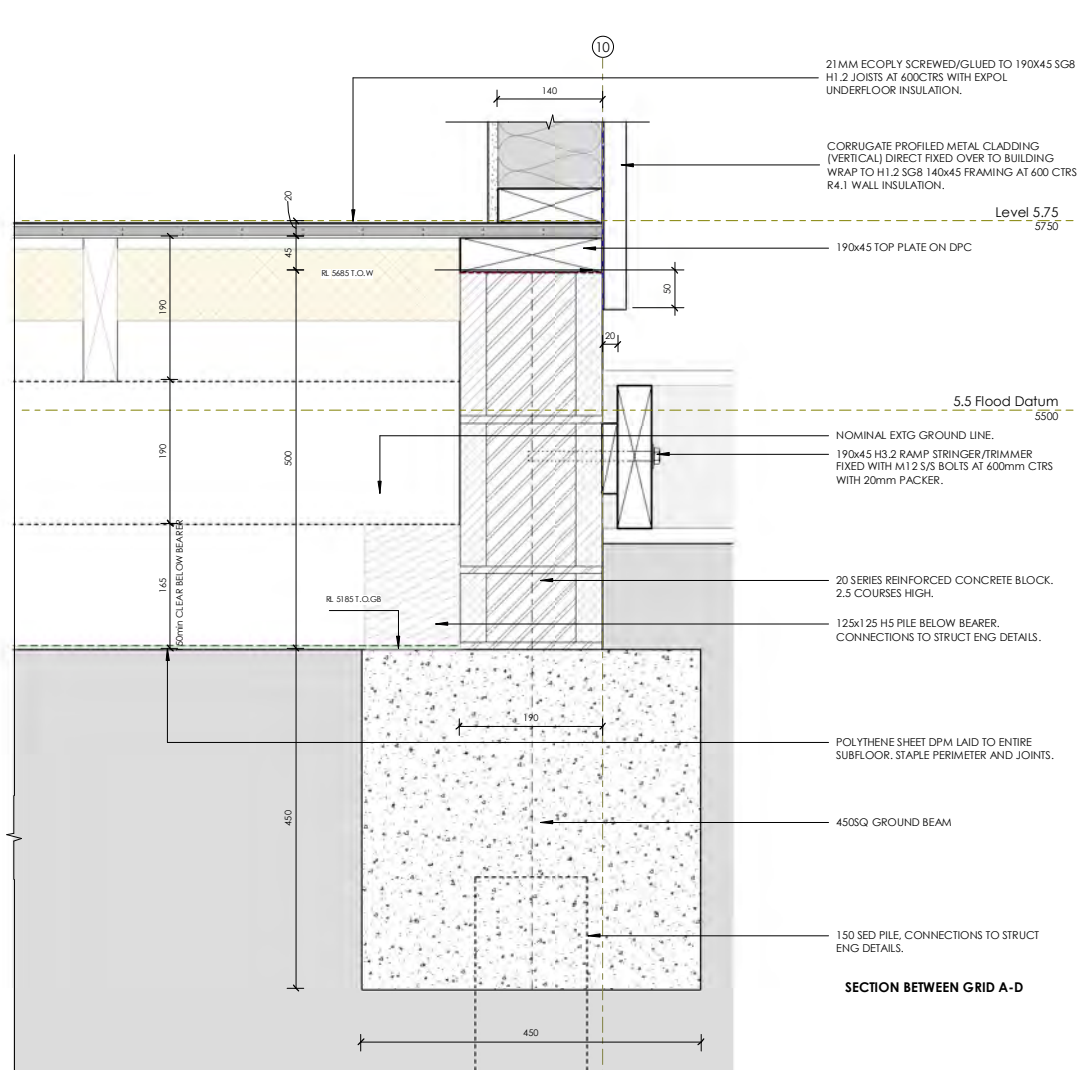
ALL DRAWINGS TO BE READ IN CONJUNCTION WITH
STRUCTURAL ENGINEERS DOCUMENTATION

Rev	Date	Description
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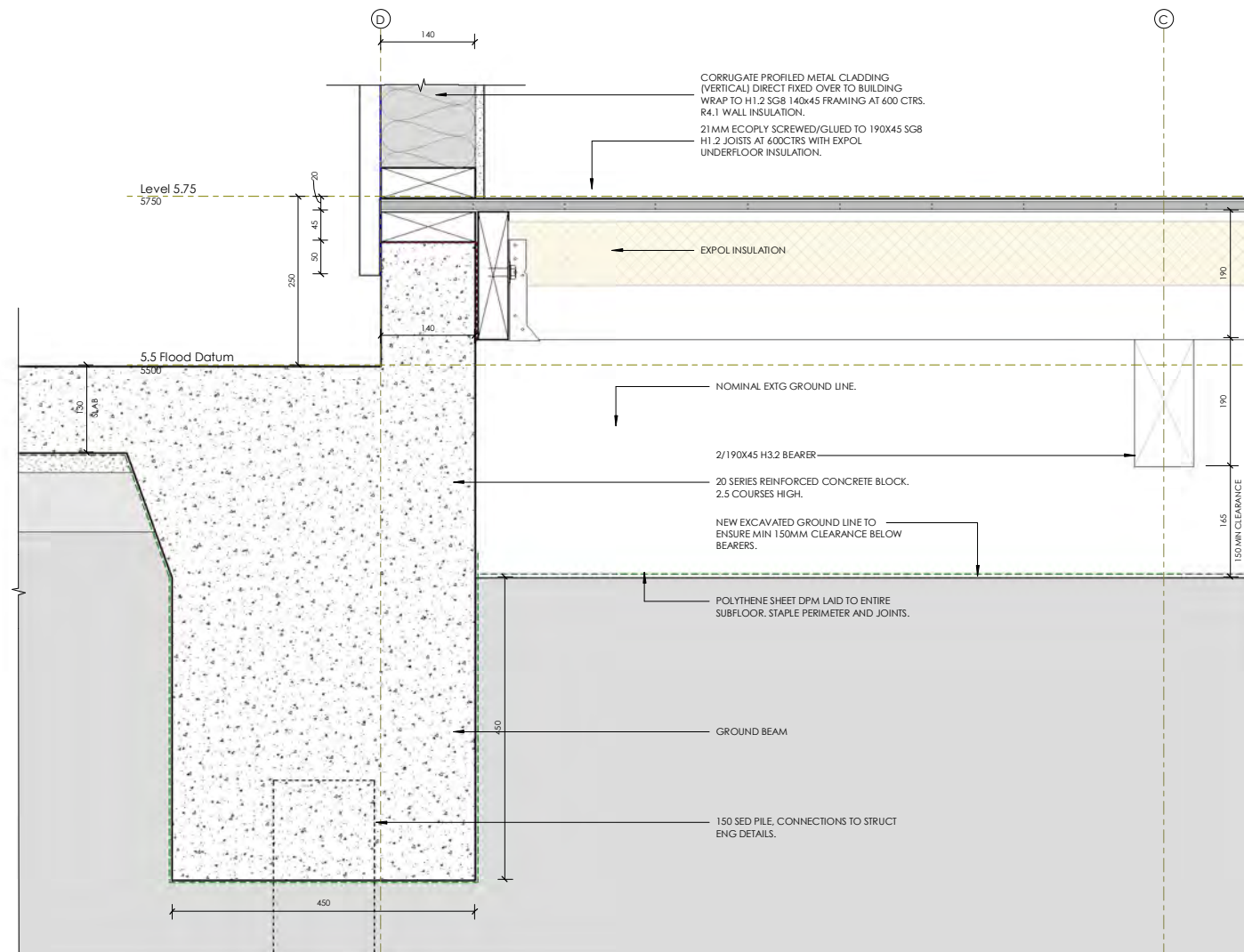
A 10MAY24 BUILDING CONSENT / TENDER



Scale @ A1 Scale @ A3
68₁ : 5



CC Detail - Foundation Section Grid A-D along Grid 10
1:5



DD Detail - Foundation Section Grid 7-10 along Grid D
1:5

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Note: Original (scaled) drawing sheet size A1.
All work is to be in accordance with the NZBC.
Contractor to confirm all dimensions on site prior to commencement of work.
This drawing is to be read in conjunction with the specification of materials and workmanship.

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTATION

Rev __ Date __ Description __

A 10MAY24 BUILDING CONSENT / TENDER

BUILDING CONSENT
/ TENDER



COLLIDGE HOUSE

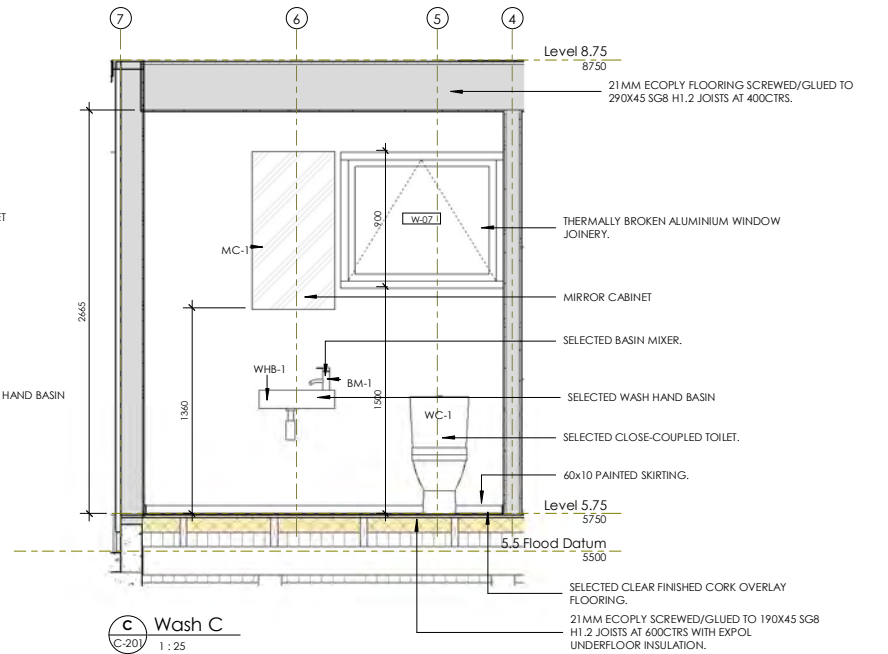
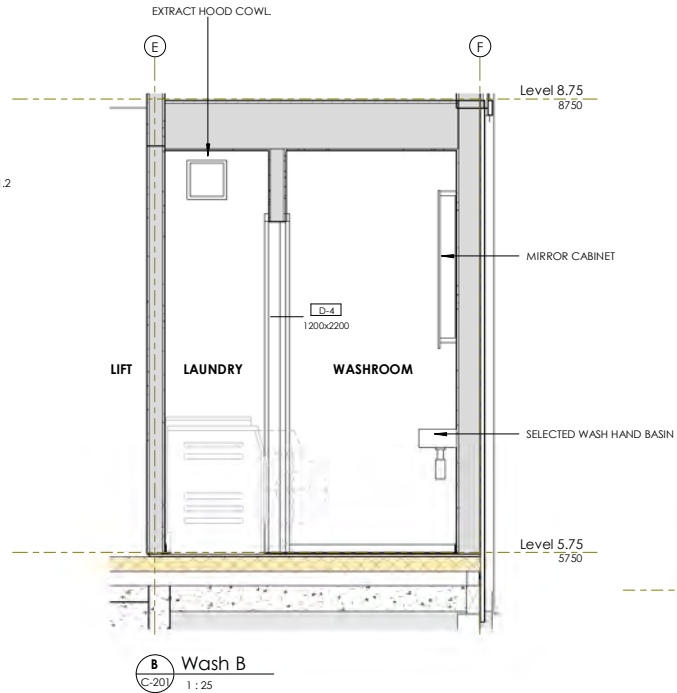
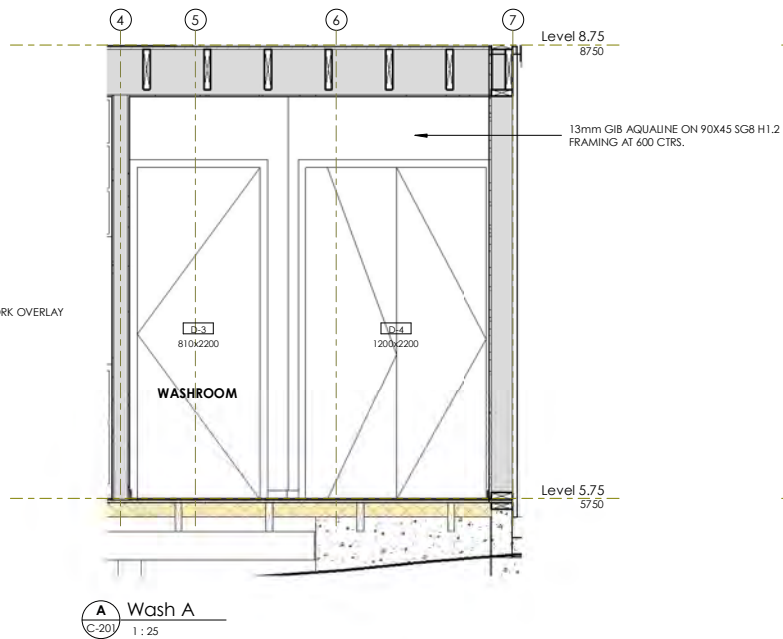
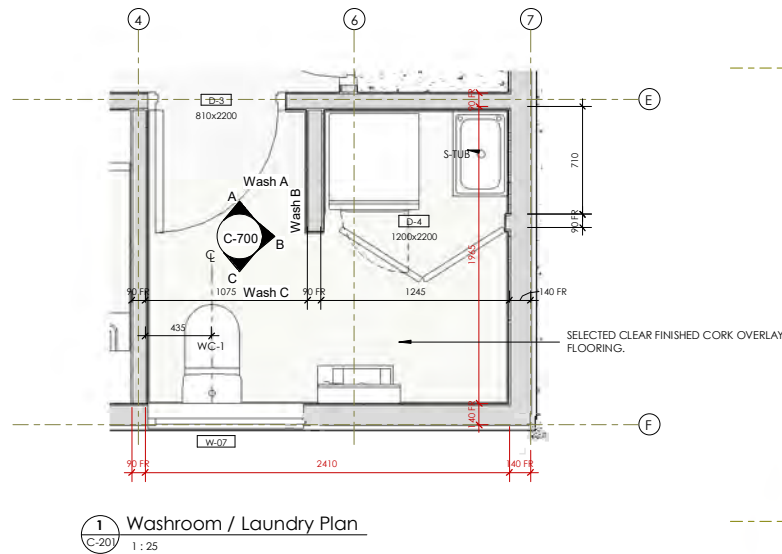
8 Willoughby Street
Woburn
Lower Hutt

Foundation Sections CC_DD

Drawing Number Revision

C-411 A

Date Scale @ A1 Scale @ A3
10 MAY 24 69 1 : 5



CODE:	DESCRIPTION:	BRAND:	ITEM:	CODE:	DESCRIPTION:	BRAND:	ITEM:
WHB-1	WALL HUNG VANITY BASIN (SMALL)			SC-1	1200X1200 L-SHAPED CURTAIN RAIL AND SHOWER CURTAIN		
WHB-2	WALL HUNG VANITY BASIN (LARGE)			GR-1	900X900 L-SHAPED GRAB RAIL		
BT-1	CHROME BOTTLE TRAP			HR-1	HEATED TOWEL RAIL		
BM-1	BASIN MIXER TAP			HR-2	HEATED TOWEL ROD - SINGLE VERTICAL HTR		
WC-1	BACK TO WALL CLOSE COUPLED TOILET SUITE			MC-1	MIRROR CABINET		
BSM-1	BASIN SPOUT + MIXER			KM-1	KITCHEN MIXER TAP		
SS-1	SLIDE RAIL SHOWER SET + MIXER			KM-2	KITCHEN MIXER TAP		
SHW-1	PROPRIETARY 800X800 CORNER SHOWER WITH SHOWER BASE + ACRYLIC WALL LINER	CROWN BATHROOMS	MILFORD CORNER PIVOT DOOR SQUARE SHOWER 800X800 IN WHITE HJ1231-SW	S-TUB	LAUNDRY SUPERTUB	ROBINHOOD	SUPERTUB SUM - STSUMTAP3
SW-1	ALLPROOF REVOLVER VINYL SHOWER WASTE	ALLPROOF	ALLPROOF REVOLVER VINYL SHOWER WASTE KIT WITH S/S GRATE	FWG	FLOOR WASTE GULLY	ALLPROOF	ALLPROOF REVOLVER VINYL WASTE KIT WITH S/S GRATE

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BUILDING CONSENT / TENDER



A 10 MAY 24 BUILDING CONSENT / TENDER

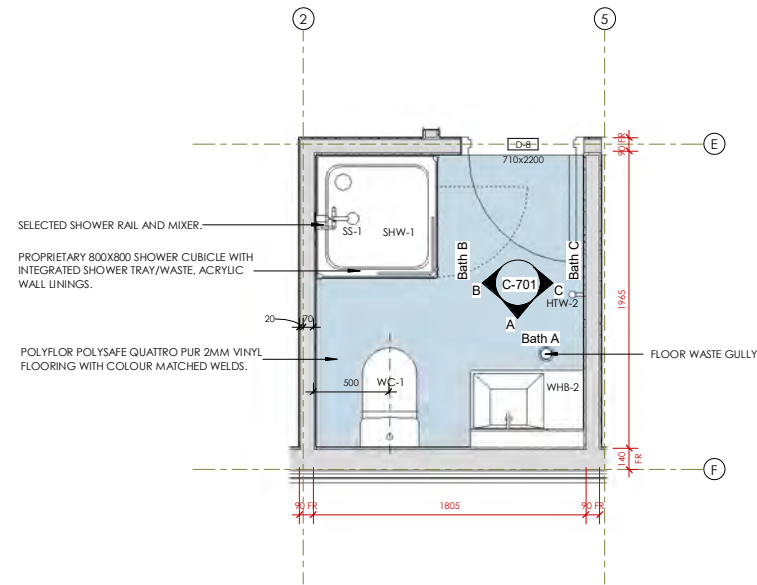
8 Willoughby Street
Woburn
Lower Hutt

COLLINGS HOUSE

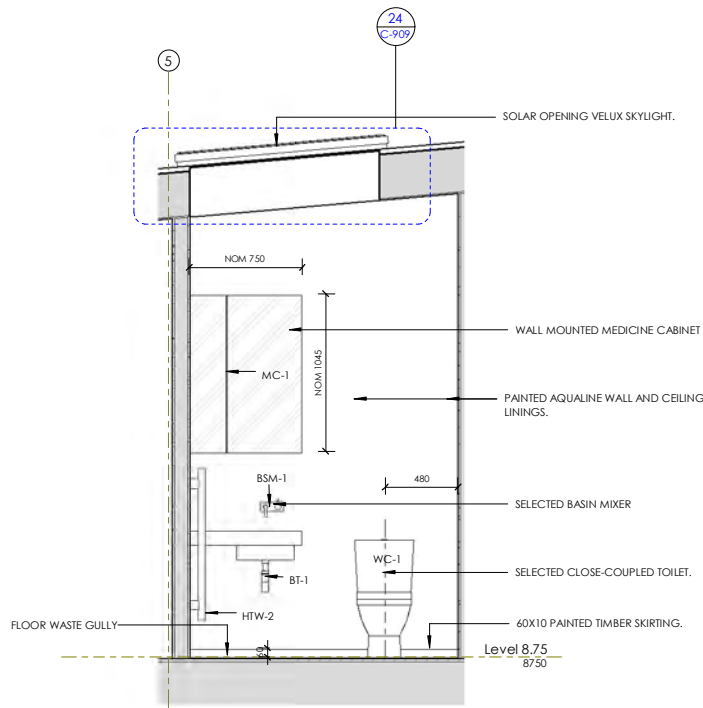
WC / Laundry

C-700 A

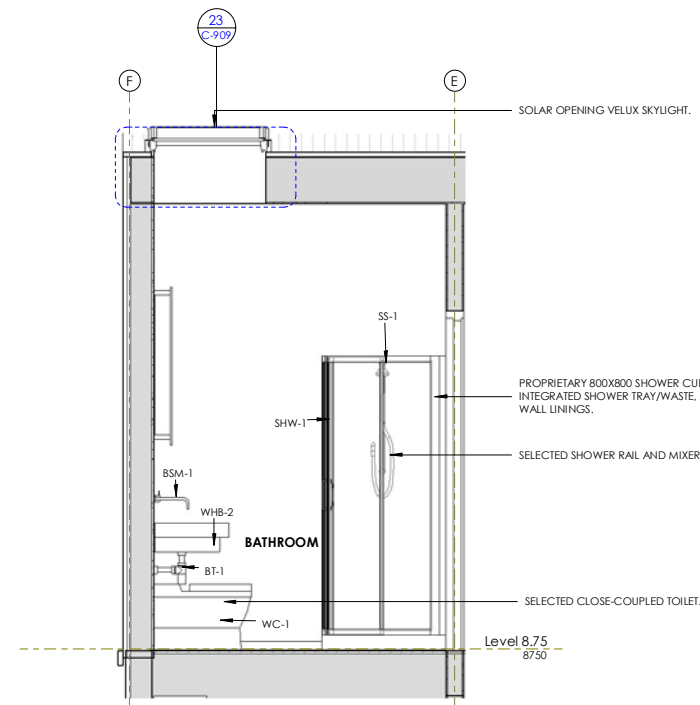
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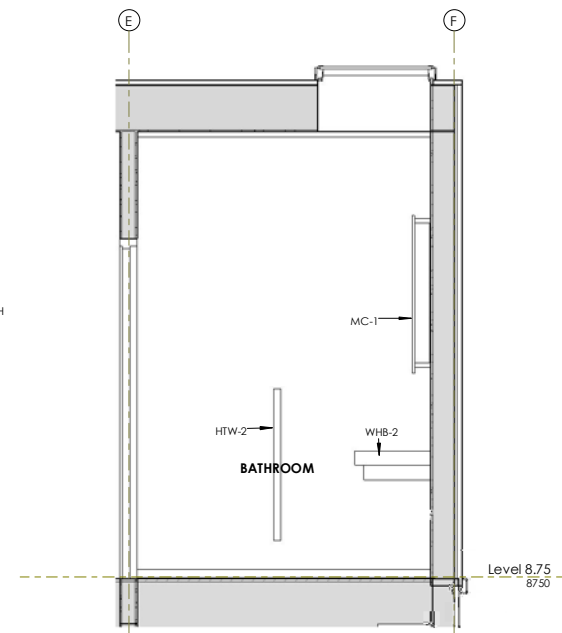
1 Bathroom Plan
C-202 1 : 25



A Bath A
C-202 1 : 25



B Bath B
C-202 1 : 25



C Bath C
C-202 1 : 25

CODE:	DESCRIPTION:	BRAND:	ITEM:	CODE:	DESCRIPTION:	BRAND:	ITEM:
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SHW-1	PROPRIETARY 800X800 CORNER SHOWER WITH SHOWER BASE + ACRYLIC WALL LINER	CROWN BATHROOMS	MILFORD CORNER PIVOT DOOR SQUARE SHOWER 800X800 IN WHITE HJ1231-8W	S-TUB	LAUNDRY SUPERTUB	ROBINHOOD	SUPERTUB SUM - STSLUMTAP3
SW-1	ALLPROOF REVOLVER VINYL SHOWER WASTE	ALLPROOF	ALLPROOF REVOLVER VINYL SHOWER WASTE KIT WITH S/S GRATE	FWG	FLOOR WASTE GULLY	ALLPROOF	ALLPROOF REVOLVER VINYL WASTE KIT WITH S/S GRATE

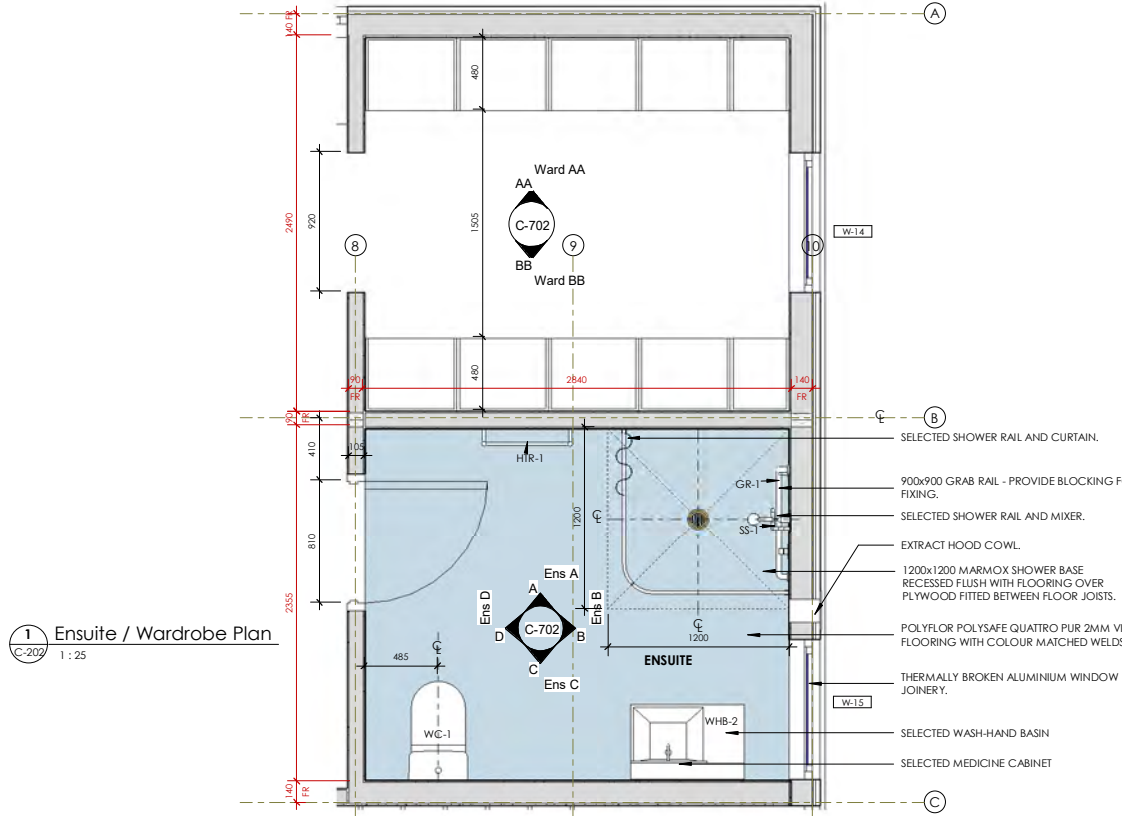
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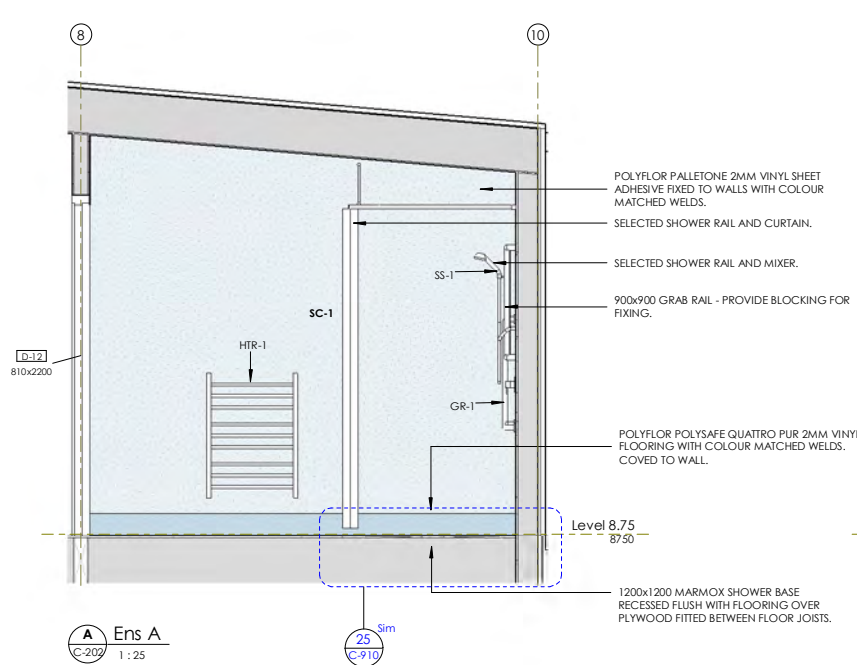
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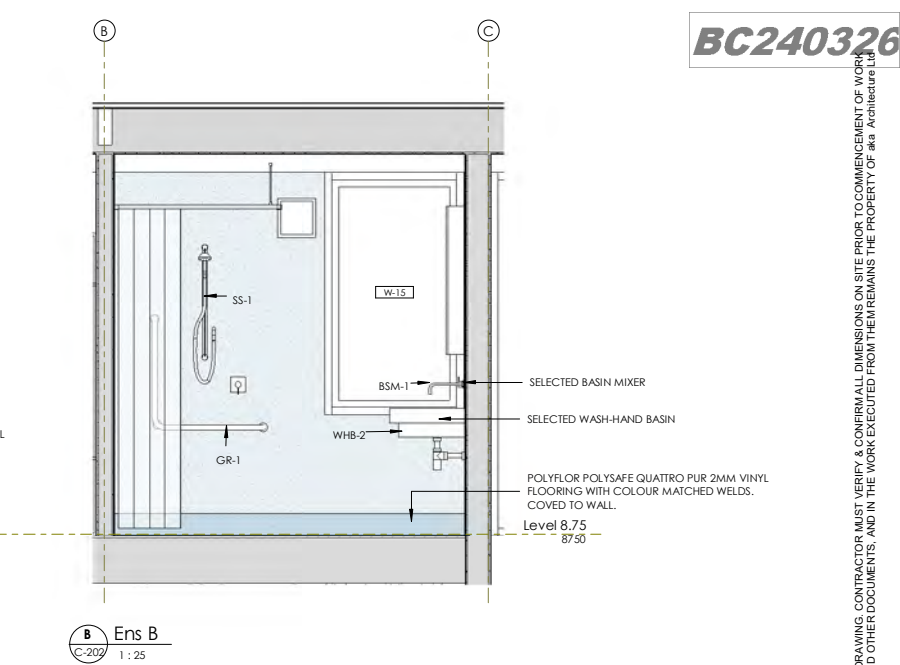
BUILDING CONSENT / TENDER



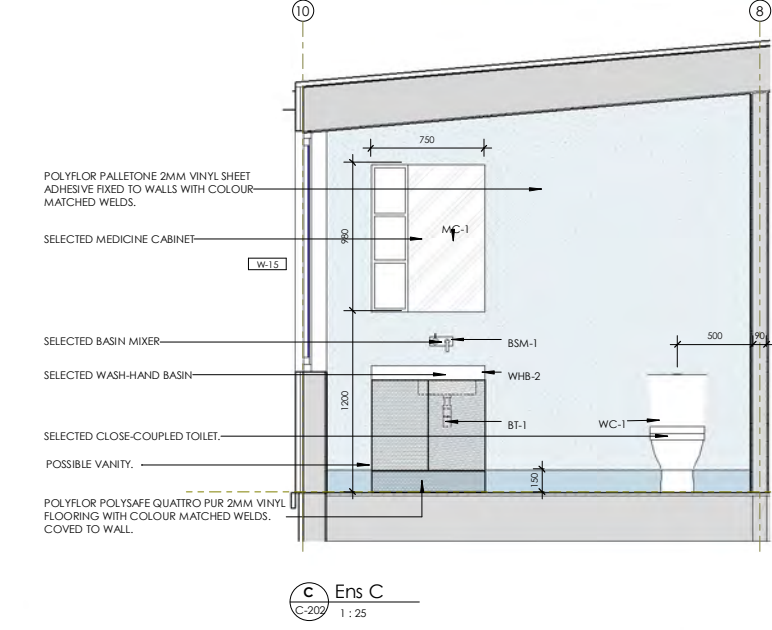
1 Ensuite / Wardrobe Plan
C-202 1:25



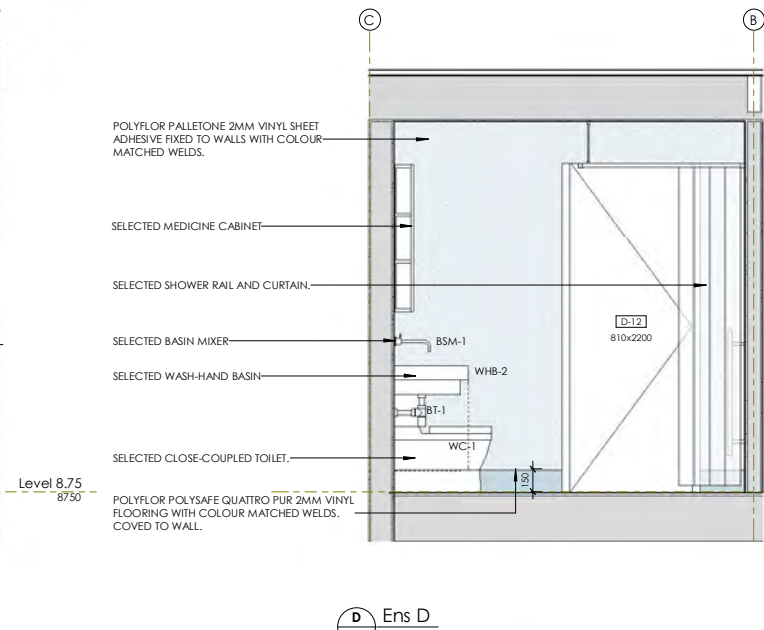
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C-202 1:25



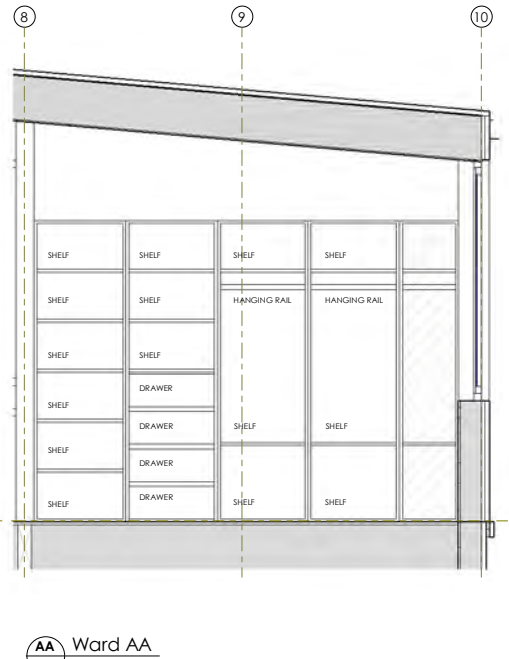
B Ens B
C-202 1:25



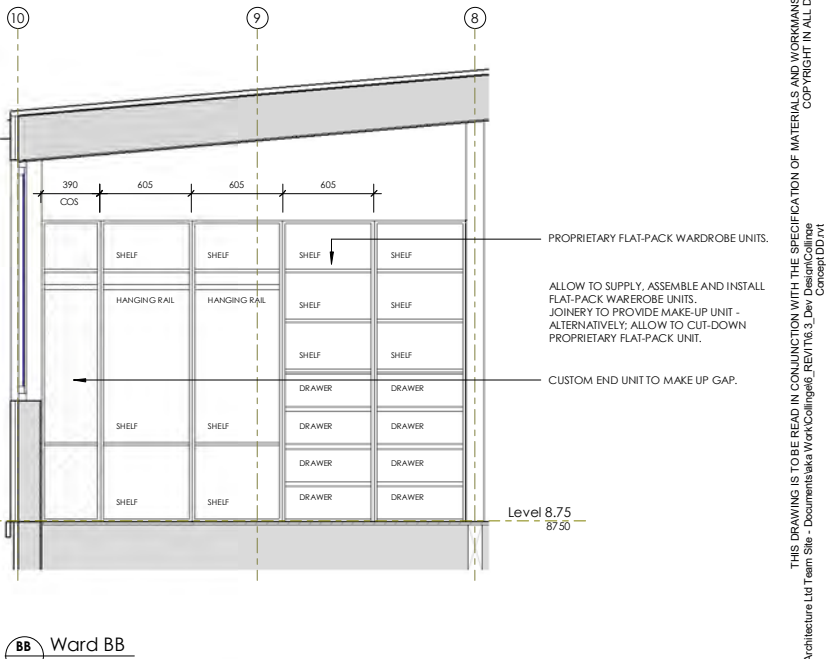
C Ens C
C-202 1:25



D Ens D
C-202 1:25



AA Ward AA
C-202 1:25



BB Ward BB
C-202 1:25

C CODE:	DESCRIPTION:	BRAND:	ITEM:	C CODE:	DESCRIPTION:	BRAND:	ITEM:
WHB-1	WALL HUNG VANITY BASIN (SMALL)			SC-1	1200X1200 L-SHAPED CURTAIN RAIL AND SHOWER CURTAIN		
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SW-1	ALLPROOF REVOLVER VINYL SHOWER WASTE	ALLPROOF	ALLPROOF REVOLVER VINYL SHOWER WASTE KIT WITH S/S GRATE.	FWG	FLOOR WASTE GULLY	ALLPROOF	ALLPROOF REVOLVER VINYL WASTE KIT WITH S/S GRATE.

BUILDING CONSENT

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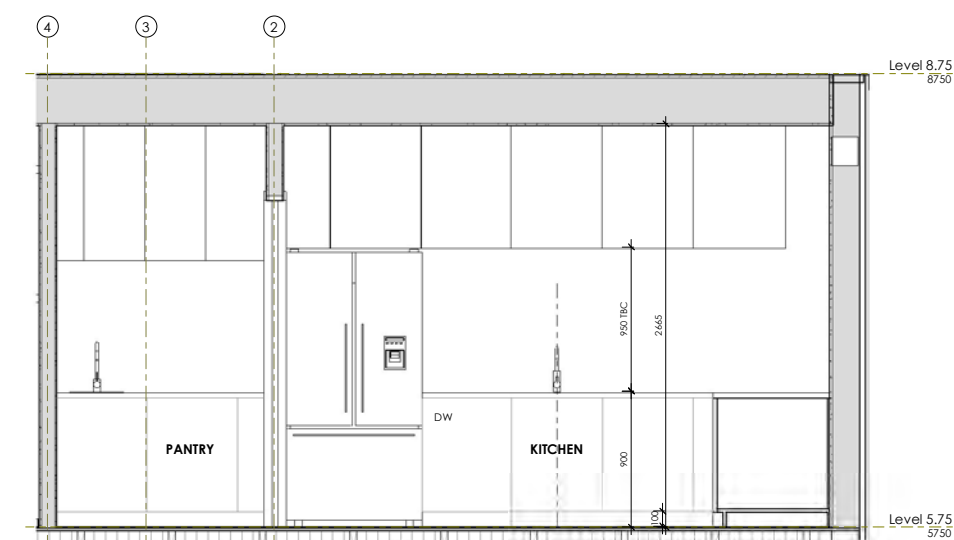
TE Kaitiaki

ALLOW TO SUPPLY, ASSEMBLE AND INSTALL FLAT-PACK WARDROBE UNITS. JOINERY TO PROVIDE MAKE-UP UNIT - ALTERNATIVELY; ALLOW TO CUT-DOWN PROPRIETARY FLAT-PACK UNIT.

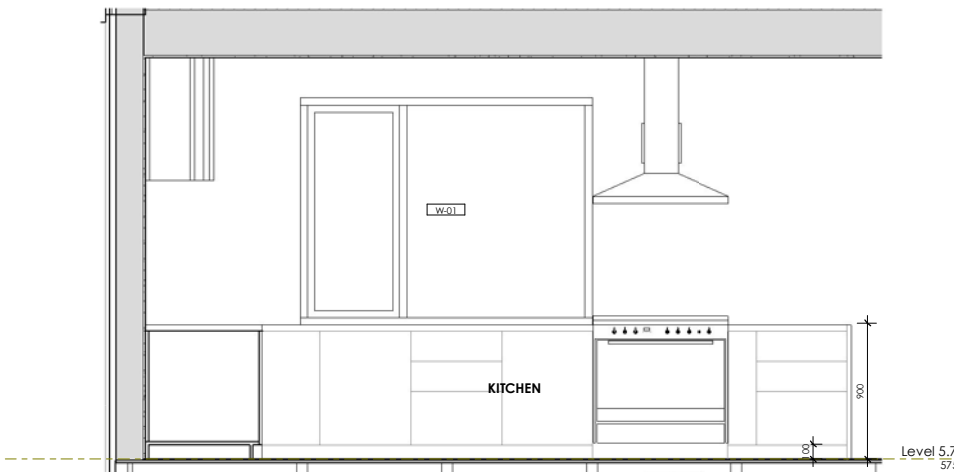
CLIENT TO CONFIRM CONFIGURATION. BASED ON BUNNINGS FLEXI WARDROBE SYSTEM 606W x 480D x 2000H

8 Willoughby Street
Woburn
Lower Hutt

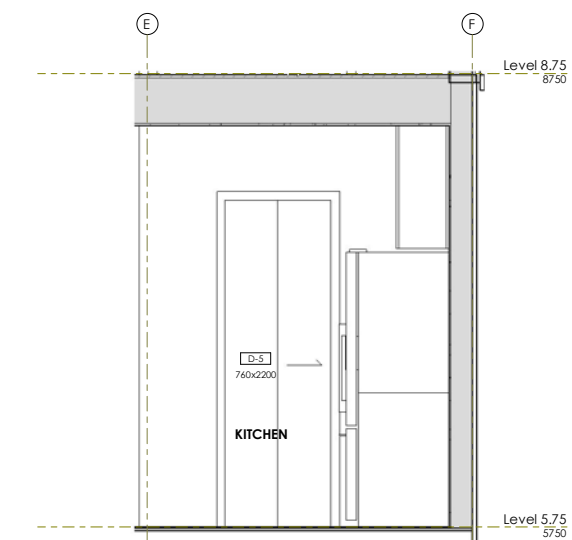
BUILDING CONSENT / TENDER



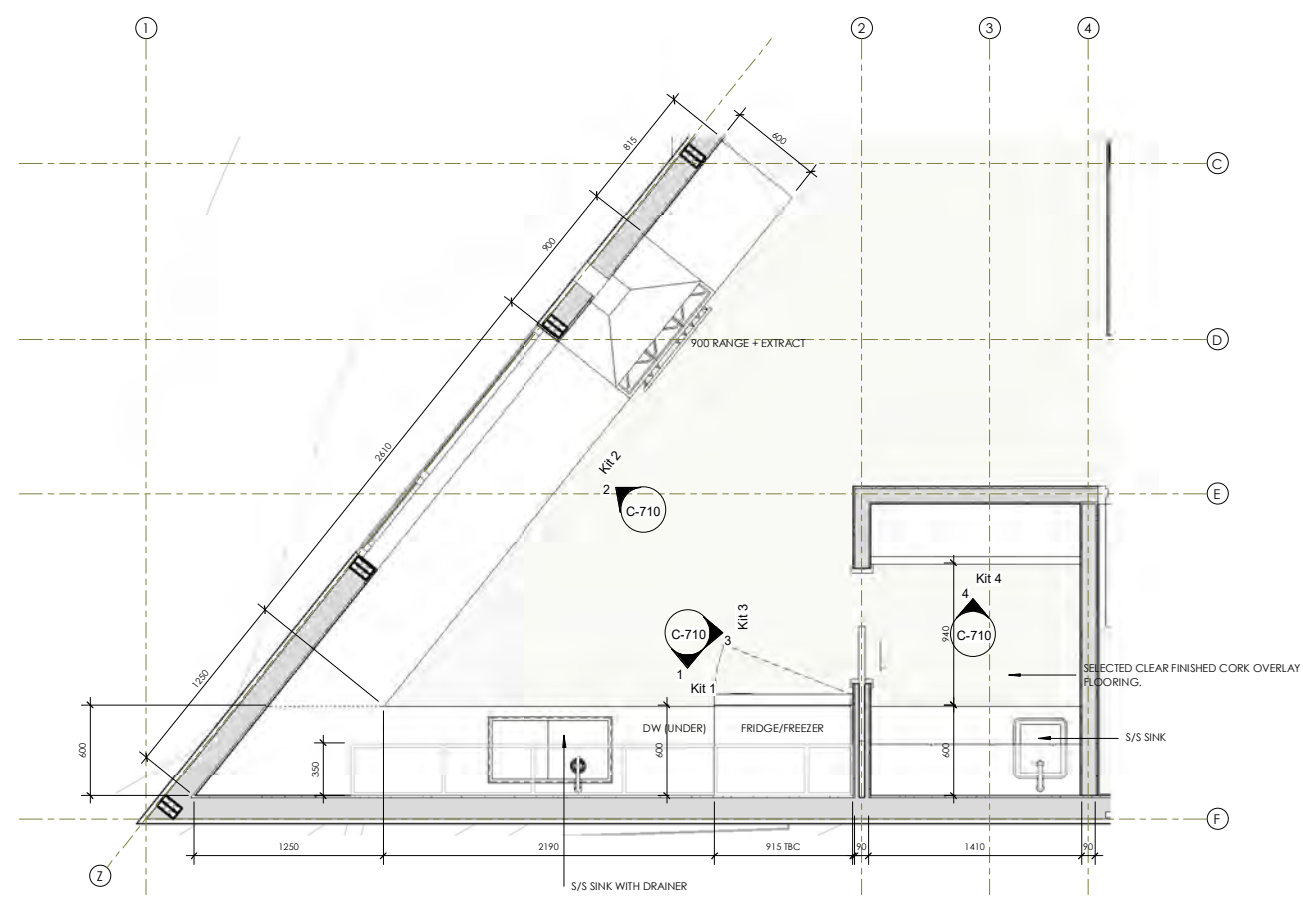
1 Kit 1
C-201 1:25



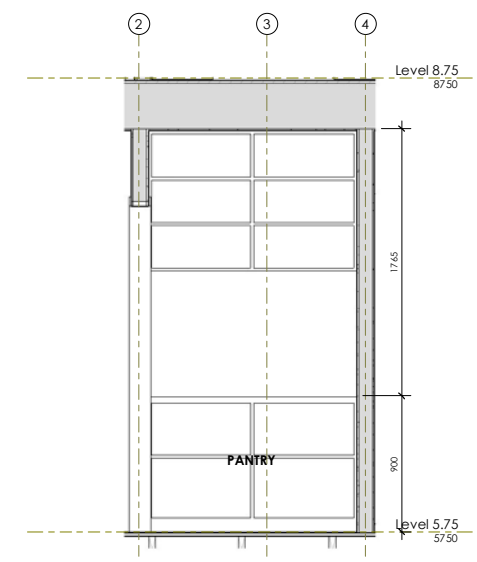
2 Kit 2
C-201 1:25



3 Kit 3
C-201 1:25



4 Kitchen Plan
C-201 1:25



4 Kit 4
C-201 1:25

BUILDING CONSENT

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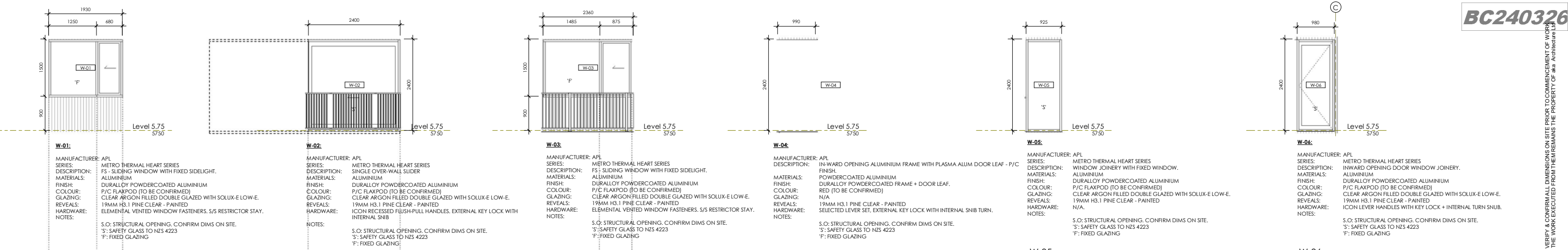


BUILDING CONSENT / TENDER

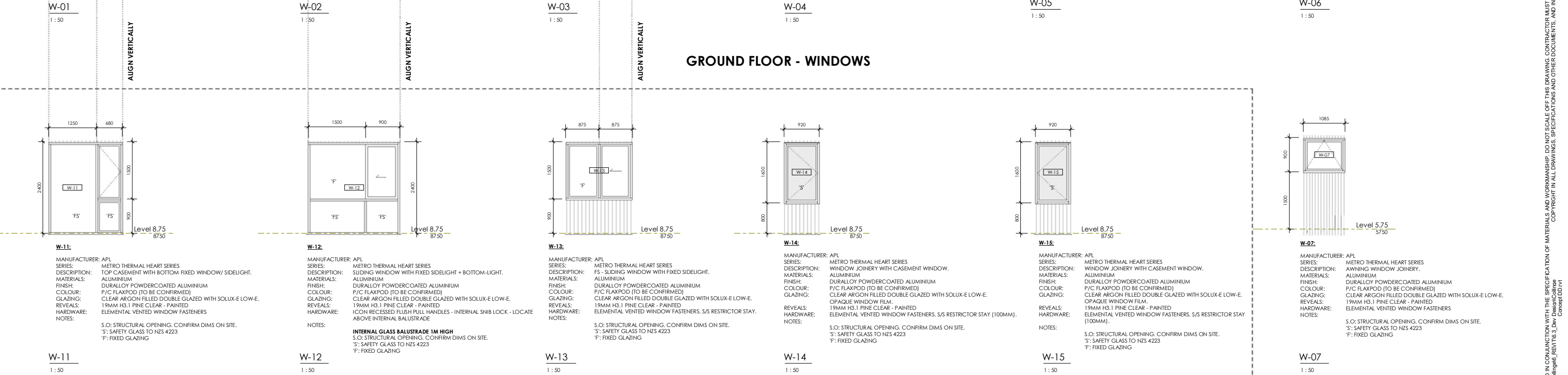
	A 10 MAY 24 BUILDING CONSENT / TENDER		8 Willoughby Street Woburn Lower Hutt	COLLINGS HOUSE Kitchen Plan + Elevations	REV A
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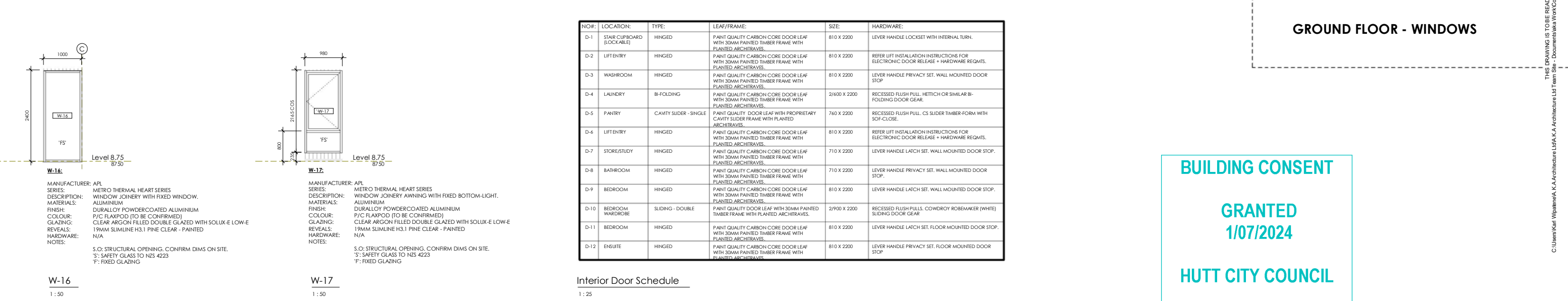
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GROUND FLOOR - WINDOWS



GROUND FLOOR - WINDOWS



NO#:	LOCATION:	TYPE:	LEAF/FRAME:	SIZE:	HARDWARE:
D-1	STAIR CUPBOARD (LOCKABLE)	HINGED	P.AINT QUALITY CARBON CORE DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	810 X 2200	LEVER HANDLE LOCKSET WITH INTERNAL TURN.
D-2	LIFT ENTRY	HINGED	P.AINT QUALITY CARBON CORE DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	810 X 2200	REFER LIFT INSTALLATION INSTRUCTIONS FOR ELECTRONIC DOOR RELEASE + HARDWARE REQMTS.
D-3	WASHROOM	HINGED	P.AINT QUALITY CARBON CORE DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	810 X 2200	LEVER HANDLE PRIVACY SET. WALL MOUNTED DOOR STOP.
D-4	LAUNDRY	BI-FOLDING	P.AINT QUALITY CARBON CORE DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	2160 X 2200	RECESSED FLUSH PULL. HETICH OR SIMILAR BI-FOLDING DOOR GEAR.
D-5	PANTRY	CAVITY SLIDER - SINGLE	P.AINT QUALITY DOOR LEAF WITH PROPRIETARY CAVITY SLIDER FRAME WITH PLANTED ARCHITRAVES.	760 X 2200	RECESSED FLUSH PULL. CS SLIDER TIMBER-FORM WITH SOF-CLOSE.
D-6	LIFT ENTRY	HINGED	P.AINT QUALITY CARBON CORE DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	810 X 2200	REFER LIFT INSTALLATION INSTRUCTIONS FOR ELECTRONIC DOOR RELEASE + HARDWARE REQMTS.
D-7	STORE/STUDY	HINGED	P.AINT QUALITY CARBON CORE DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	710 X 2200	LEVER HANDLE LATCH SET. WALL MOUNTED DOOR STOP.
D-8	BATHROOM	HINGED	P.AINT QUALITY CARBON CORE DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	710 X 2200	LEVER HANDLE PRIVACY SET. WALL MOUNTED DOOR STOP.
D-9	BEDROOM	HINGED	P.AINT QUALITY CARBON CORE DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	810 X 2200	LEVER HANDLE LATCH SET. WALL MOUNTED DOOR STOP.
D-10	BEDROOM WARDROBE	SLIDING - DOUBLE	P.AINT QUALITY DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	2190 X 2200	RECESSED FLUSH PULLS. COWDROY ROBE MAKER (WHITE) SLIDING DOOR GEAR.
D-11	BEDROOM	HINGED	P.AINT QUALITY CARBON CORE DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	810 X 2200	LEVER HANDLE LATCH SET. FLOOR MOUNTED DOOR STOP.
D-12	ENSUITE	HINGED	P.AINT QUALITY CARBON CORE DOOR LEAF WITH 30MM PAINTED TIMBER FRAME WITH PLANTED ARCHITRAVES.	810 X 2200	LEVER HANDLE PRIVACY SET. FLOOR MOUNTED DOOR STOP.

Interior Door Schedule

1 : 25

FIRST FLOOR - WINDOWS

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BUILDING CONSENT / TENDER



10 MAY 24 BUILDING CONSENT / TENDER

8 Willoughby Street
Woburn
Lower Hutt

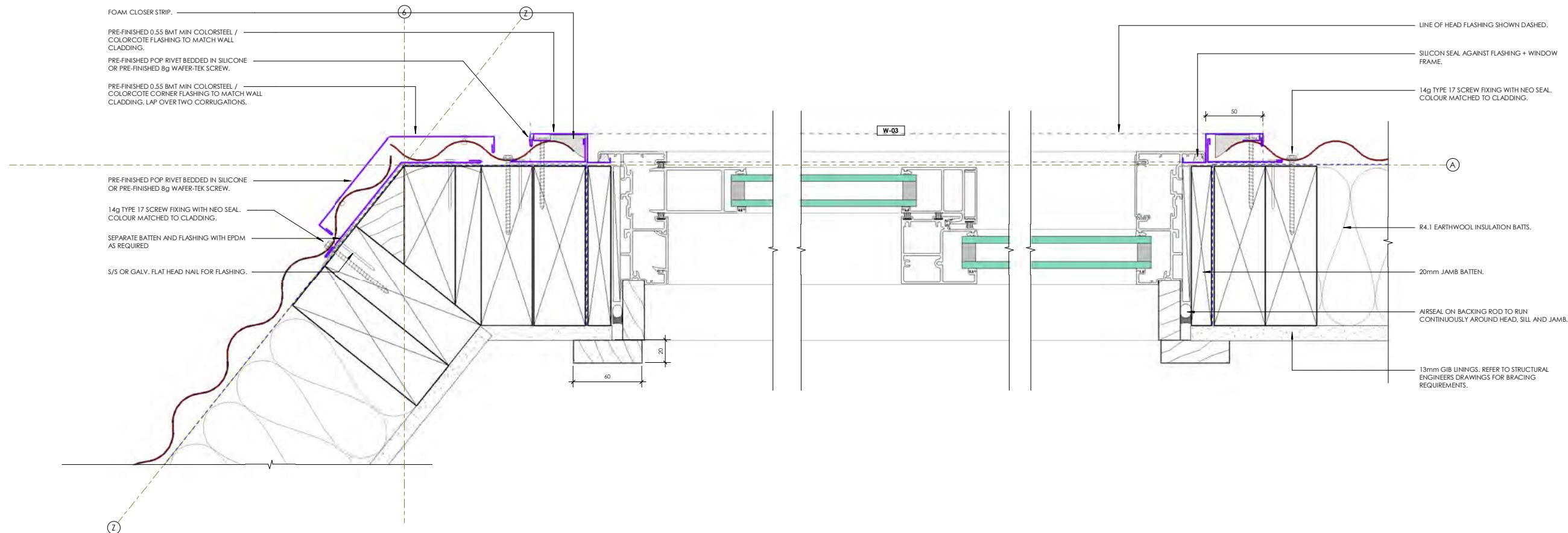
COLLINGE HOUSE

Window + Door Schedule

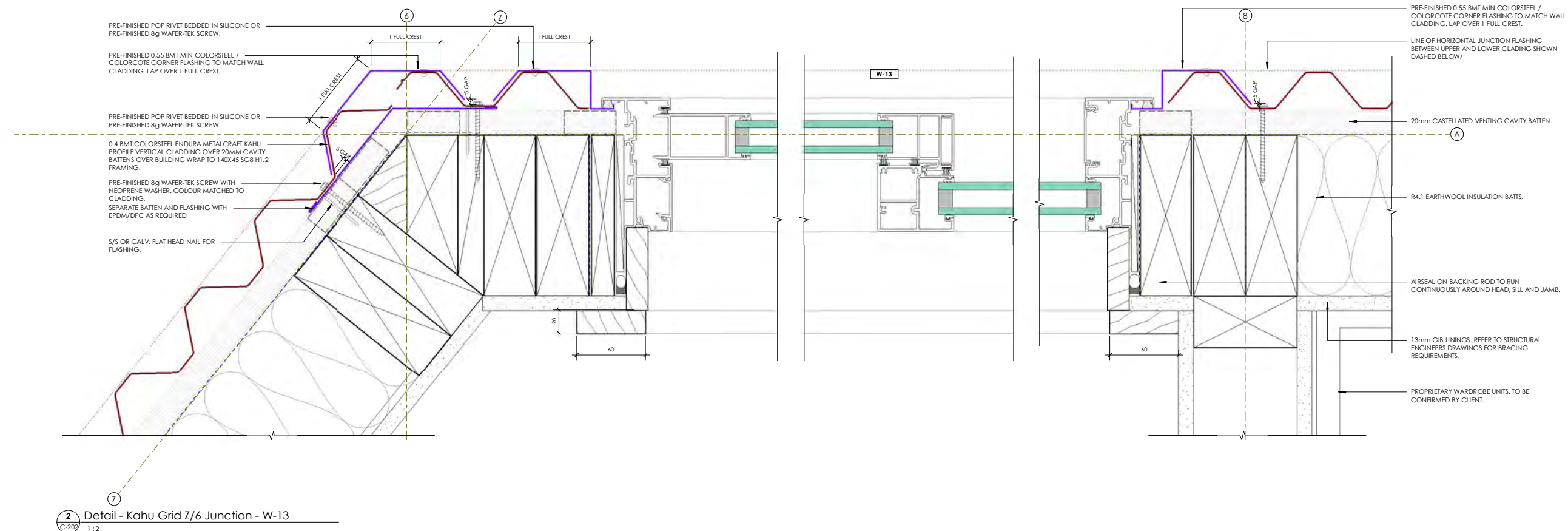
C-800

A

As indicated - A1



1 Detail - Corrgate Grid Z/6 Junction - W-03
C-203 1:2



2 Detail - Kahu Grid Z/6 Junction - W-13
C-202 1:2

BUILDING CONSENT

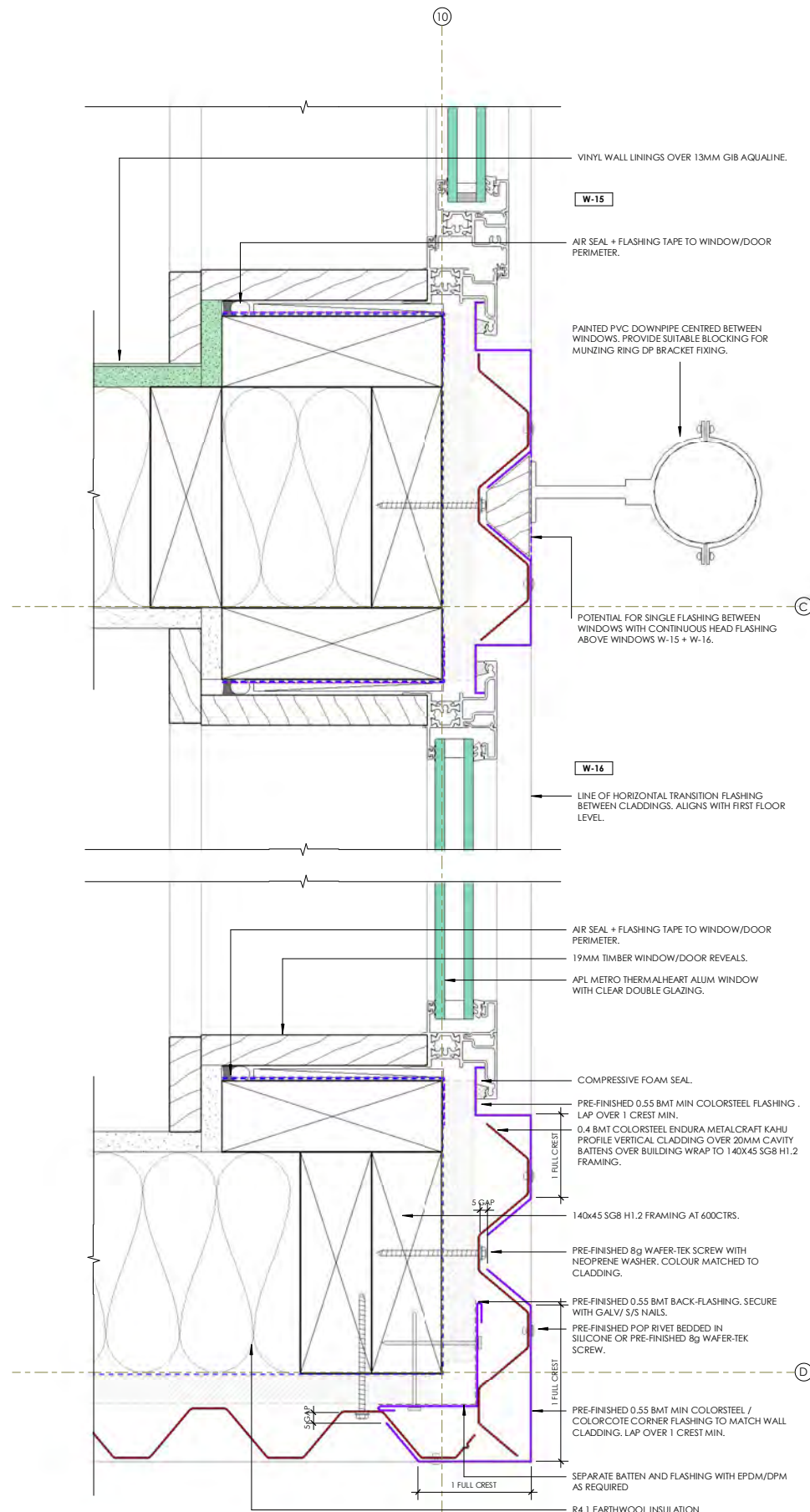
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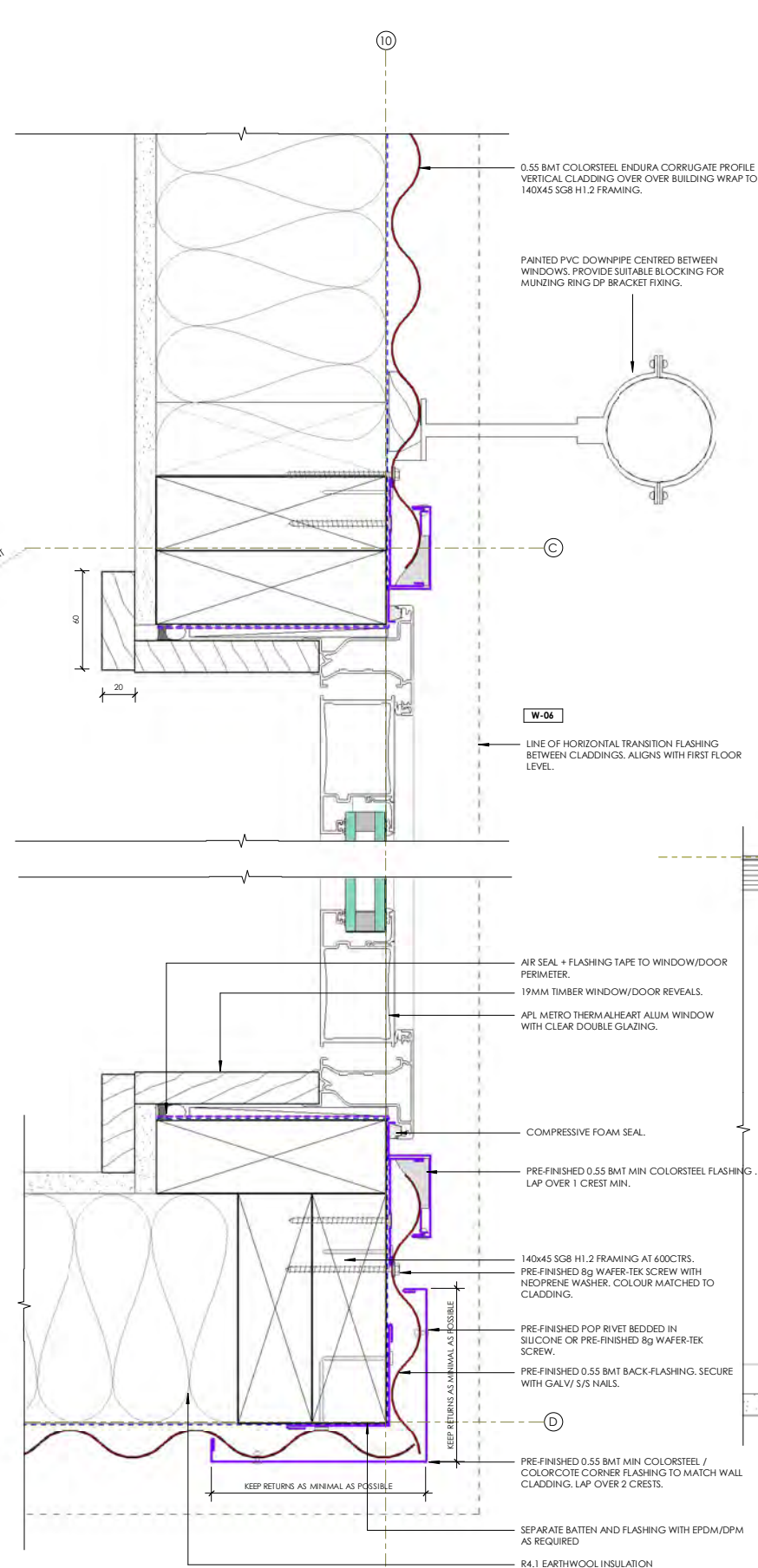


BUILDING CONSENT / TENDER

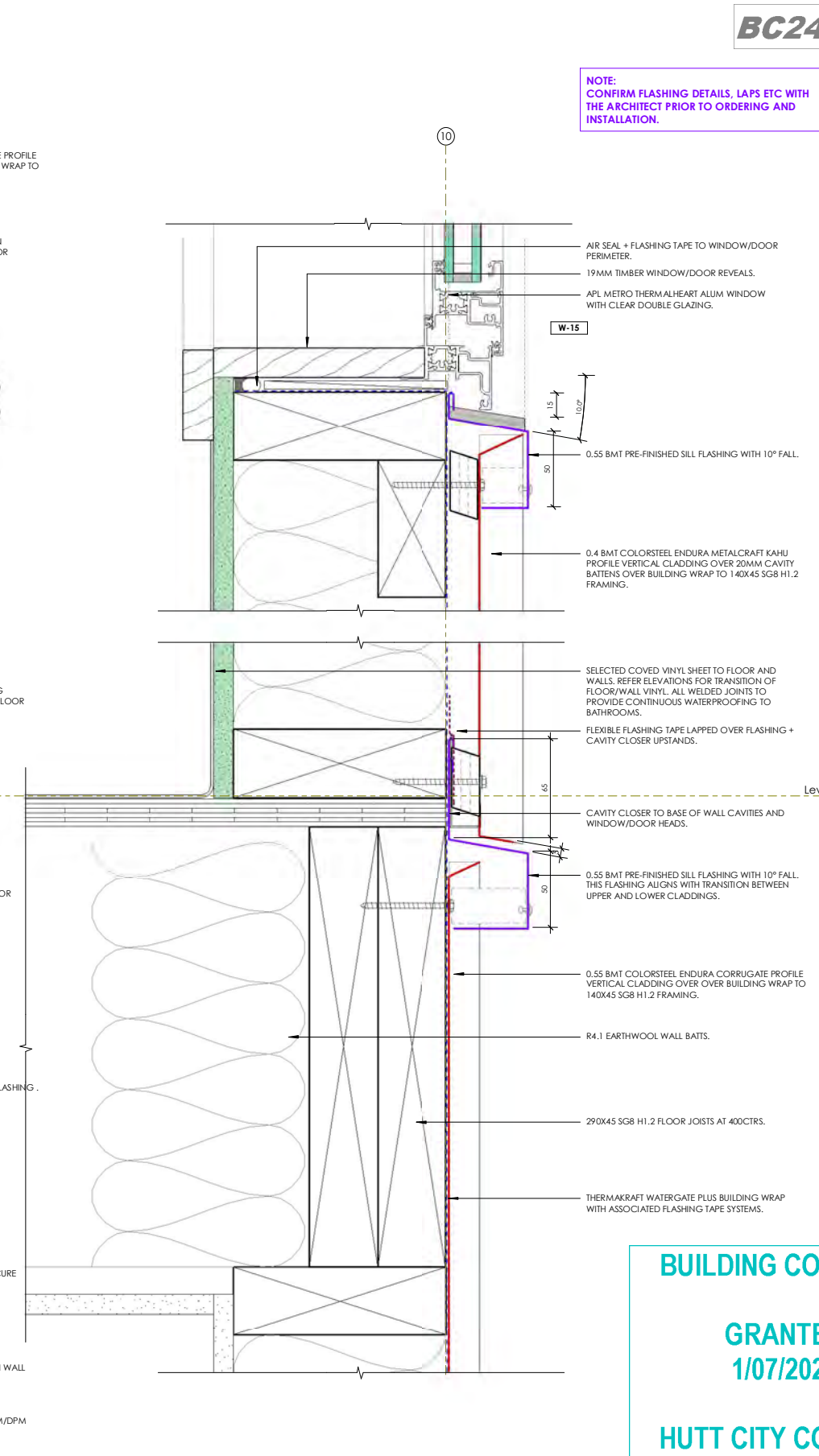
NOTE:
CONFIRM FLASHING DETAILS, LAPS ETC WITH
THE ARCHITECT PRIOR TO ORDERING AND
INSTALLATION.



3 Detail - Kahu Corner Grid D/10 - W-16 Jamb
C-202 1:2



4 Detail - Corrugate Corner Grid D/10 - W-06 Jamb
C-201 1:2



5 Detail - Cladding Transition - W-15 Sill
C-400 1:2

BUILDING CONSENT

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BUILDING CONSENT / TENDER

6 Detail - W-06 / W-16 Section
C-401 1:2



VENT RV10P (HALF) APRON FLASHING WITH SOFT-EDGE DRESSED DOWN INTO TROUGHS .

COLORSTEEL RIDGE FLASHING DRESSED DOWN INTO TROUGHS WITH SOFT-EDGE.

VENT VB20 VENTILATION BATTEN TO TOP OF RAFTERS

COLORSTEEL ENDURA 0.55 BMT METALCRAFT KAHU PROFILED METAL ROOFING SECURED OVER THERMAKRAFT 407 SELF-SUPPORTING ROOFING UNDERLAY. ROOF PITCH 5 DEGREES. STOP-END AT RIDGE.

240x45 SG8 H1.2 ROOF RAFTERS AT 600MM CTRS AS PER STRUCTURAL ENGINEERS DETAILS.

R5.2 EARTHWOOL ROOF INSULATION BATTS.

0.4 BMT COLORSTEEL ENDURA METALCRAFT KAHU PROFILE VERTICAL CLADDING OVER 20MM CAVITY BATTENS OVER BUILDING WRAP TO 140X45 SG8 H1.2 FRAMING.

SQUARE STOP WALL/CEILING JUNCTION.

3/190X45 SG8 H1.2 LINTEL TO ENTIRE LENGTH OF THIS GRID.

R4.1 EARTHWOOL WALL INSULATION BATTS.

140X45 H1.2 SG8 FRAMING. STUDS AT 600CTRS.

SELECTED PLASTERBOARD WALL LININGS - L4 PAINTED FINISH.

FLEXIBLE FLASHING TAPE LAPPED OVER FLASHING HEAD.

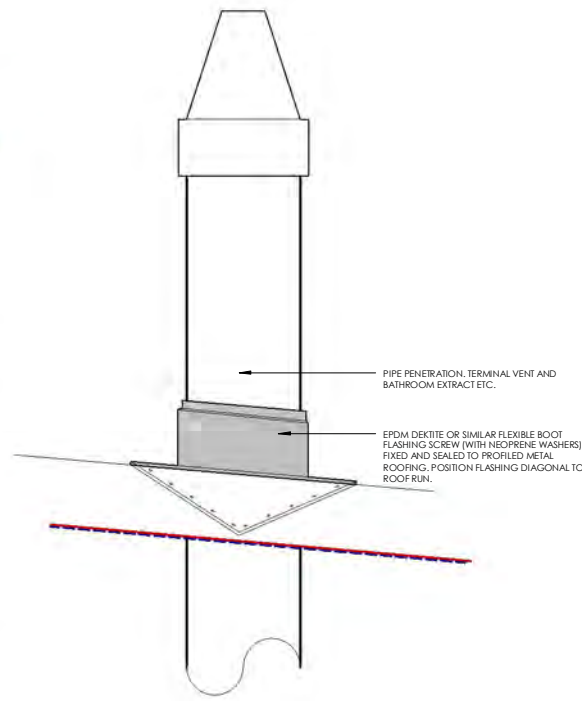
HEAD FLASHING TURNED UP TO FORM END STOP. FLASHING TO CONTINUE MIN 20MM PAST WINDOW FRAME ON EACH SIDE.

PREFOLDED HEAD FLASHING AT 15° FALL

SEALANT BETWEEN FRAME + FLASHING.

AIR SEAL + FLASHING TAPE TO DOOR PERIMETER.

APL METRO THERMALHEART ALUMINIUM WINDOW JOINERY WITH CLEAR SOLUX-E ARGON FILLED DOUBLE GLAZING.



8 Dektite Roof Penetration
1:2

BUILDING CONSENT

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R4.1 EARTHWOOL INSULATION BATTS.

20mm CASTELLATED VENTING CAVITY BATTEN.

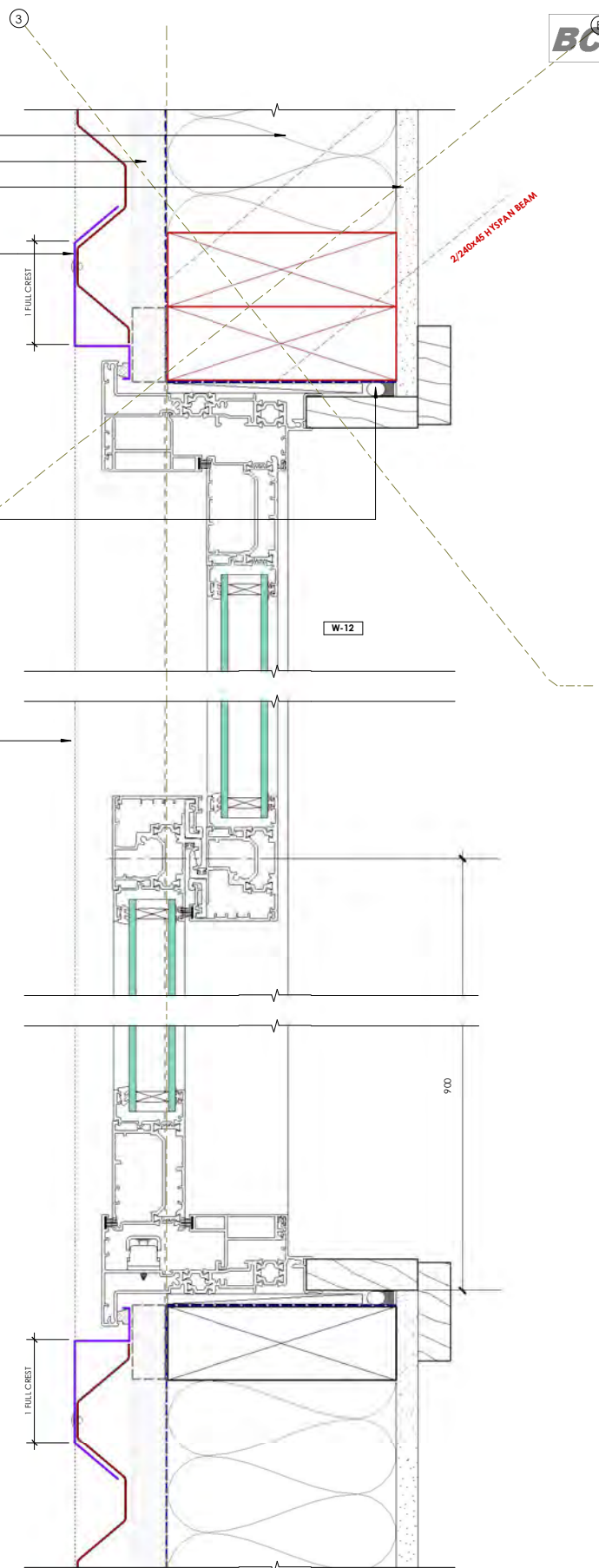
13mm GIB LININGS. REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR BRACING REQUIREMENTS.

PRE-FINISHED 0.55 BMT MIN COLORSTEEL / COLORCOTE CORNER FLASHING TO MATCH WALL CLADDING. LAP OVER 1 FULL CREST.

AIRSEAL ON BACKING ROD TO RUN CONTINUOUSLY AROUND HEAD, SILL AND JAMB.

LINE OF HORIZONTAL JUNCTION FLASHING BETWEEN UPPER AND LOWER CLADDING SHOWN DASHED BELOW

9 Detail - W-12 Upper Jamb
1:2



2 BUILDING CONSENT / TENDER

7 Detail - W-12 Head / Roof Barge
1:2



A 10 MAY 24 BUILDING CONSENT / TENDER

1:2 - A1

8 Willoughby Street
Woburn
Lower Hutt

COLLINGS HOUSE

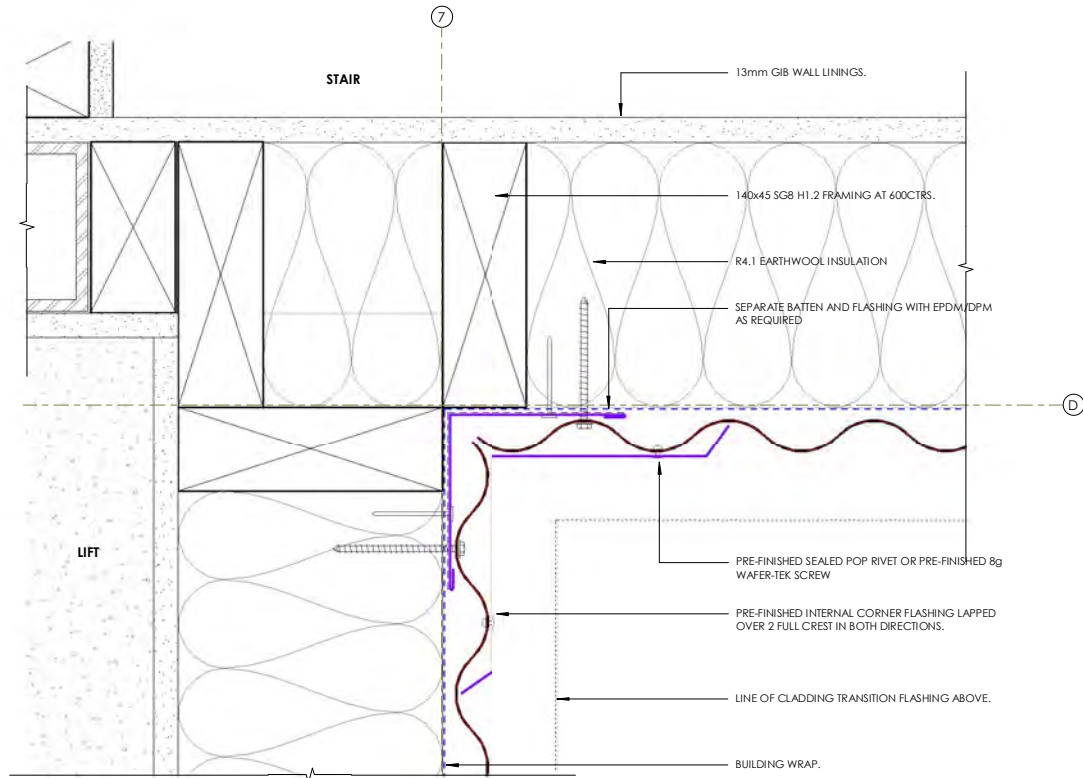
Construction Detail - Sheet 4 - Roof
Vent - W-12 Jamb/Head

C-903 A

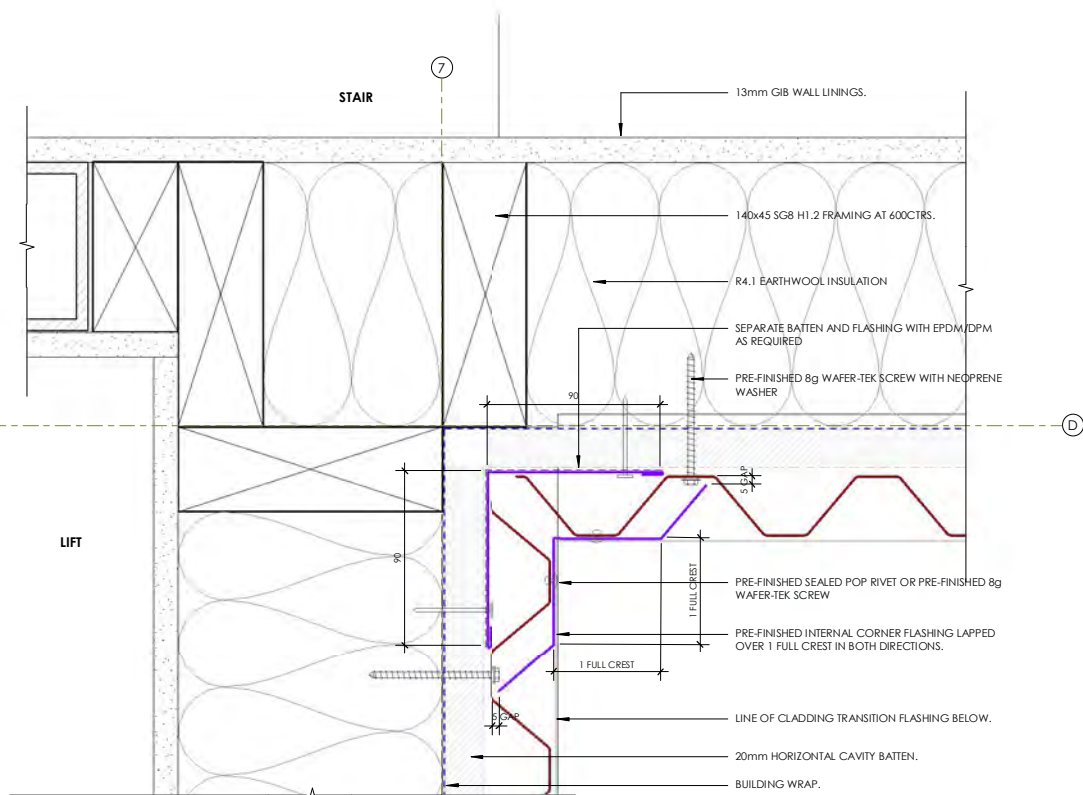
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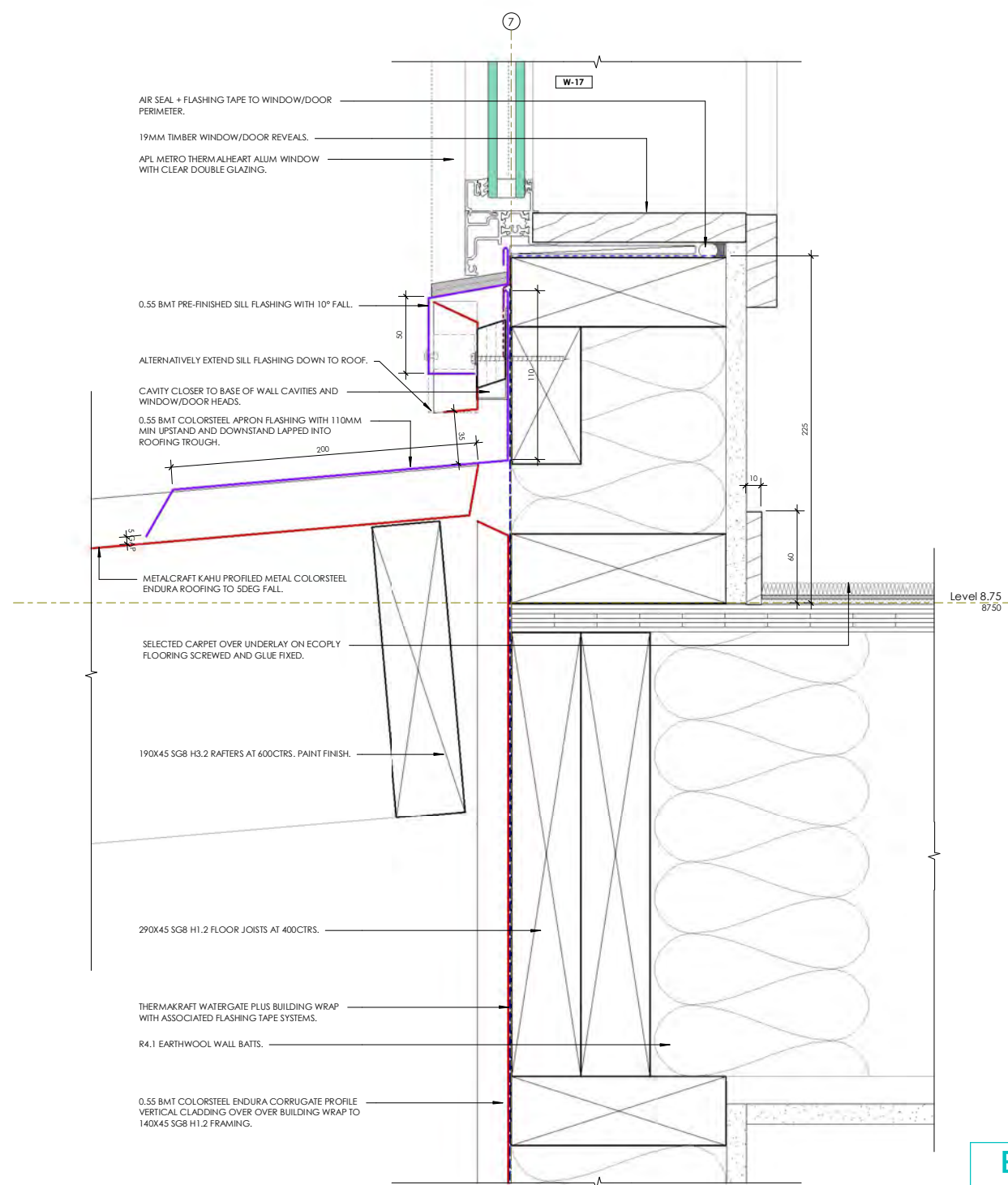
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Karl Wipalme
14/05/2024



10 Detail - Internal Corner - Corrugate
C-201 1:2



11 Detail - Internal Corner - Kahu
C-202 1:2



12 Detail - Carport Roof Head - W-17 Sill
C-200 1:2

BUILDING CONSENT

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BUILDING CONSENT / TENDER

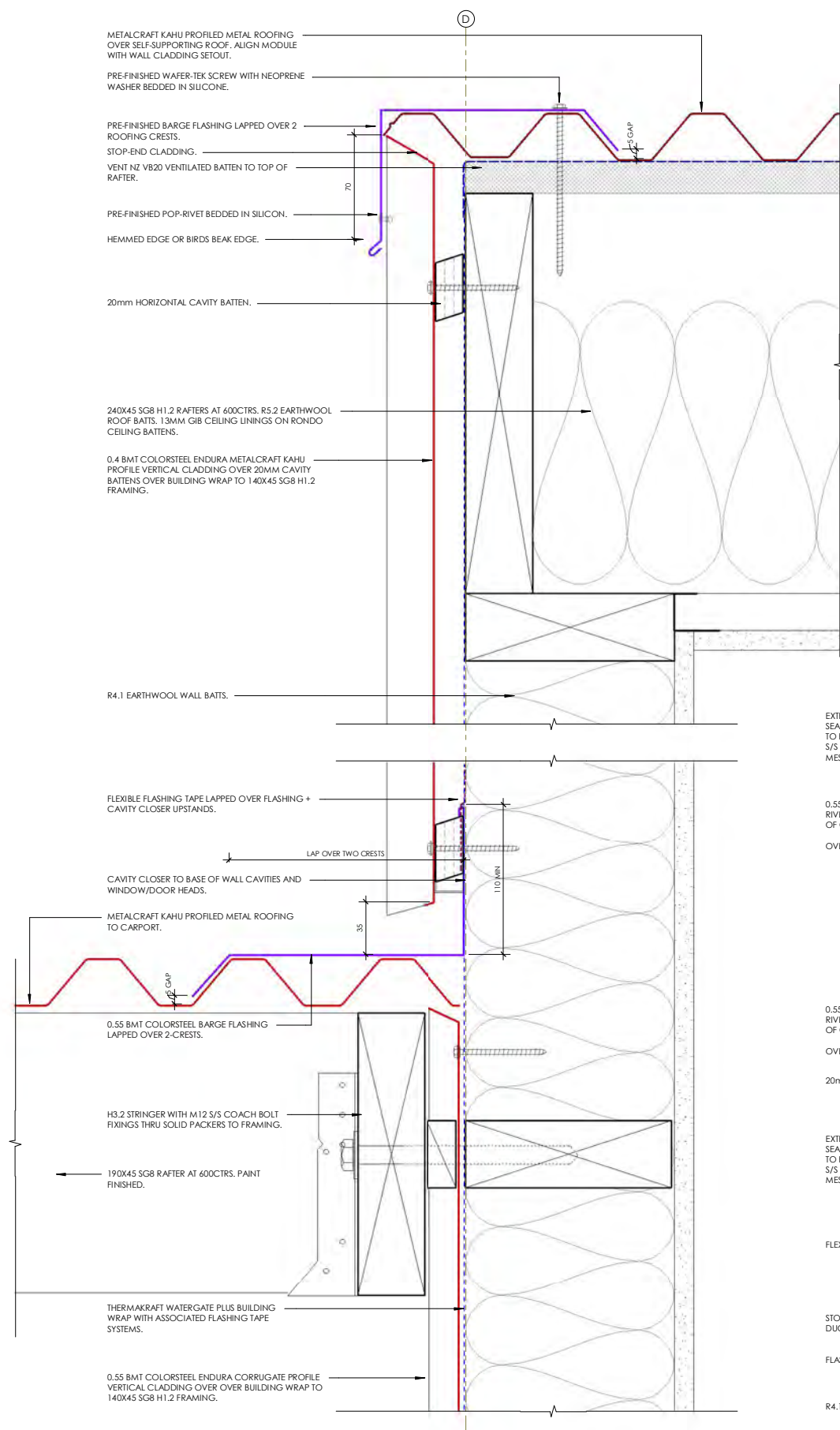
	A 10 MAY 24 BUILDING CONSENT / TENDER		8 Willoughby Street Woburn Lower Hutt	COLLINGS HOUSE Construction Detail - Sheet 5 - Internal Cladding Corner / Carport Roof Apron	REV A
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1:2 - A1

BUILDING CONSENT

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1/07/2024

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EXTRACT GRILLE (HOODED) IN WALL WITH SEALANT SEAL COMPLETELY TO PERIMETER OF GRILLE PRIOR TO FIXING AGAINST OVER FLASHING.
S/S DCT361 6 EXTERNAL WEATHERCOWL HOOD WITH MESH AND FLAP.

0.55 COLORSTEEL FLASHING SURFACE MOUNTED + RIVETTED OVER CLADDING. LAPPED 50MM EITHER SIDE OF GRILLE. SIDE RETURNED TO CLADDING TROUGHS.
OVER FLASHING TYPICALLY EXTENDED TO ROOF.

0.55 COLORSTEEL FLASHING SURFACE MOUNTED + RIVETTED OVER CLADDING. LAPPED 50MM EITHER SIDE OF GRILLE. SIDE RETURNED TO CLADDING TROUGHS.
OVER FLASHING TYPICALLY EXTENDED TO ROOF.

20mm CASTELLATED VENTING CAVITY BATTEN.

EXTRACT GRILLE (HOODED) IN WALL WITH SEALANT SEAL COMPLETELY TO PERIMETER OF GRILLE PRIOR TO FIXING AGAINST OVER FLASHING.
S/S DCT361 6 EXTERNAL WEATHERCOWL HOOD WITH MESH AND FLAP.

FLEXIBLE FLASHING TAPE TO DUCT OPENING.

STOP-END CLADDING BELOW EXTRACT / DUCT.

FLASHING BASE RIVETTED TO WALL CLADDING.

R4.1 EARTHWOOL INSULATION BATTS.

PLAN SECTION

WALL SECTION

METALCRAFT KAHU PROFILED METAL ROOFING OVER THERMAKRAFT 407 SELF-SUPPORTING ROOF UNDERLAY ON 240X45 SGB H1.2 RAFTERS AT 600CTRS.

PRE-FINISHED WAFER-TEK SCREW WITH NEOPRENE WASHER BEDDED IN SILICONE.

PRE-FINISHED BARGE FLASHING LAPPED OVER 2 ROOFING CRESTS.

STOP-END CLADDING.
VENT NZ V820 VENTILATED BATTEN TO TOP OF RAFTER.

PRE-FINISHED POP-RIVET BEDDED IN SILICONE.

HEMMED EDGE OR BIRDS BEAK EDGE.

20mm HORIZONTAL CAVITY BATTEN.

240X45 SGB H1.2 RAFTERS AT 600CTRS, R5.2 EARTHWOOL ROOF BATTS, 13MM GIB CEILING LININGS ON RONDO CEILING BATTENS.

0.4 BMT COLORSTEEL ENDURA METALCRAFT KAHU PROFILE VERTICAL CLADDING OVER 20MM CAVITY BATTENS OVER BUILDING WRAP TO 140X45 SGB H1.2 FRAMING.

FLEXIBLE FLASHING TAPE LAPPED OVER FLASHING + CAVITY CLOSER UPSTANDS.

CAVITY CLOSER TO BASE OF WALL CAVITIES AND WINDOW/DOOR HEADS.

HEAD FLASHING TURNED UP TO FORM END STOP. FLASHING TO CONTINUE MIN 20MM PAST WINDOW FRAME ON EACH SIDE.

PREFOLDED HEAD FLASHING AT 15° FALL.

AIR SEAL + FLASHING TAPE TO DOOR PERIMETER.

19mm TIMBER REVEALS.

15 Detail - W-13 Head / Roof Barge
C-400 1:2

BUILDING CONSENT / TENDER

13 Detail - Carport Roof / Barge Junctions
C-400 1:2

14 Detail - Typ - Extract Fan Penetration
1:2



A 10 MAY 24

BUILDING CONSENT /
TENDER

1:2 - A1

8 Willoughby Street
Woburn
Lower Hutt

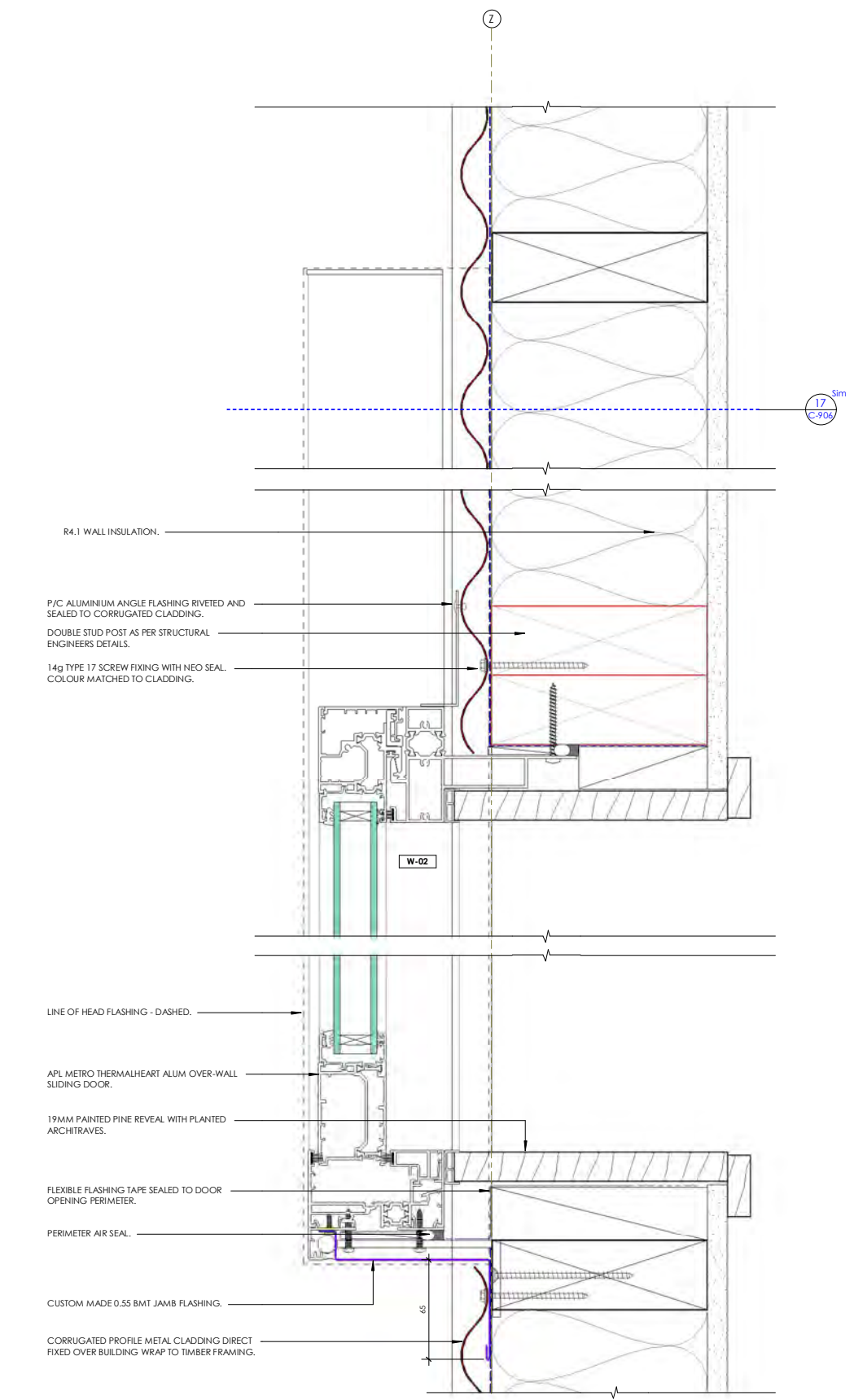
COLLINGS HOUSE

Construction Detail - Sheet 6 -
Carport Roof Barge / Extract Details /
W13 Head / Roof Barge

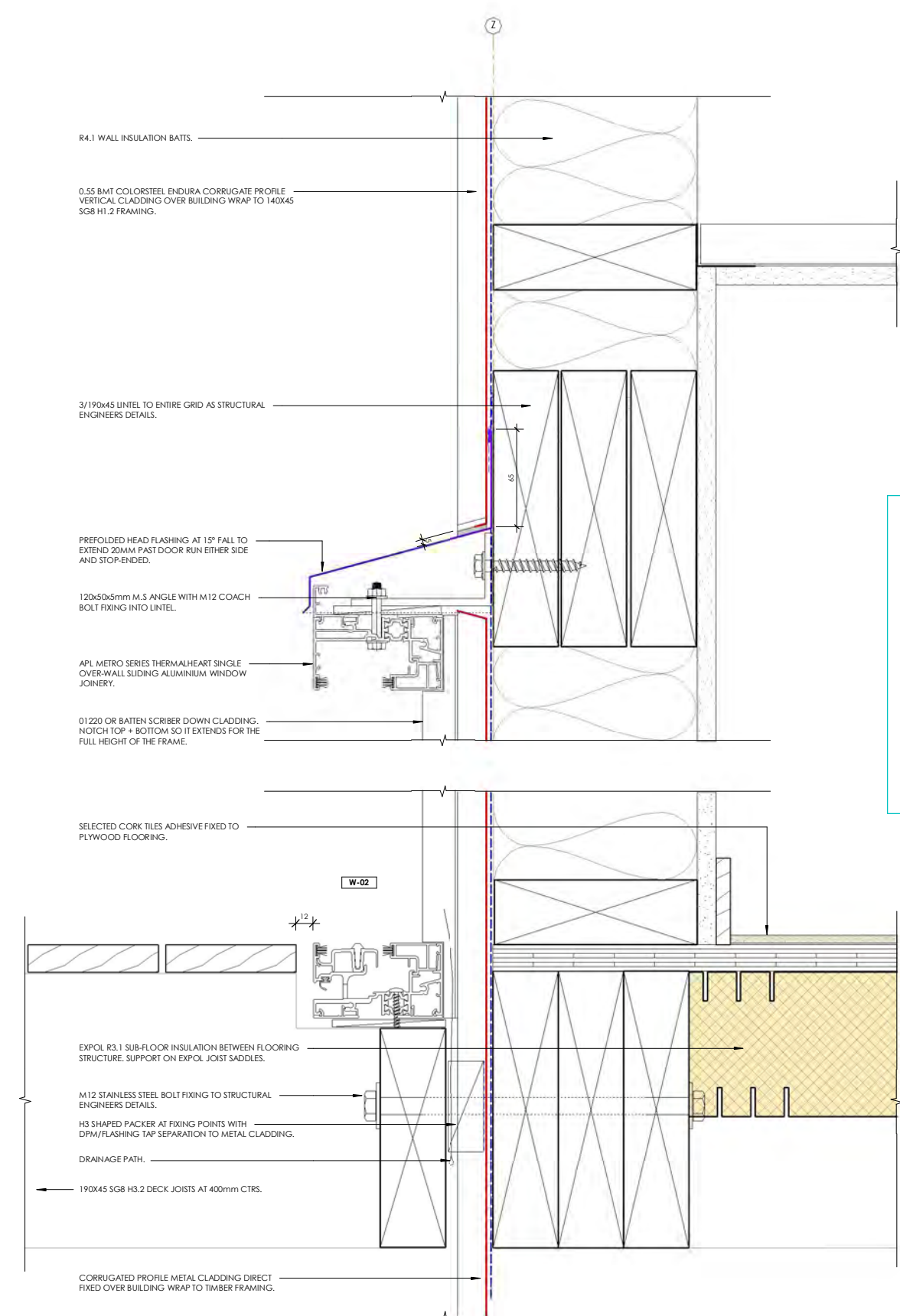
C-905 A

REV
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16 Detail - W-02 Jamb
C-201 1:2



17 Detail - W-02 Cladding Section
C-904 1:2

BUILDING CONSENT
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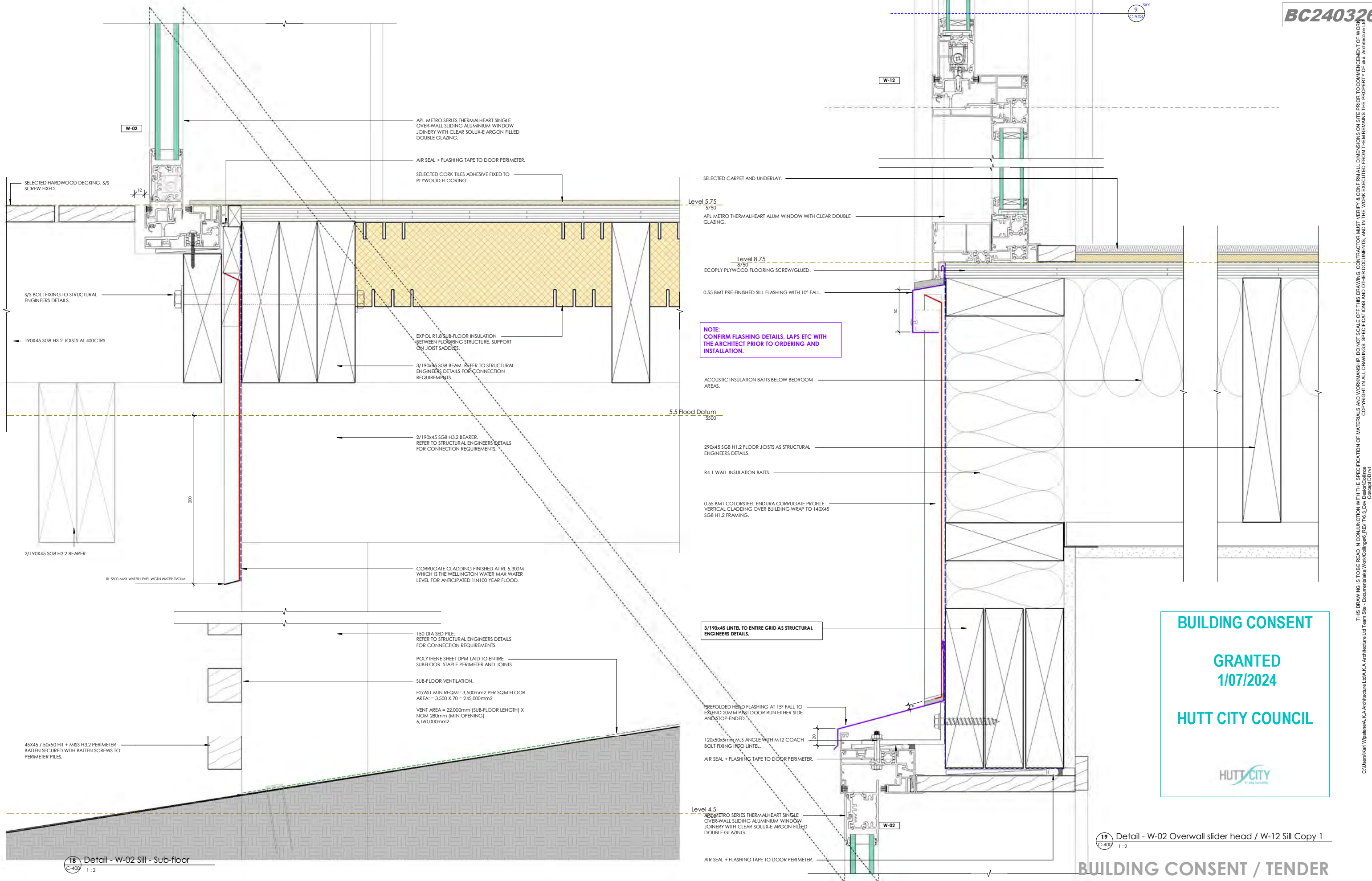


BUILDING CONSENT / TENDER

	A 10 MAY 24 BUILDING CONSENT / TENDER		8 Willoughby Street Woburn Lower Hutt	COLLINGE HOUSE	REV
				Construction Detail - Sheet 7 - W-02 Jamb + Wall Section	C-906 A

1:2 - A1

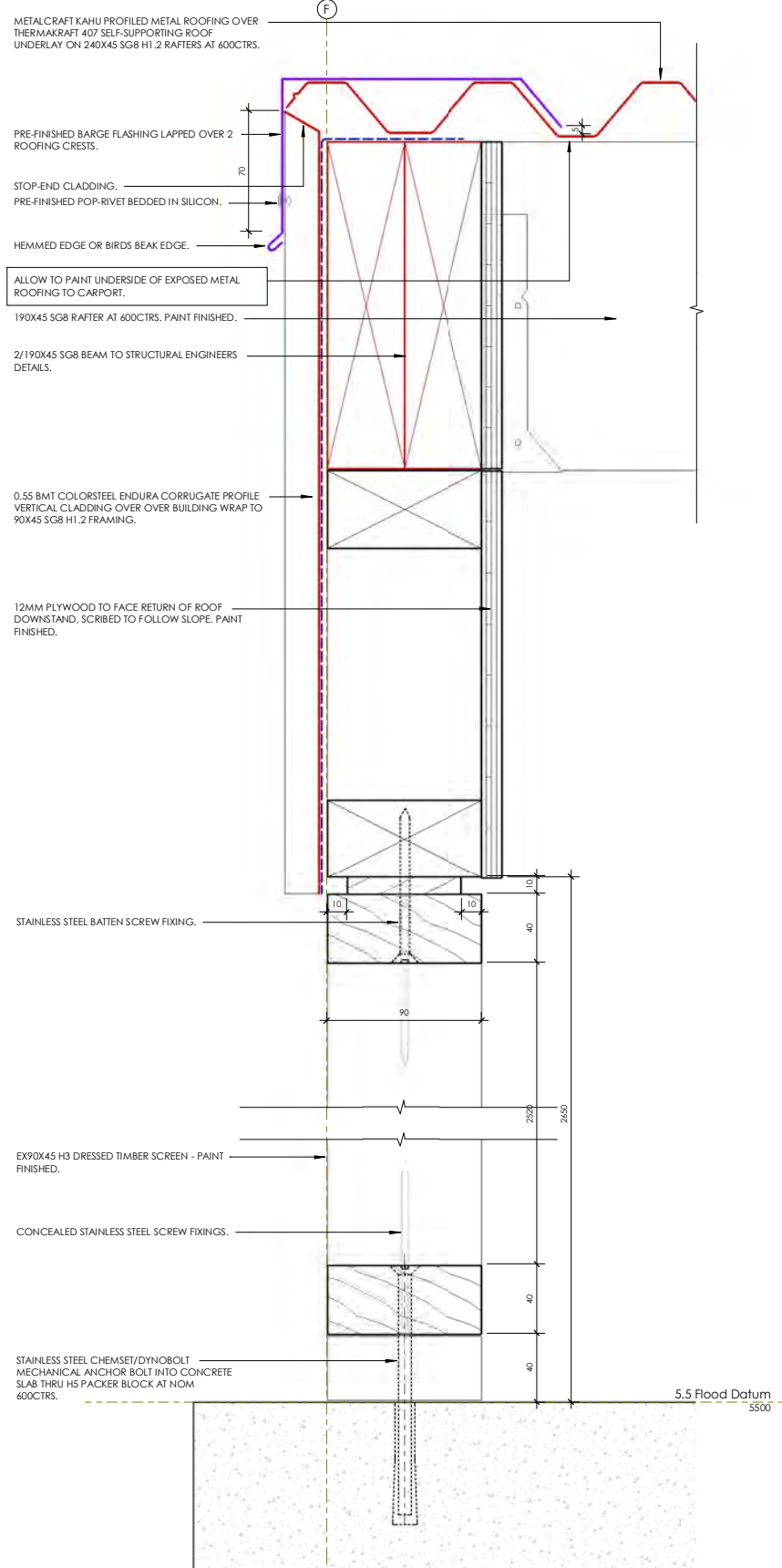
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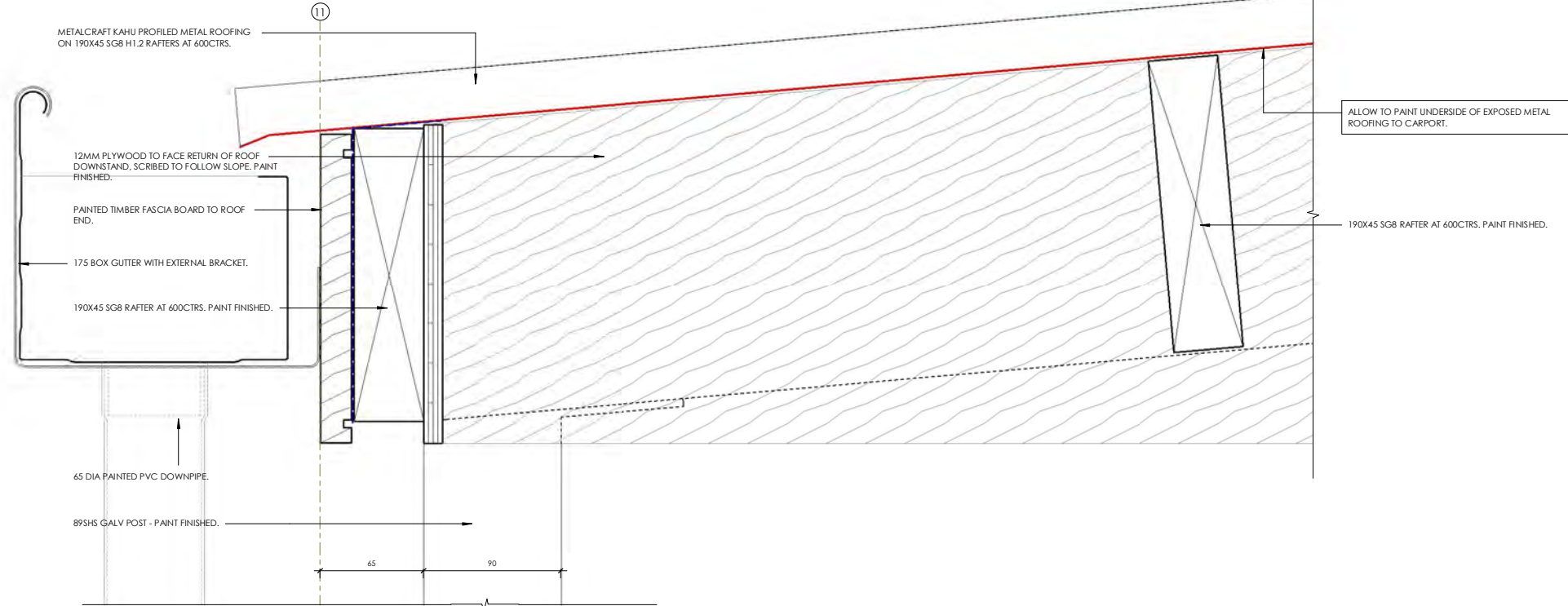
18 Detail - W-02 Sill - Sub-floor

19 Detail - W-02 Overwall slider head / W-12 Sill Copy 1

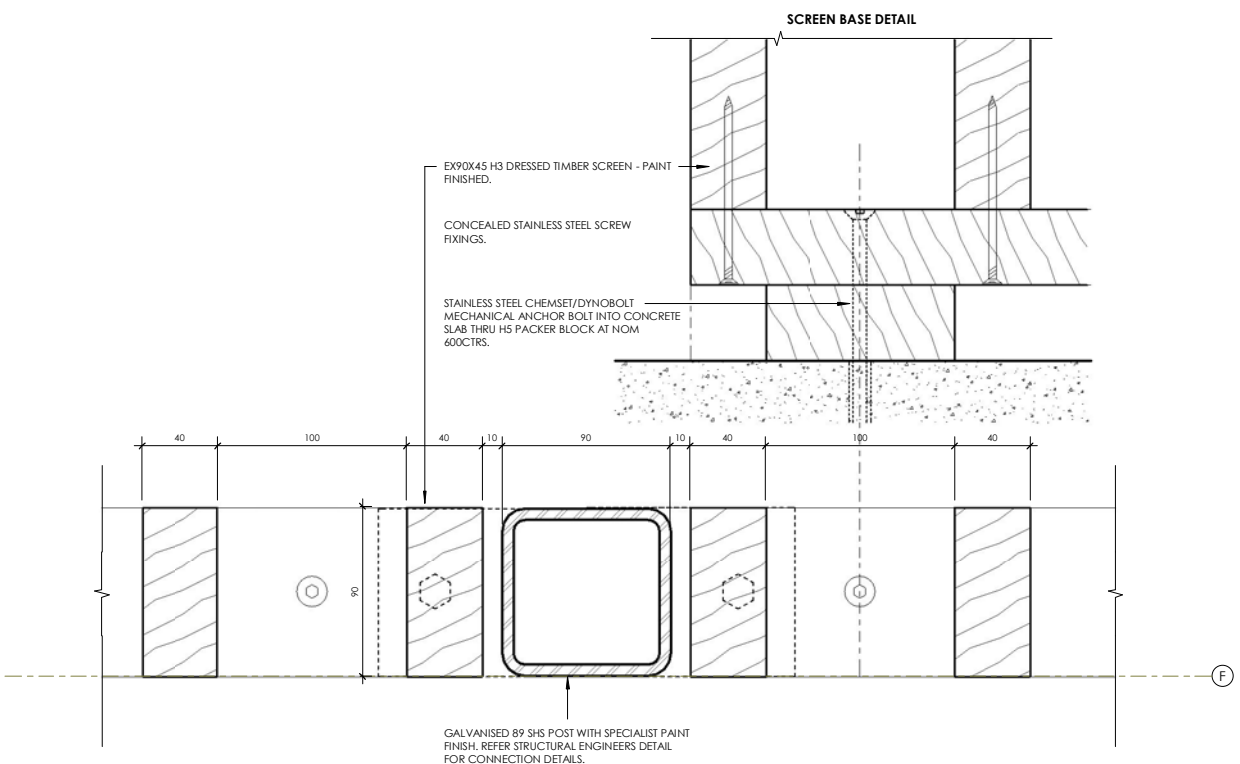
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20 Detail - Carport Screen Section
C-40/ 1:2



21 Detail - Carport Roof Eave
C-40/ 1:2



22 Detail - Carport Screen
C-20/ 1:2

BUILDING CONSENT

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BUILDING CONSENT / TENDER

	A 10 MAY 24 BUILDING CONSENT / TENDER		8 Willoughby Street Woburn Lower Hutt	COLLINGS HOUSE Construction Detail - Sheet 9 - Carport C-908	REV A
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1:2 - A1

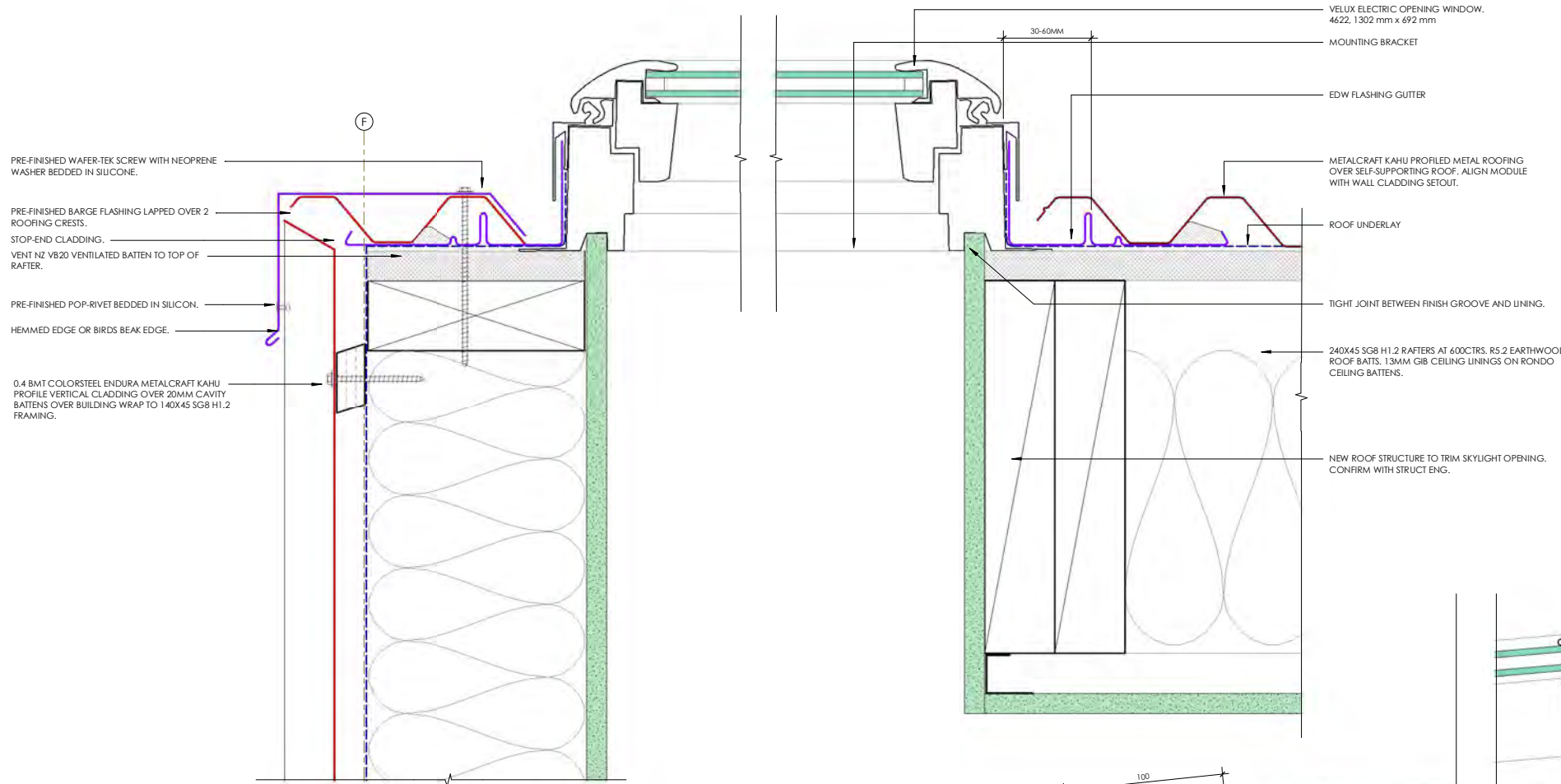
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BUILDING CONSENT

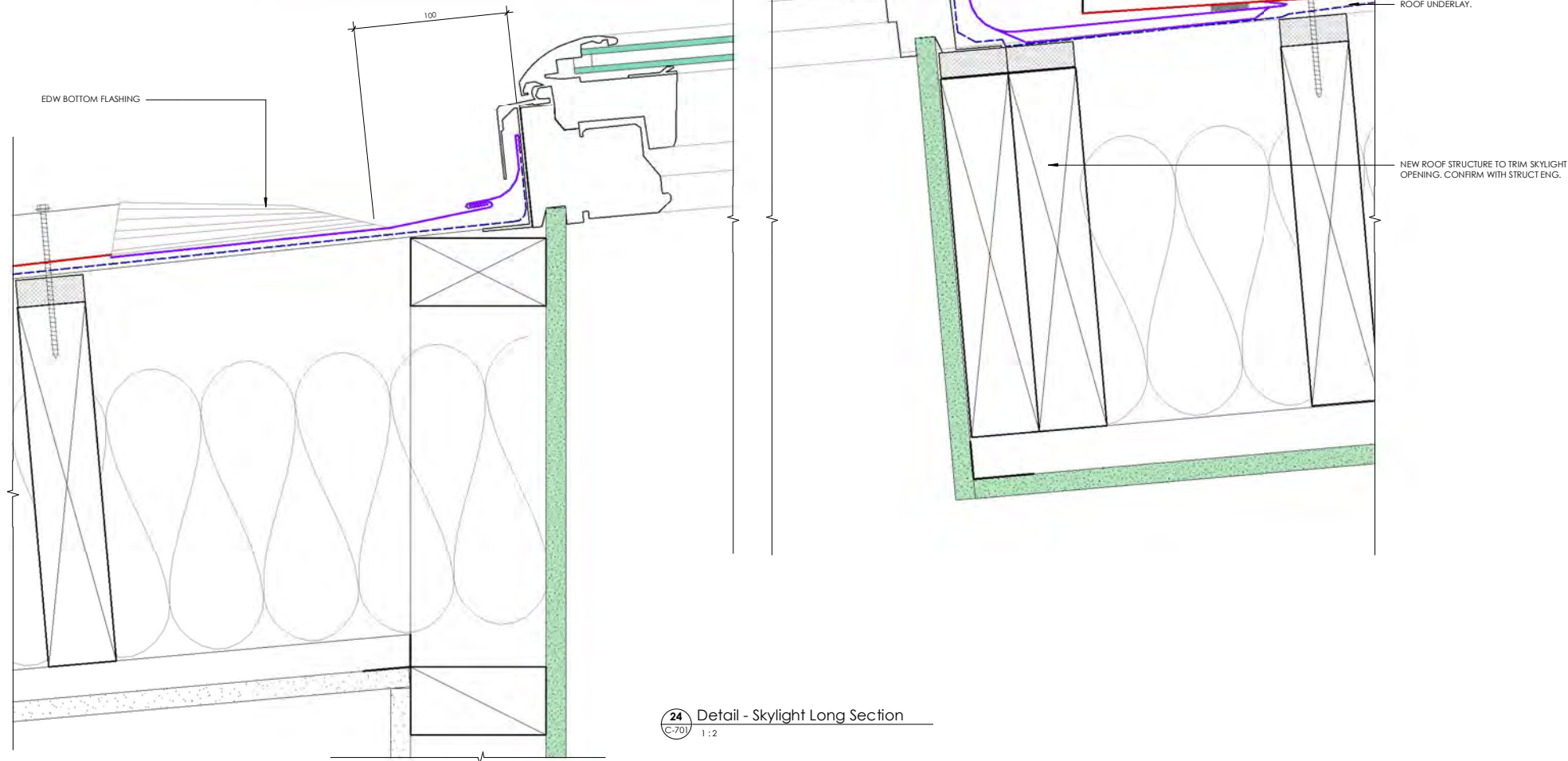
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23 Detail - Skylight Section
C-701 1:2



24 Detail - Skylight Long Section
C-701 1:2

BUILDING CONSENT / TENDER

	A 10 MAY 24	BUILDING CONSENT / TENDER	1:2 - A1	8 Willoughby Street Woburn Lower Hutt	COLLINGS HOUSE	REV
					Construction Detail - Sheet 10 - Skylight	A

C-909

A

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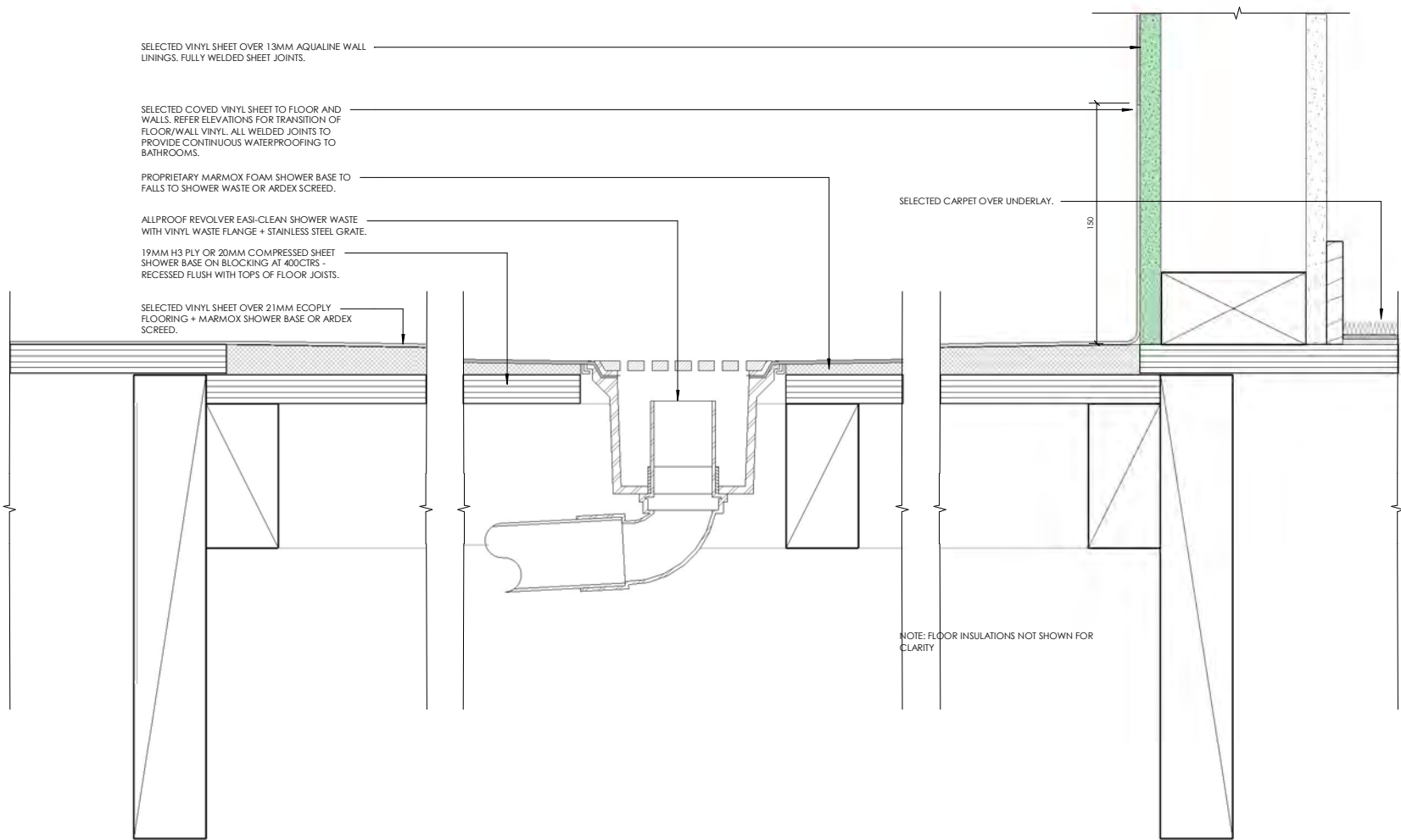
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BUILDING CONSENT

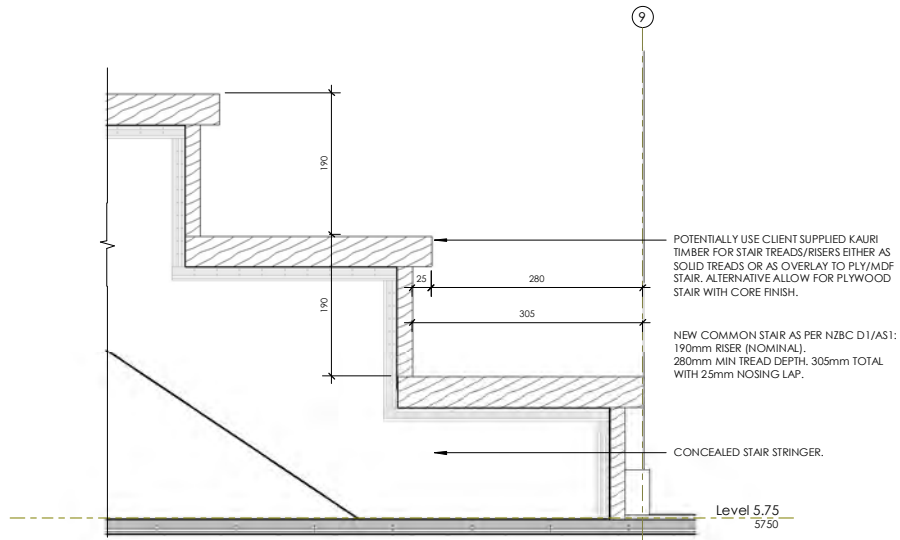
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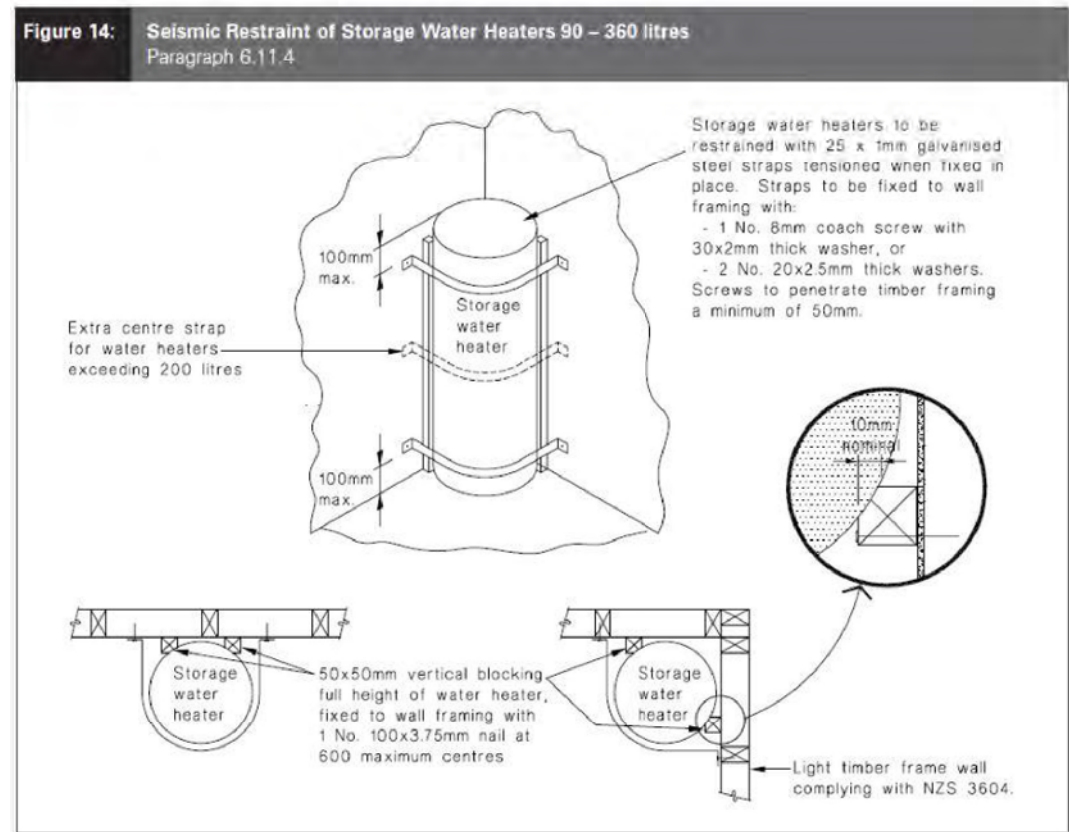
HUTT CITY COUNCIL



25 Shower Base
C-702 1:2



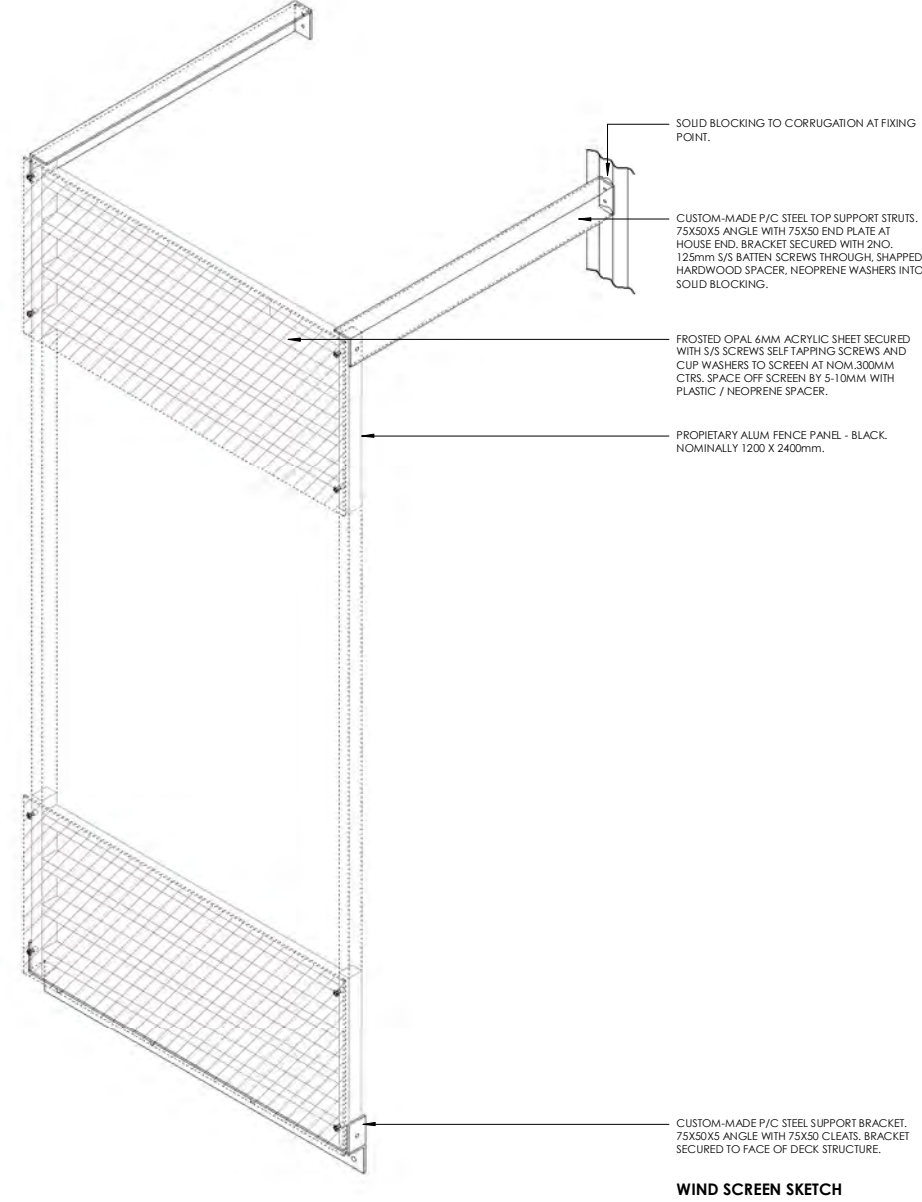
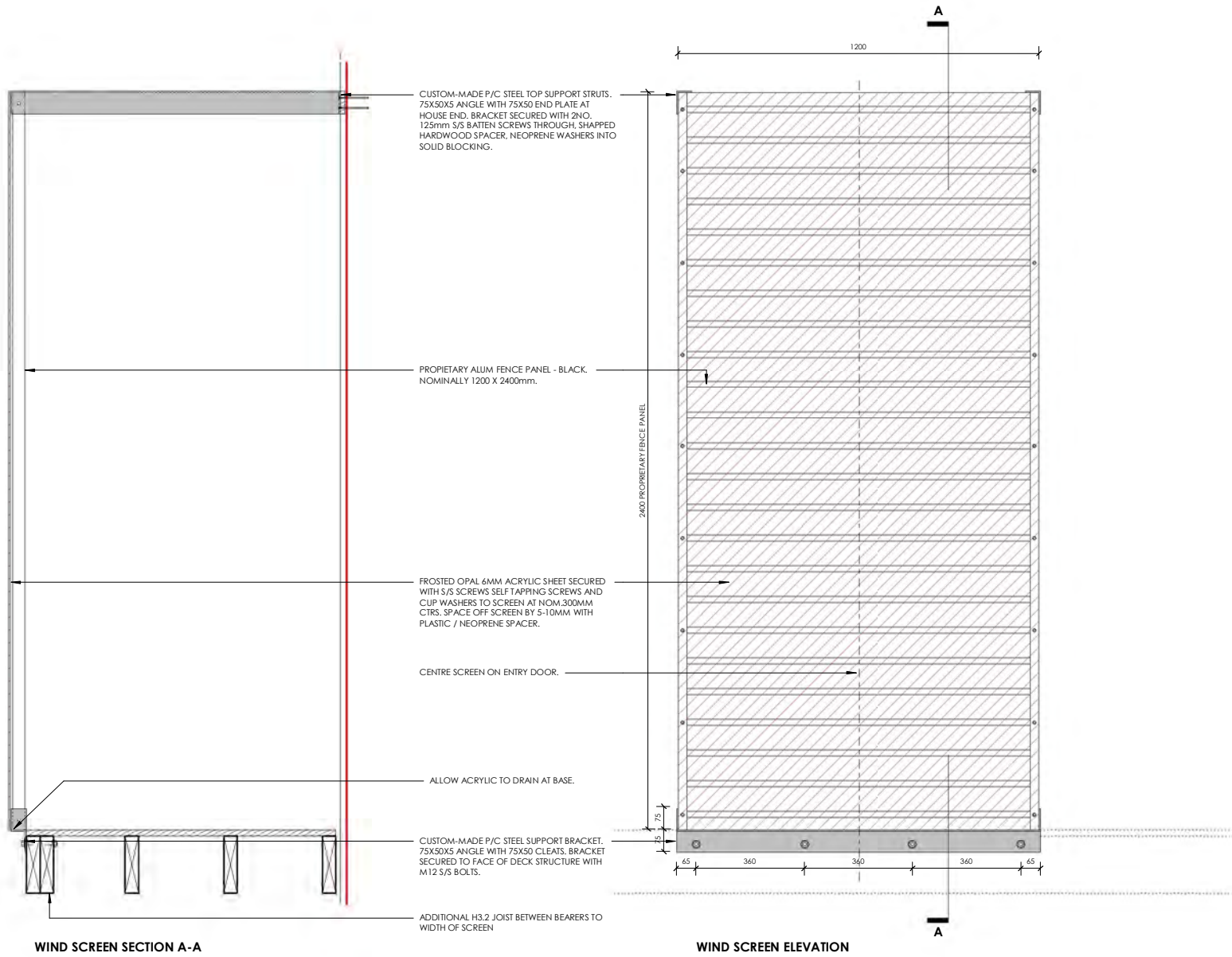
27 Stair Detail
C-401 1:5



26 HWC Seismic Restraint
1:2

BUILDING CONSENT / TENDER

	A 10 MAY 24	BUILDING CONSENT / TENDER	As indicated - A1	8 Willoughby Street Woburn Lower Hutt	COLLINGS HOUSE	REV
					Construction Detail - Sheet 11 - Shower Base / HWC Seismic	A



28 Wind Screen Details
C-401 1:10

BUILDING CONSENT

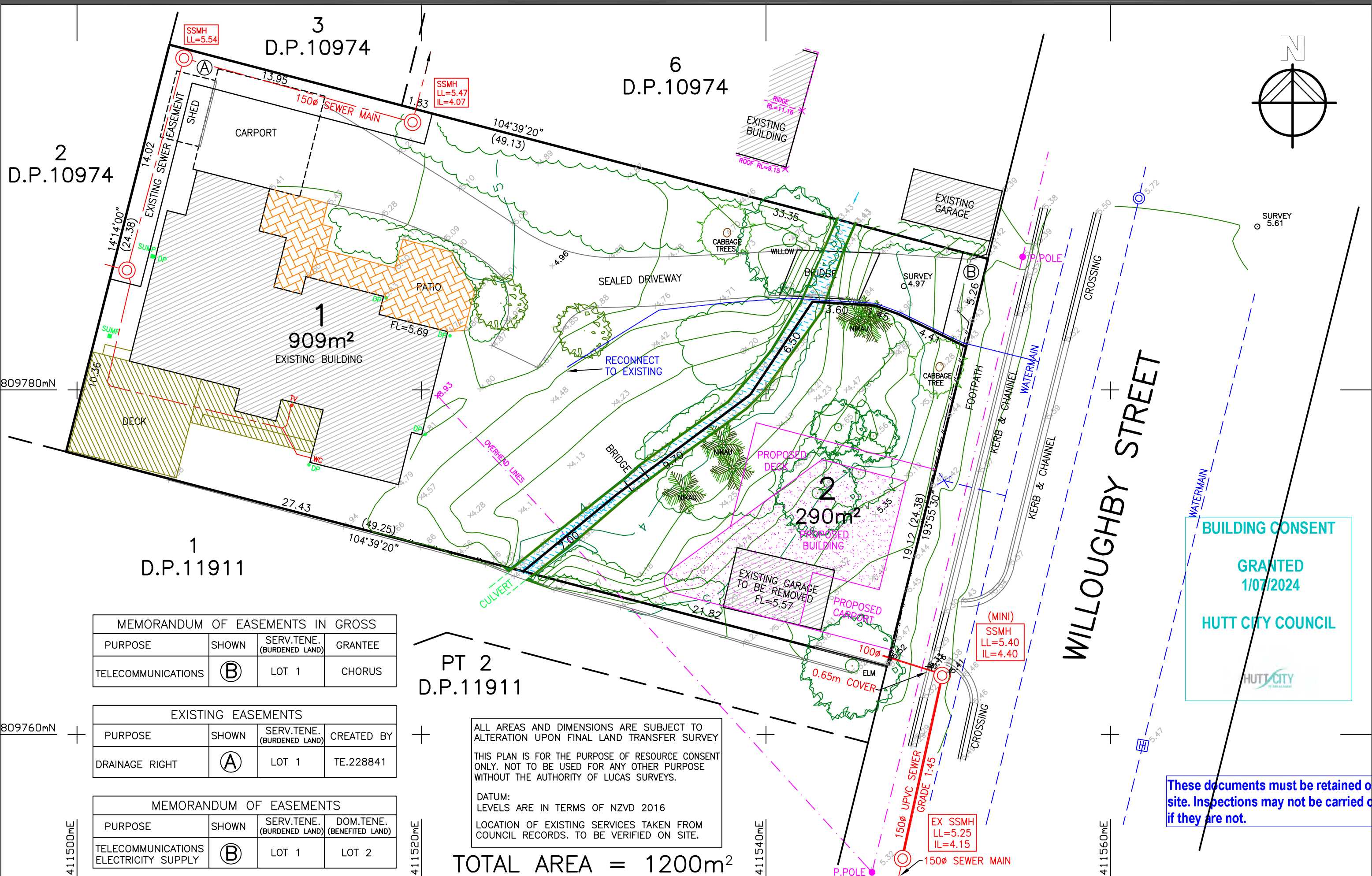
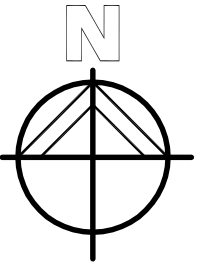
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1/07/2024

HUTT CITY COUNCIL



BUILDING CONSENT / TENDER

	A 10 MAY 24	BUILDING CONSENT / TENDER		8 Willoughby Street Woburn Lower Hutt	COLLINGS HOUSE	REV
					Construction Detail - Sheet 12 - Wind Screen	A



809780mN

809760mN

411500mE

411520mE

411540mE

411560mE

MEMORANDUM OF EASEMENTS IN GROSS			
PURPOSE	SHOWN	SERV.TENE. (BURDENED LAND)	GRANTEE
TELECOMMUNICATIONS	(B)	LOT 1	CHORUS

EXISTING EASEMENTS			
PURPOSE	SHOWN	SERV.TENE. (BURDENED LAND)	CREATED BY
DRAINAGE RIGHT	(A)	LOT 1	TE.228841

MEMORANDUM OF EASEMENTS			
PURPOSE	SHOWN	SERV.TENE. (BURDENED LAND)	DOM.TENE. (BENEFITED LAND)
TELECOMMUNICATIONS ELECTRICITY SUPPLY	(B)	LOT 1	LOT 2

PT 2
D.P.11911

ALL AREAS AND DIMENSIONS ARE SUBJECT TO ALTERATION UPON FINAL LAND TRANSFER SURVEY
THIS PLAN IS FOR THE PURPOSE OF RESOURCE CONSENT ONLY. NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE AUTHORITY OF LUCAS SURVEYS.
DATUM:
LEVELS ARE IN TERMS OF NZVD 2016
LOCATION OF EXISTING SERVICES TAKEN FROM COUNCIL RECORDS. TO BE VERIFIED ON SITE.

TOTAL AREA = 1200m²

BUILDING CONSENT
GRANTED
1/07/2024
HUTT CITY COUNCIL



These documents must be retained on site. Inspections may not be carried out if they are not.

PROPOSED SUBDIVISION OF LOTS 7 & 8 D.P.10974
8-10 WILLOUGHBY STREET, WOBURN, LOWER HUTT
PREPARED FOR : R.H. & V.F. COLLINGE

LUCAS
Land Surveys Ltd

m: 0274 443 657
t: 04 566 0607
e: lucasurv@xtra.co.nz
28 Knights Road
P.O. Box 31-155
Lower Hutt

SCALE 1:200
DATE 12/23
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DRAWING NUMBER
4703SCH
SHEET 1 OF 1 SHEETS

STRUCTURAL DRAWINGS

PROPOSED NEW DWELLING

8 WILLOUGHBY STREET, WOBURN, LOWER HUTT

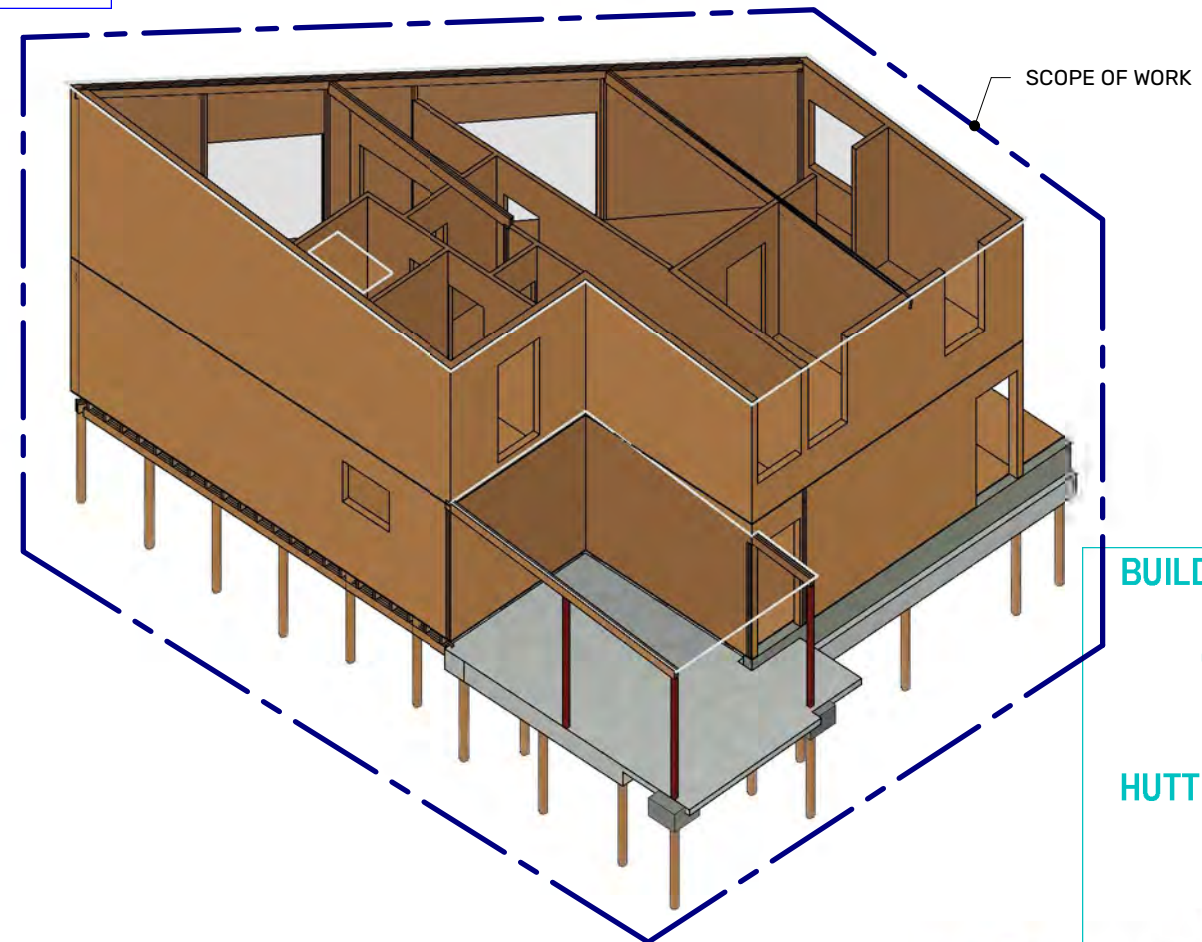
FOR ROSS AND VALERIE COLLINGE

FOR BUILDING CONSENT - 11/05/2024

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JOB No. 23141

DRAWING LIST		
SHEET NO	SHEET NAME	REVISION
S0.1	GENERAL NOTES - SHEET 1	A
S0.2	GENERAL NOTES - SHEET 2	A
S0.3	GENERAL NOTES - SHEET 3	A
S1.1	PILE LAYOUT PLAN	A
S1.2	RETAINING WALL & FOUNDATION PLAN	A
S1.3	GROUND FLOOR STRUCTURAL PLAN	A
S1.4	FIRST FLOOR STRUCTURAL PLAN	A
S1.5	ROOF STRUCTURAL PLAN	A
S1.6	SUBFLOOR BRACING PLAN	A
S1.7	GROUND FLOOR BRACING PLAN	A
S1.8	FIRST FLOOR BRACING PLAN	A
S2.1	FOUNDATION DETAILS - SHEET 1	A
S2.2	FOUNDATION DETAILS - SHEET 2	A
S3.1	CONNECTION DETAILS - SHEET 1	A
S3.2	CONNECTION DETAILS - SHEET 2	A



BUILDING CONSENT

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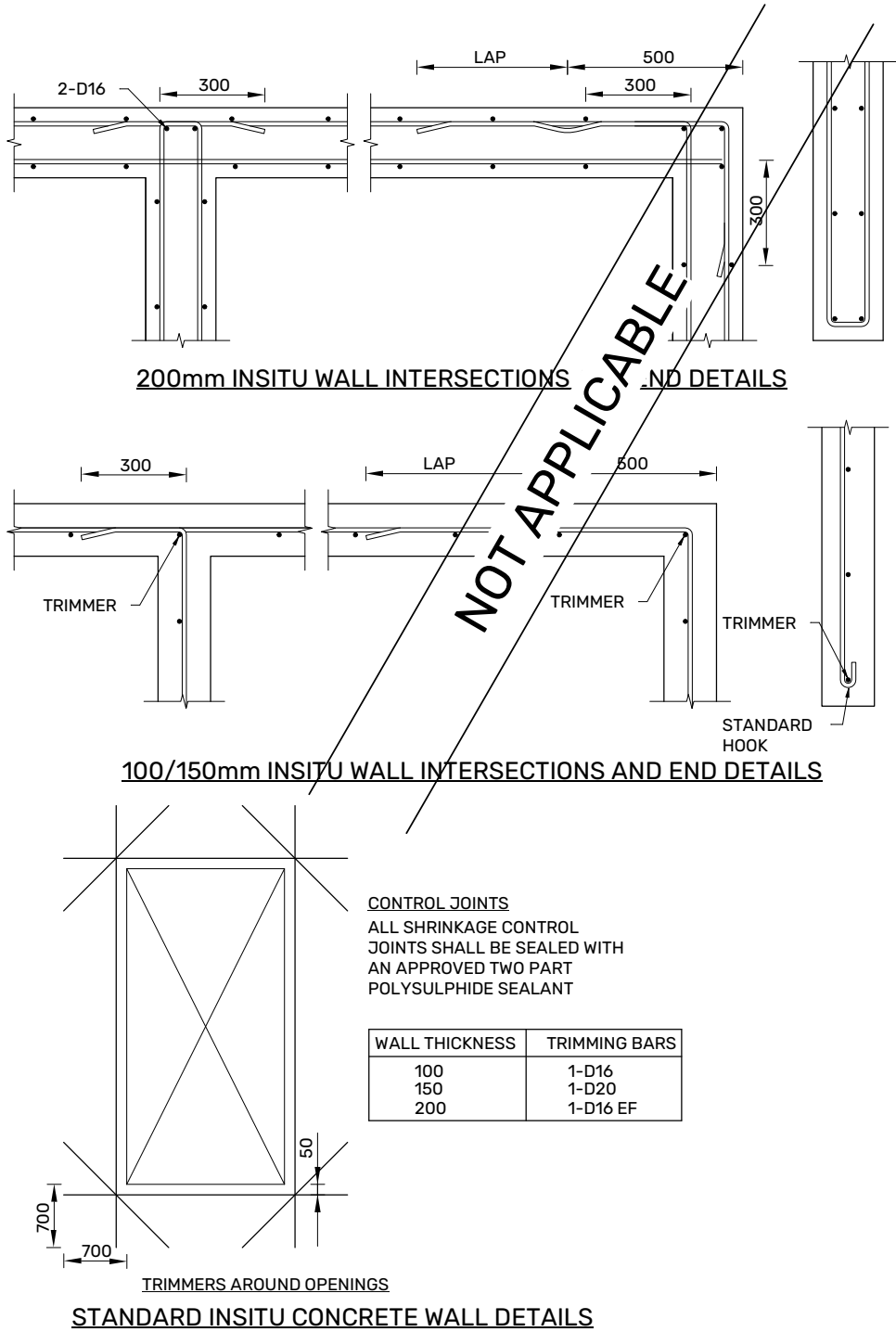
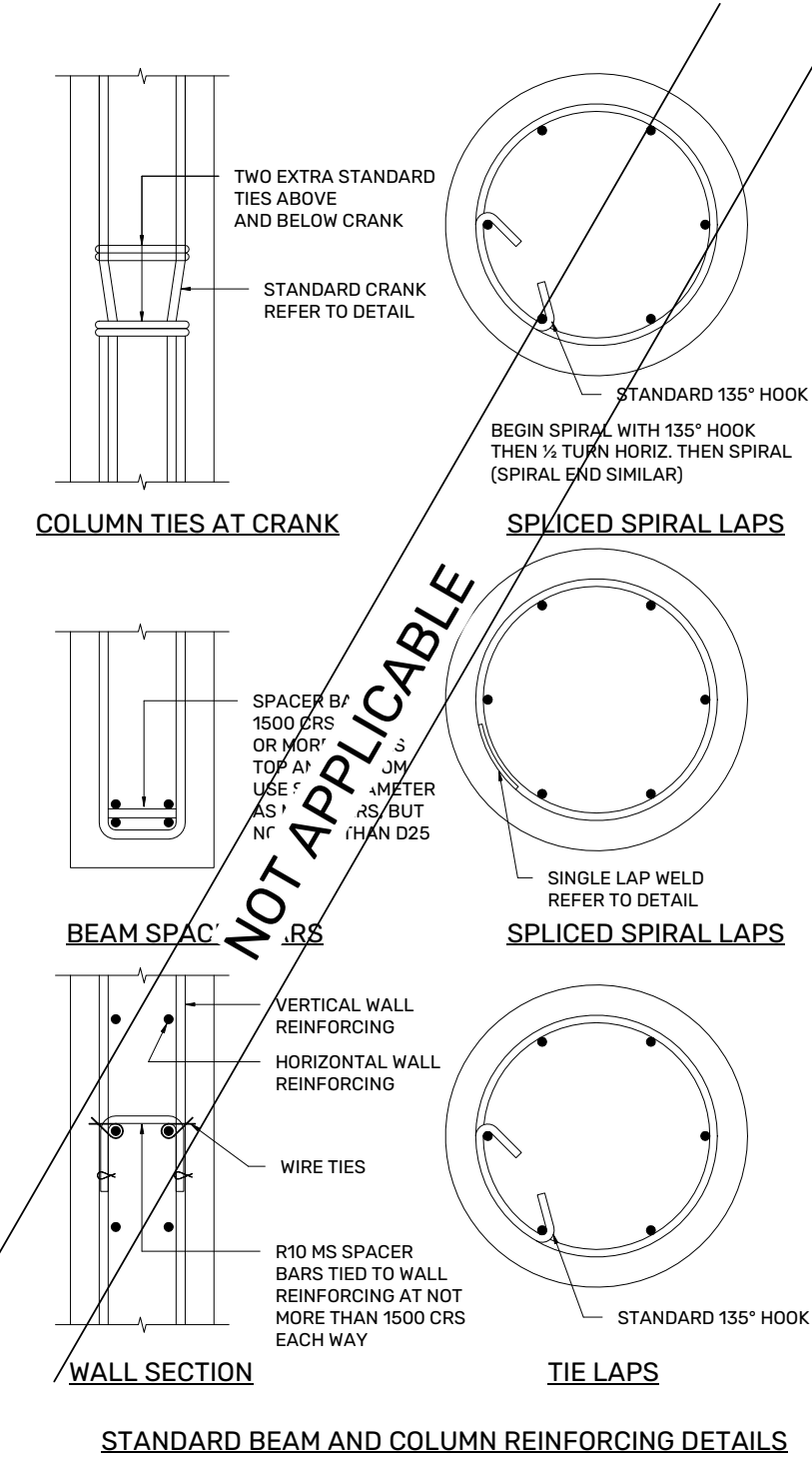


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Wellington, 6141

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www.focussec.co.nz
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MINIMUM CONCRETE COVERS										
UNLESS SHOWN OTHERWISE, MINIMUM COVERS FOR REINFORCING STEEL AND TENDONS SHALL BE AS FOLLOWS. COVER SHALL BE MEASURED TO THE STIRRUPS OR REINFORCEMENT WHICH IS CLOSEST TO THE SURFACE OF THE MEMBER.										
SURFACES OF MEMBERS IN INTERIOR ENVIRONMENTS OR NOT IN GROUND CONTACT & PROTECTED BY DPC										
SPECIFIED COMPRESSIVE STRENGTH $f_{c'}$ (MPa)										
COVER (mm)	17.5	20	25	30	40	50	60	70		
	30	25	25	20	20	20	15	15		
SURFACES OF MEMBERS ABOVE GROUND IN EXTERIOR ENVIRONMENTS										
SPECIFIED COMPRESSIVE STRENGTH $f_{c'}$ (MPa)										
COVER (mm)	17.5	20	25	30	40	50	60	70		
	-	-	50	45	40	35	30	30		
SURFACES OF MEMBERS IN CONTACT WITH THE GROUND										
THE MINIMUM COVER FOR A SURFACE IN CONTACT WITH THE GROUND SHALL BE 75mm. (50mm IF USING A DAMP-PROOF MEMBRANE BETWEEN THE GROUND AND CONCRETE TO BE CAST)										



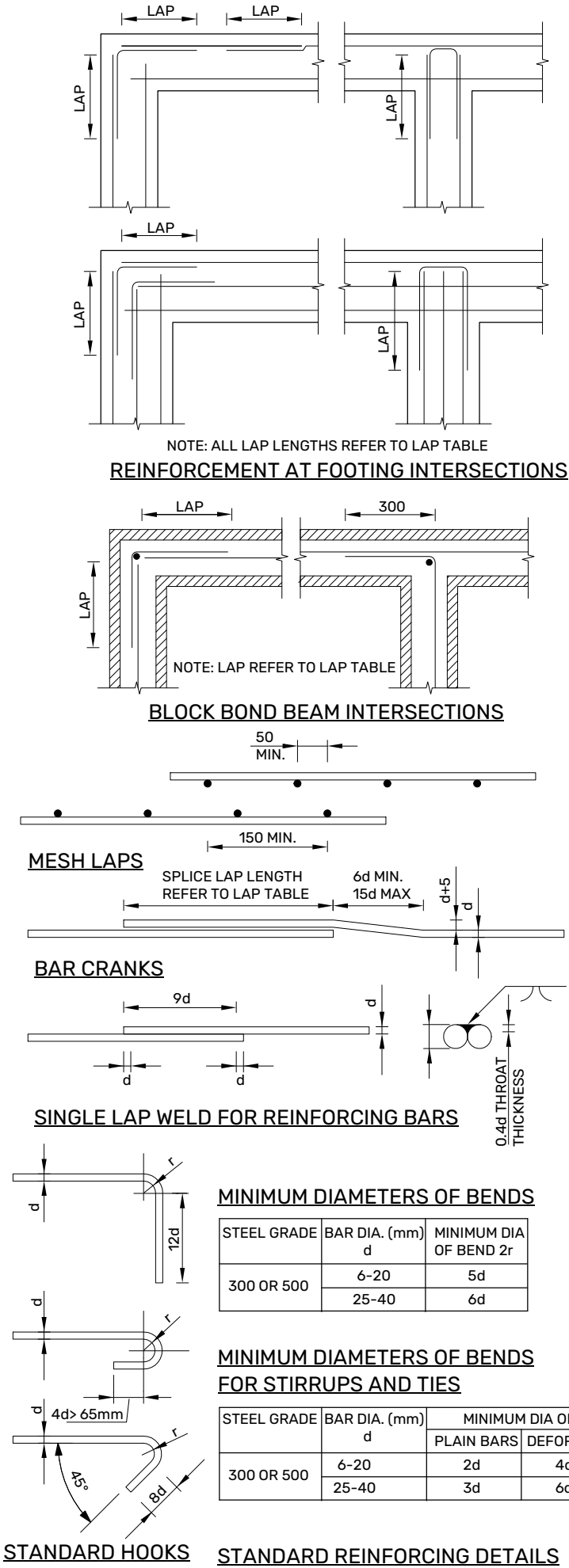
MINIMUM SCREW SHANK DIAMETERS

SCREW SHANK DIAMETER. (mm)	2.74	3.10	3.45	3.81	2.74	4.17	4.52	4.88	5.59	6.30
SCREW GAUGE No.	4	5	6	7	8	9	10	11	12	14

FROM NZS3603:1993

SPLICE LAP LENGTHS FOR DEFORMED BARS FOR 25 MPa CONCRETE

GRADE 300 STEEL		GRADE 500 STEEL	
BAR DESIGNATION	LAP LENGTH	BAR DESIGNATION	LAP LENGTH
D10	400	HD10	650
D12	500	HD12	800
D16	650	HD16	1050
D20	800	HD20	1300
D25	1000	HD25	1650
D32	1250	HD32	2100



BC240326

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NOTE

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2. ALL WORK AND MATERIAL TO COMPLY WITH THE NEW ZEALAND BUILDING CODE
3. ALL DIMENSIONS IN mm. DO NOT SCALE THE DRAWING. USE STATED DIMENSION ONLY
4. NEW FOUNDATION TO BE FOUNDED ON "GOOD GROUND" ACCORDING TO NZS3604 CONFIRM ON SITE

BUILDING CONSENT

GRANTED
1/07/2024

HUTT CITY COUNCIL



A BUILDING CONSENT 11-05-24

Revision Schedule

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Designed YN
Drawn AL
Checked DL
Approved DL

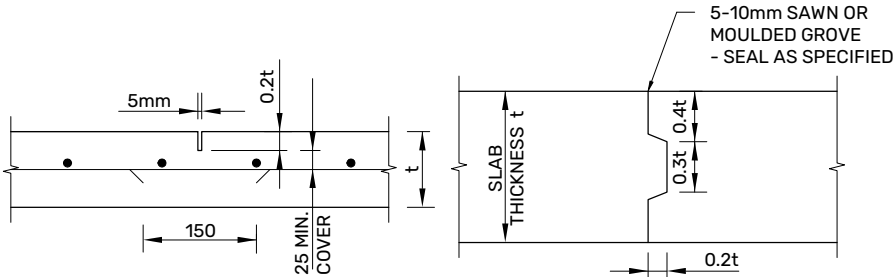
Client
ROSS AND VALERIE
COLLIDGE

Project
PROPOSED NEW DWELLING
8 WILLOUGHBY STREET,
WOBURN, LOWER HUTT

Drawing Title
GENERAL NOTES - SHEET 1

Job No. 23141	Sheet
Date MAY 24	S0.1
Scale 1:100	Issue A A3

FLOOR SLAB JOINTS - SLABS ON GROUND ONLY



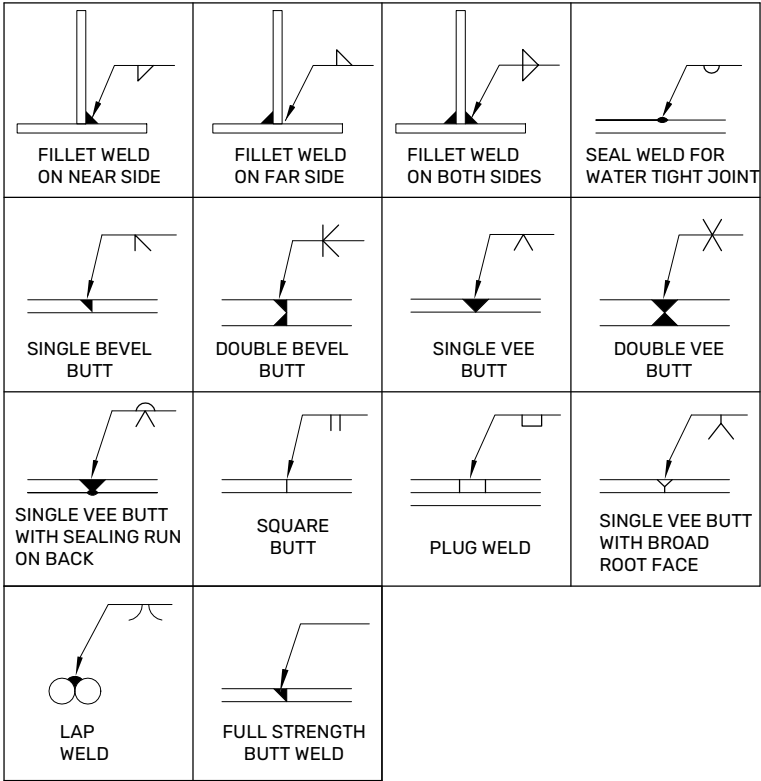
CUT EVERY ALTERNATE STRAND OF MESH. SEAL SAW CUT AS PER SPECIFICATION.

CARRY SLAB STEEL ACROSS CONSTRUCTION JOINT FOR REINFORCED SLABS.

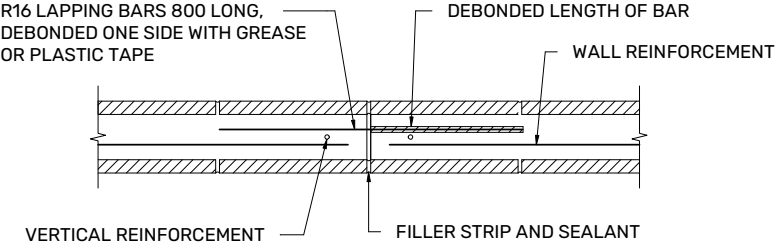
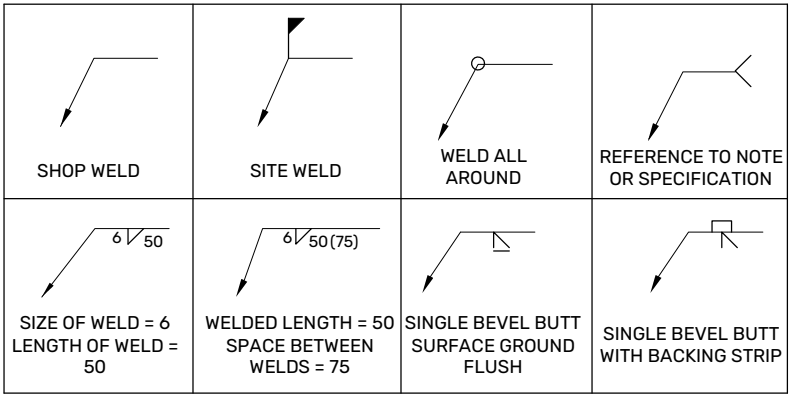
SLAB CONTROL JOINTS

SLAB CONSTRUCTION JOINTS

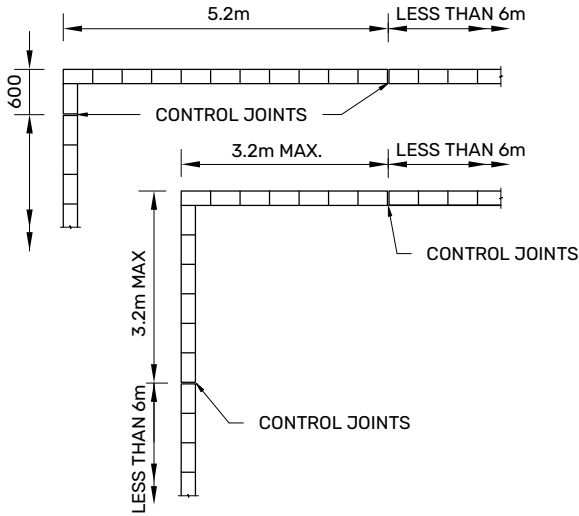
STANDARD WELD SYMBOLS



SUPPLEMENTARY SYMBOLS



BLOCK CONTROL JOINT - PLAN



LOCATION OF BLOCKWALL CONTROL JOINTS FOR SHRINKAGE

STANDARD ABBREVIATIONS:			
ALTERNATE	ALT	MILD STEEL	MS
BOTTOM	B	NEAR FACE	NF
CENTRAL	C	NOT TO SCALE	NTS
CENTRES	CRS	NUMBER	NO
CENTRE LINE	CL	OUTSIDE DIAMETER	OD
CENTRE TO CENTRE	C/C	OVERALL	O/A
CHECK ON SITE	COS	PAIRS	PRS
COACH BOLT	CB	PITCH CIRCLE DIAMETER	PCD
COACH SCREW	CS	PLATE	PL
COLUMN	COL	PLAIN ROUND BAR	R
CONCRETE	CONC	PRECAST CONCRETE	PC
CONSTRUCTION JOINT	CJ	PRESTRESSED CONCRETE	PSC
DAMP PROOF COURSE	DPC	RADIUS	RAD
DEFORMED BAR	D	REDUCED LEVEL	RL
DIAMETER	DIA	REINFORCED CONCRETE	RC
DRAWING	DWG	REINFORCEMENT	REINF
EACH FACE	EF	SMALL END DIAMETER	SED
EACH WAY	EW	STARTER	STA
FAR FACE	FF	STAINLESS STEEL	SS
FORMATION LEVEL	FL	STIRRUP	STRP
FINISHED FLOOR LEVEL	FFL	STRAIGHT	STR
FILLET WELD	FW	STRUCTURAL (SLAB) LEVEL	SL
GALVANISED	GALV	SQUARE	SQ
GROUND LEVEL	GL	TOP	T
HEXAGON	HEX	TO BE CONFIRMED	TBC
HIGH TENSILE	H	TRIMMER	TRM
HOLDING DOWN (BOLTS)	HD	VERTICAL	VERT
HORIZONTAL	HORIZ		
HIGH STRENGTH		REINFORCEMENT LAYERS	
FRICTION GRIP	HSFG	TOP TOP	TT
INSIDE DIAMETER	ID	TOP BOTTOM	TB
INVERT LEVEL	IL	BOTTOM TOP	BT
LAP AT RANDOM	LAR	BOTTOM BOTTOM	BB
ISO METRIC BOLT	M		

REINFORCING

D12-250 DENOTES 12MM DIA MS (GRADE 300 MPa) DEFORMED BARS AT 250 C/C.
R10-250 DENOTES 10MM DIA MS (GRADE 300 MPa) PLAIN BARS AT 250 C/C.
HD12-150 DENOTES 12MM DIA HIGH YIELD (GRADE 500 MPa) DEFORMED BARS AT 150 C/C.
HR10-150 DENOTES 10MM DIA HIGH YIELD (GRADE 500 MPa) PLAIN BARS AT 150 C/C.

STEEL SECTIONS

DESCRIPTION	ABBREVIATION	SYMBOL
ROLLED STEEL JOIST	RSJ	
NARROW FLANGE BEAM	NFB	
TAPER FLANGE BEAM	TFB	
UNIVERSAL COLUMN	UC	
UNIVERSAL BEAM	UB	
CHANNEL	PFC	
ANGLE	EA/UA	
TEE		
RECTANGULAR (INCLUDING SQUARE) HOLLOW SECTION	RHS	
CIRCULAR HOLLOW SECTION	CHS	

BOLTS & WASHERS FOR TIMBER

MAX BOLT SIZE	MIN. WASHER SIZE
8mm	25mm x 25mm x 1.5mm
10mm	40mm x 40mm x 3mm
12mm	50mm x 50mm x 3mm
16mm	64mm x 64mm x 5mm
20mm	75mm x 75mm x 6mm

PROVIDED THAT IF ROUND WASHERS ARE USED THEY SHALL BE OF A THICKNESS AND AREA NOT LESS THAN THOSE SPECIFIED ABOVE FOR THE EQUIVALENT SQUARE WASHER.

INSPECTIONS

THE ENGINEER IS TO BE ADVISED 48 HOURS BEFORE INSPECTION NEEDED.
ENGINEER TO INSPECT ALL STRUCTURAL CONCRETE WORK BEFORE POURING.

INSPECTION INCLUDE:

COMPLETION OF EXCAVATION & BACKFILLING
PREPARATION OF FOUNDATIONS
PREPARATION OF BLOCK REINFORCEMENT
PREPARATION OF STRUCTURAL TIMBER
PREPARATION OF STEEL STRUCTURE BEFORE CLOSE IN

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CONFIRM ON SITE

A	BUILDING CONSENT	11-05-24
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Revision Schedule

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Designed	YN
Drawn	AL
Checked	DL
Approved	DL

Client
ROSS AND VALERIE COLLINGE

Project
PROPOSED NEW DWELLING
8 WILLOUGHBY STREET,
WOBURN, LOWER HUTT

Drawing Title
GENERAL NOTES - SHEET 2

Job No. 23141	Sheet
Date MAY 24	S0.2
Scale 1:100	Issue A
	A3

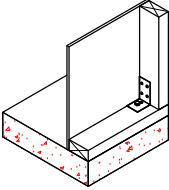
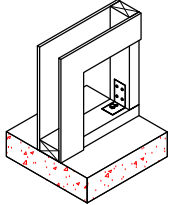
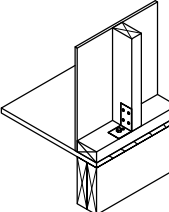
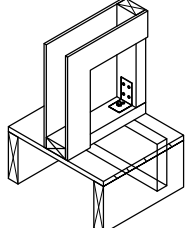
1.0 TABLE 1: GIB STANDARD PLASTERBOARD BRACING UNIT RATINGS

TYPE	LINING	OTHER REQUIREMENT
GS1-N	GIB STANDARD PLASTERBOARD ONE SIDE	N/A
GS2-N	GIB STANDARD PLASTERBOARD BOTH SIDES	N/A
GSP-H	GIB STANDARD PLASTERBOARD ONE SIDE	N/A

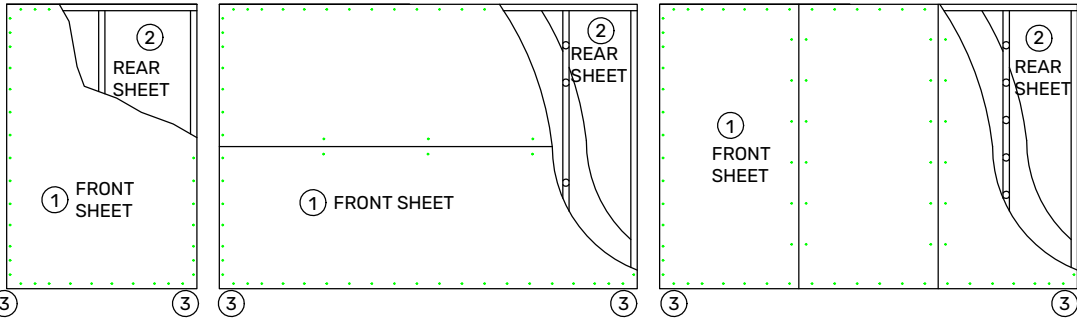
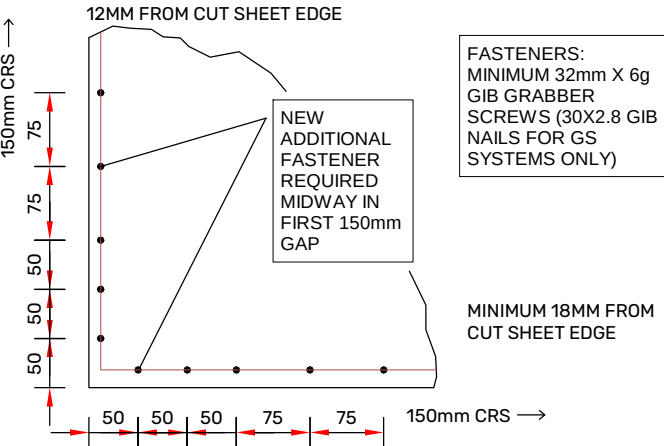
2.0 TABLE 2: GIB BRACELINE BRACING UNIT RATINGS

TYPE	LINING	OTHER REQUIREMENT
BL1-H	GIB BRACELINE ONE SIDE	PANEL HOLD-DOWN FIXINGS
BLG-H	GIB BRACELINE ONE SIDE GIB STANDARD PLASTERBOARD THE OTHER	PANEL HOLD-DOWN FIXINGS
BLP-H	GIB BRACELINE ONE SIDE PLYWOOD THE OTHER	PANEL HOLD-DOWN FIXINGS

3.0 HOLD-DOWN FIXING DETAIL: GIB HANDIBRAC

CONCRETE FLOOR	
EXTERNAL WALLS	INTERNAL WALLS
	
POSITION GIB HANDIBRAC AS CLOSE AS PRACTICABLE TO THE INTERNAL EDGE OF THE BOTTOM PLATE	POSITION GIB HANDIBRAC AT THE STUD/PLATE JUNCTION
TIMBER FLOOR	
EXTERNAL WALLS	INTERNAL WALLS
	
POSITION GIB HANDIBRAC AS CLOSE AS PRACTICABLE TO THE INTERNAL EDGE OF THE BOTTOM PLATE	POSITION GIB HANDIBRAC AT THE STUD/PLATE JUNCTION

4.0 GIB EZYBRACE 2011 FASTENER PATTERN

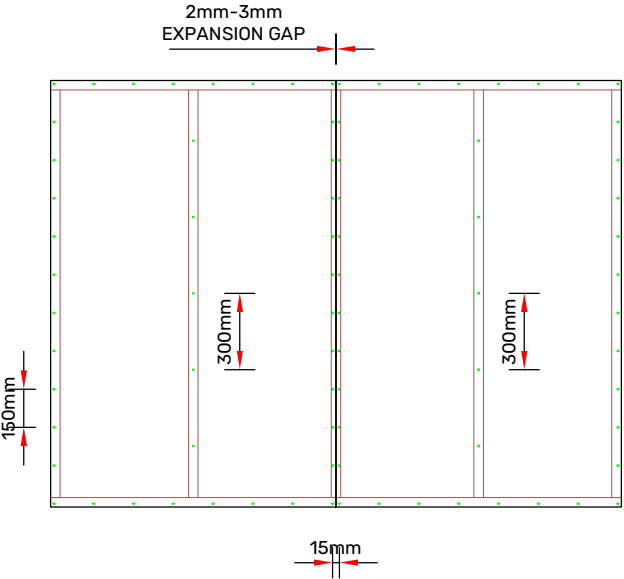


SYSTEM	LINING ONE SIDE ①		LINING OPPOSITE SIDE ②		PANEL HOLD-DOWN FIXING ③	FASTENER SPACING
	LINING	FASTENERS	LINING	FASTENERS		
GS1-N	ANY 10mm OR 13mm GIB PLASTER BOARD	30mm GIB NAILS, OR MINIMUM 32mm X 6g GIB GRABBER HIGH THREAD SCREWS	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	GIB PLASTERBOARD CORNER FASTENING PATTERN AS ILLUSTRATED ABOVE FASTENERS AT 150mm TO BRACING ELEMENT PERIMETER, AND: * AT 300mm CENTRES TO INTERMEDIATE SHEET JOINTS FOR VERTICAL FIXING, OR * AT STUD/SHEET JUNCTION FOR HORIZONTALLY FIXED ELEMENTS, AND * GIBFIX ADHESIVE DAUBS AT 300mm CRS TO INTERMEDIATE FRAMING
GS2-N			ANY 10mm OR 13mm GIB PLASTER BOARD	30mm GIB NAILS, OR MINIMUM 32mm X 6g GIB GRABBER HIGH THREAD SCREWS		
GSP-H			MINIMUM 7mm ECOPLY MANUFACTURED TO AS/NZS 2269	50mmX2.8mm FLAT HEAD GALVANISED OR STAINLESS STEEL NAILS	REFER TO 3.0 HOLD-DOWN FIXING DETAIL: GIB HANDIBRAC	PLYWOOD FASTENERS AT 150mm AROUND THE PERIMETER OF EVERY SHEET AND AT 300mm CENTRES TO INTERMEDIATE STUDS. PLACE FASTENERS NO CLOSER THAN 7mm FROM SHEET EDGES. PLASTERBOARD CORNER FASTENER PATTERN DOES NOT APPLY TO PLYWOOD.
BL1-H	10mm OR 13mm GIB BRACELINE	MINIMUM 32mm X 6g GIB GRABBER HIGH THREAD SCREWS GIB BRACELINE NAILS MAY BE USED FOR 10mm GIB BRACELINE ONLY	NOT REQUIRED	NOT REQUIRED		
BLG-H			ANY 10mm OR 13mm GIB PLASTERBOARD	30mm GIB NAILS, OR MINIMUM 32mm X 6g GIB GRABBER HIGH THREAD SCREWS		
BLP-H			MINIMUM 7mm ECOPLY MANUFACTURED TO AS/NZS 2269	50mmX2.8mm FLAT HEAD GALVANISED OR STAINLESS STEEL NAILS		

5.0 ECOPLY BARRIER BRACING

SPECIFICATION NO.	LINING REQUIREMENT	HOLD DOWN	FASTENERS	FASTENING CENTRES
EP1 EPB1	ECOPLY BARRIER ONE SIDE	GIB HANDIBRAC	50X2.8mm HOT DIP GALVANISED OR STAINLESS STEEL FLAT HEAD NAILS. PLACE FASTENERS NO LESS THAN 7mm FROM SHEET EDGES.	150mm CENTRES AROUND THE PERIMETER OF EACH SHEET AND 300mm CENTRES TO INTERMEDIATE STUDS. WHERE MORE THAN ONE SHEET FORMS THE BRACE ELEMENT EACH SHEET MUST BE NAILS OF INDEPENDENTLY
EPBS	ECOPLY BARRIER ONE SIDE	NOT REQUIRED	50X2.8mm HOT DIP GALVANISED OR STAINLESS STEEL FLAT HEAD NAILS. PLACE FASTENERS NO LESS THAN 7mm FROM SHEET EDGES.	150mm CENTRES AROUND THE PERIMETER OF EACH SHEET AND 300mm CENTRES TO INTERMEDIATE STUDS. WHERE MORE THAN ONE SHEET FORMS THE BRACE ELEMENT EACH SHEET MUST BE NAILS OF INDEPENDENTLY
EPBG EPG	ONE LAYER OF 7mm ECOPLY BARRIER EXTERIOR WALL ONE SIDE ONE LAYER OF 10MM OR 13mm GIB STANDARD PLASTERBOARD OTHER SIDE	GIB HANDIBRAC	50X2.8mm HOT DIP GALVANISED OR STAINLESS STEEL FLAT HEAD NAILS. PLACE FASTENERS NO LESS THAN 7mm FROM SHEET EDGES.	150mm CENTRES AROUND THE PERIMETER OF EACH SHEET AND 300mm CENTRES TO INTERMEDIATE STUDS. WHERE MORE THAN ONE SHEET FORMS THE BRACE ELEMENT EACH SHEET MUST BE NAILS OF INDEPENDENTLY

6.0 FASTENER SPACING FOR ECOPLY



NOTE
INFORMATION SHOULD BE READ IN CONJUNCTION WITH
* GIB EZYBRACE SYSTEMS AUGUST 2016 AND
* ECOPLY SPECIFICATION AND INSTALLATION GUIDE DECEMBER 2023 AND
* ECOPLY STRUCTURAL RIGID AIR BARRIER SPECIFICATION AND INSTALLATION GUIDE SEPTEMBER 2020
* ELEPHANT PLASTERBOARD INSTALLATION GUIDE AUGUST 2015

EQUIVALENT BRACING SHEETS	
SPECIFIED	ALTERNATIVE
GIB	ELEPHANT PLASTERBOARD
GS1-N	ES-N
GS2-N	ESSN
GSP-N	ESPN
BL1-H	EM-H
BLG-H	EMSH
BLP-H	EMPH

BUILDING CONSENT

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1/07/2024

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A BUILDING CONSENT 11-05-24

Revision Schedule



Designed YN
Drawn AL
Checked DL
Approved DL

Client
ROSS AND VALERIE COLLINGE

Project
PROPOSED NEW DWELLING
8 WILLOUGHBY STREET,
WOBURN, LOWER HUTT

Drawing Title
GENERAL NOTES - SHEET 3

Job No. 23141 Sheet
Date MAY 24 S0.3
Scale 1:100 Issue A A3

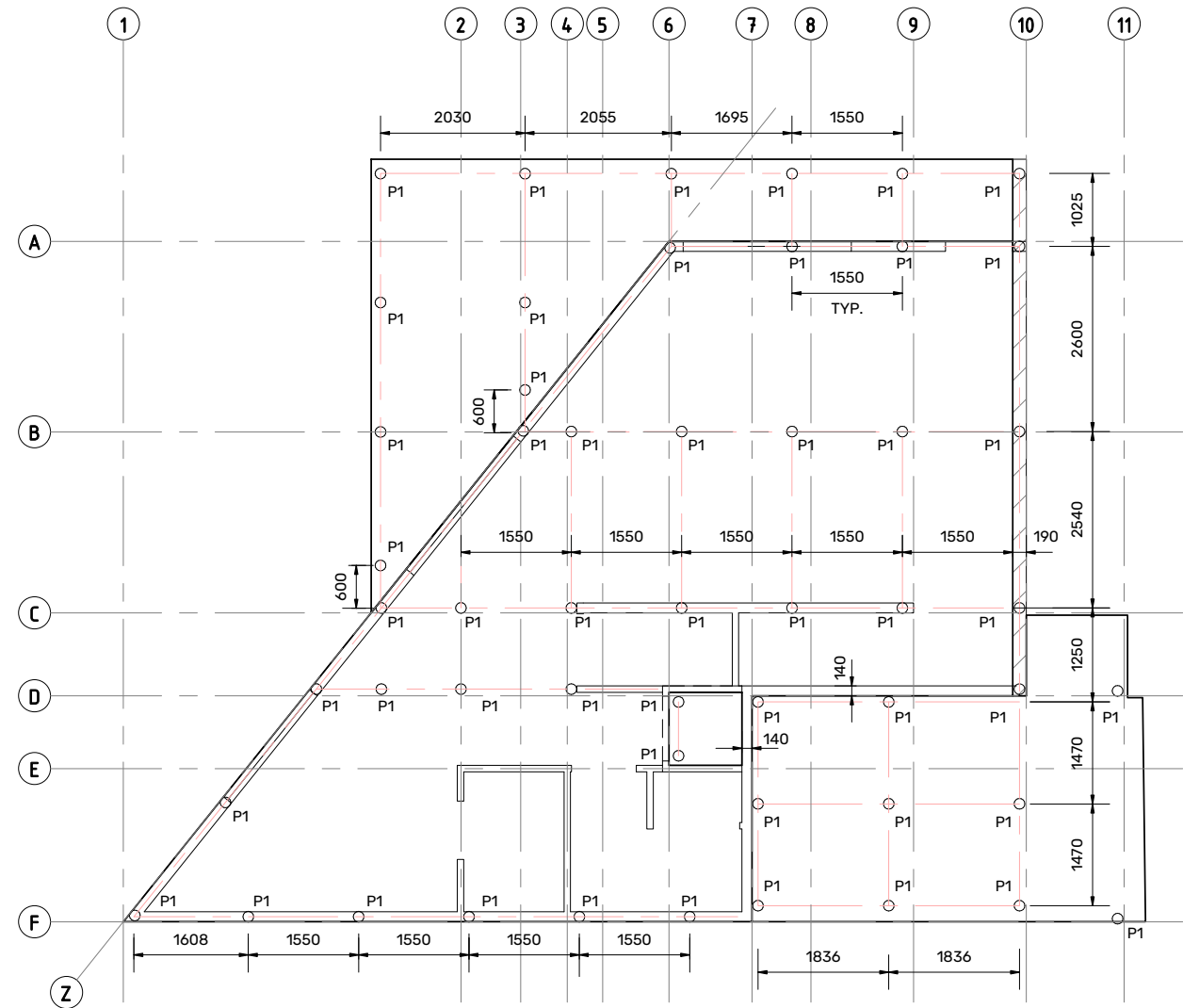


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CONFIRM ON SITE



PILE LAYOUT PLAN

SCALE: 1:100

FOOTING SCHEDULE

P1 - Ø150 SED TIMBER DRIVEN PILE,
60kN AT ULTIMATE LIMIT STATE (ULS)

BUILDING CONSENT

GRANTED
1/07/2024

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Designed	YN
Drawn	AL
Checked	DL
Approved	DL

Client
ROSS AND VALERIE
COLLINGE

Project
PROPOSED NEW DWELLING
8 WILLOUGHBY STREET,
WOBURN, LOWER HUTT

Drawing Title
PILE LAYOUT PLAN

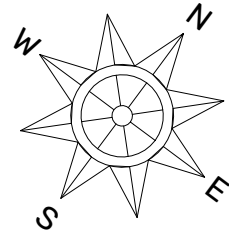
Job No. 23141	Sheet
Date MAY 24	S1.1
Scale 1:100	Issue A
	A3

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BUILDING CONSENT

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HUTT CITY COUNCIL



RETAINING WALL & FOUNDATION PLAN

SCALE: 1 : 100

RETAINING WALL SCHEDULE

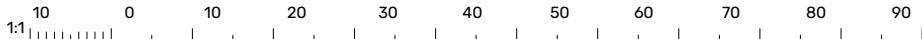
RW1 - 20 SERIES CONCRETE BLOCK RETAINING WALL
H_{SOIL} = 0.6m MAX. RETAINED SOIL

FOOTING SCHEDULE

GB1 - 450x450 DEEP GROUND BEAM
GB2 - 450x750 DEEP (C.O.S.) GROUND BEAM
PC - 600x600x400 DEEP CONCRETE PILE CAP

SLAB SCHEDULE

300 300mm THICK CONCRETE FOOTING
130 130mm THICK CONCRETE SLAB



A	BUILDING CONSENT	11-05-24
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Revision Schedule

	FOCUS ENGINEERING CONSULTANTS LTD
level 1, 240 Thorndon Quay PO Box 9586, Marion Square Wellington, 6141	info@focussec.co.nz www.focussec.co.nz P. (04) 382 8678

Designed	YN
Drawn	AL
Checked	DL
Approved	DL

Client
ROSS AND VALERIE
COLLINGE

Project
PROPOSED NEW DWELLING
8 WILLOUGHBY STREET,
WOBURN, LOWER HUTT

Drawing Title
RETAINING WALL &
FOUNDATION PLAN

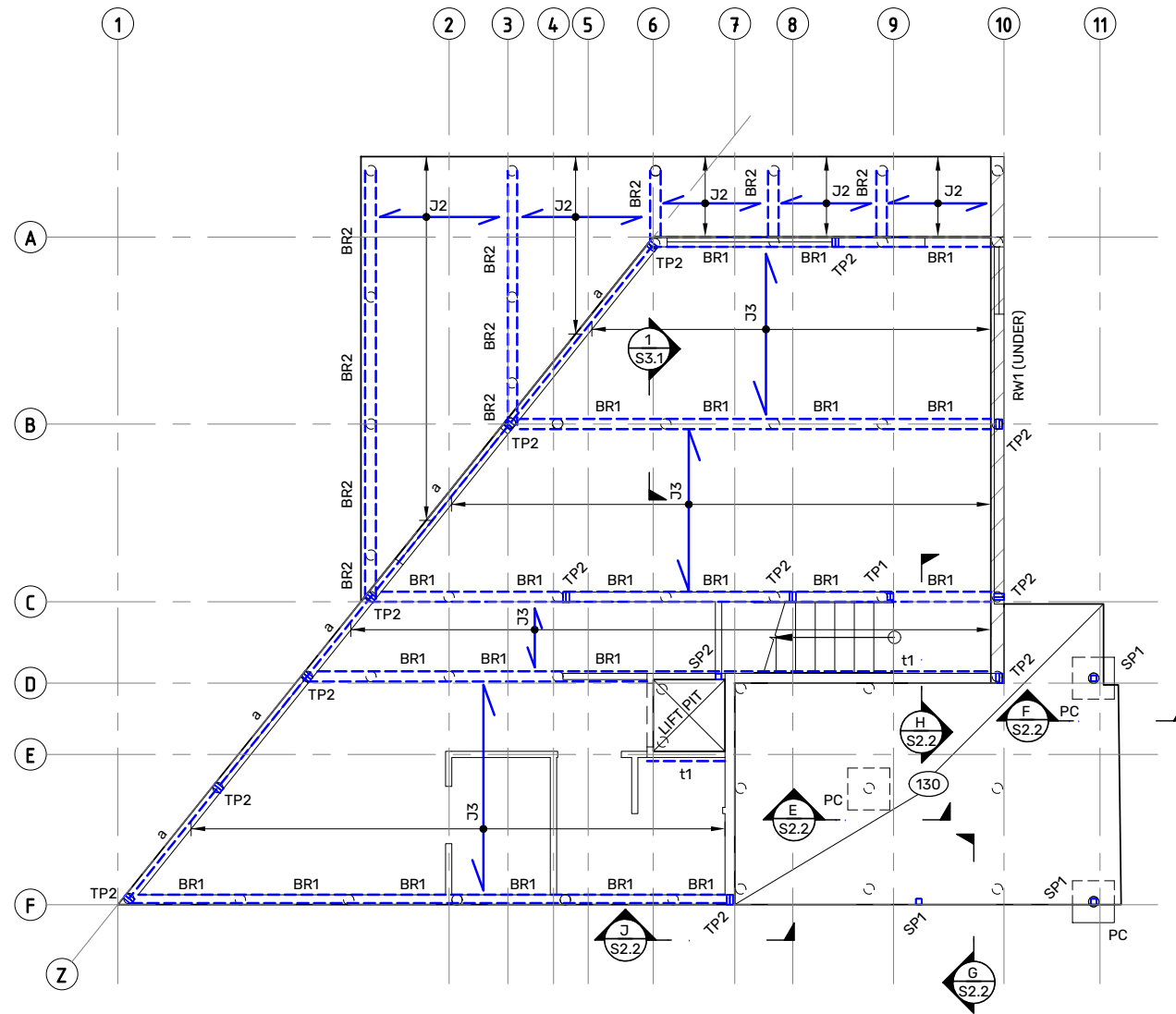
Job No. 23141	Sheet
Date MAY 24	S1.2
Scale As indicated	Issue A
	A3

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NOTE

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4. NEW FOUNDATION TO BE FOUNDED ON "GOOD GROUND" ACCORDING TO NZS3604 CONFIRM ON SITE



GROUND FLOOR STRUCTURAL PLAN

SCALE: 1 : 100

GROUND FLOOR MEMBER SCHEDULE	
MARK	SIZE
J2	190x45 SG8 H3.2 @ 400 CRS.
J3	190x45 SG8 H3.2 @ 600 CRS.
BR1	2/190x45 SG8 H3.2 BEARER, CONTINUOUS OVER 2 SPANS
BR2	2/190x45 SG8 H3.2 BEARER
a	3/190x45 SG8 H3.2
TP1	2/90x45 SG8 TIMBER STUD
TP2	2/140x45 SG8 TIMBER STUD
SP1	89x89x6 SHS GALV. STEEL POST
SP2	89x89x6 SHS STEEL POST
t1	140x45 STRINGER FIXED TO THE CONCRETE GROUND BEAM

SLAB SCHEDULE

(130) 130mm THICK CONCRETE SLAB

FOOTING SCHEDULE

PC - 600x600x400 DEEP CONCRETE PILE CAP

RETAINING WALL SCHEDULE

RW1 - 20 SERIES CONCRETE BLOCK RETAINING WALL
H_{SOIL} = 0.6m MAX. RETAINED SOIL (UNDER)

BUILDING CONSENT

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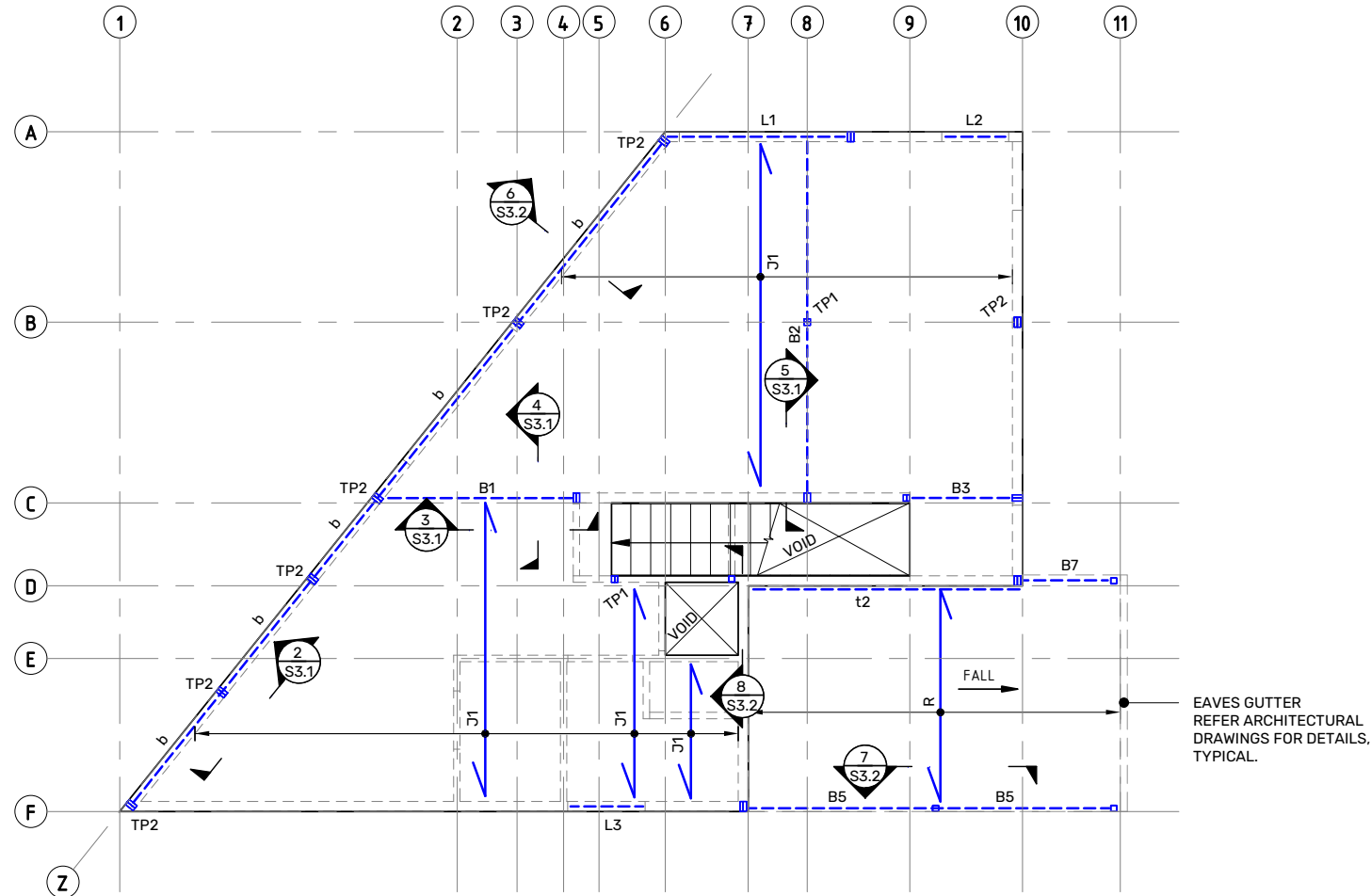
A	BUILDING CONSENT	11-05-24
Revision Schedule		
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ROSS AND VALERIE COLLINGE		
Project		
PROPOSED NEW DWELLING 8 WILLOUGHBY STREET, WOBOURN, LOWER HUTT		
Drawing Title		
GROUND FLOOR STRUCTURAL PLAN		
Job No. 23141		Sheet
Date MAY 24		S1.3
Scale	As indicated	Issue A A3

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FIRST FLOOR STRUCTURAL PLAN

SCALE: 1: 100

FIRST FLOOR MEMBER SCHEDULE

MARK	SIZE
R	190x45 @ 600 CRS. SG8 - RAFTER
J1	290x45 SG8 @ 400 CRS.
B1	2/290x45 SG8
B2	2/300x45 HYSPAN
B3	2/290x45 SG8
B5	2/190x45 SG8
B7	2/190x45 SG8
L1	3/290x45 SG8
L2-L3	3/140x45 SG8
b	3/190x45 SG8
TP1	2/90x45 SG8 TIMBER STUD
TP2	2/140x45 SG8 TIMBER STUD
t2	TRIMMER 190x45 SG8 FIXED TO THE WALL

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A	BUILDING CONSENT	11-05-24
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Revision Schedule

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Client
ROSS AND VALERIE
COLLINGE

Project
PROPOSED NEW DWELLING
8 WILLOUGHBY STREET,
WOBURN, LOWER HUTT

Drawing Title
FIRST FLOOR STRUCTURAL
PLAN

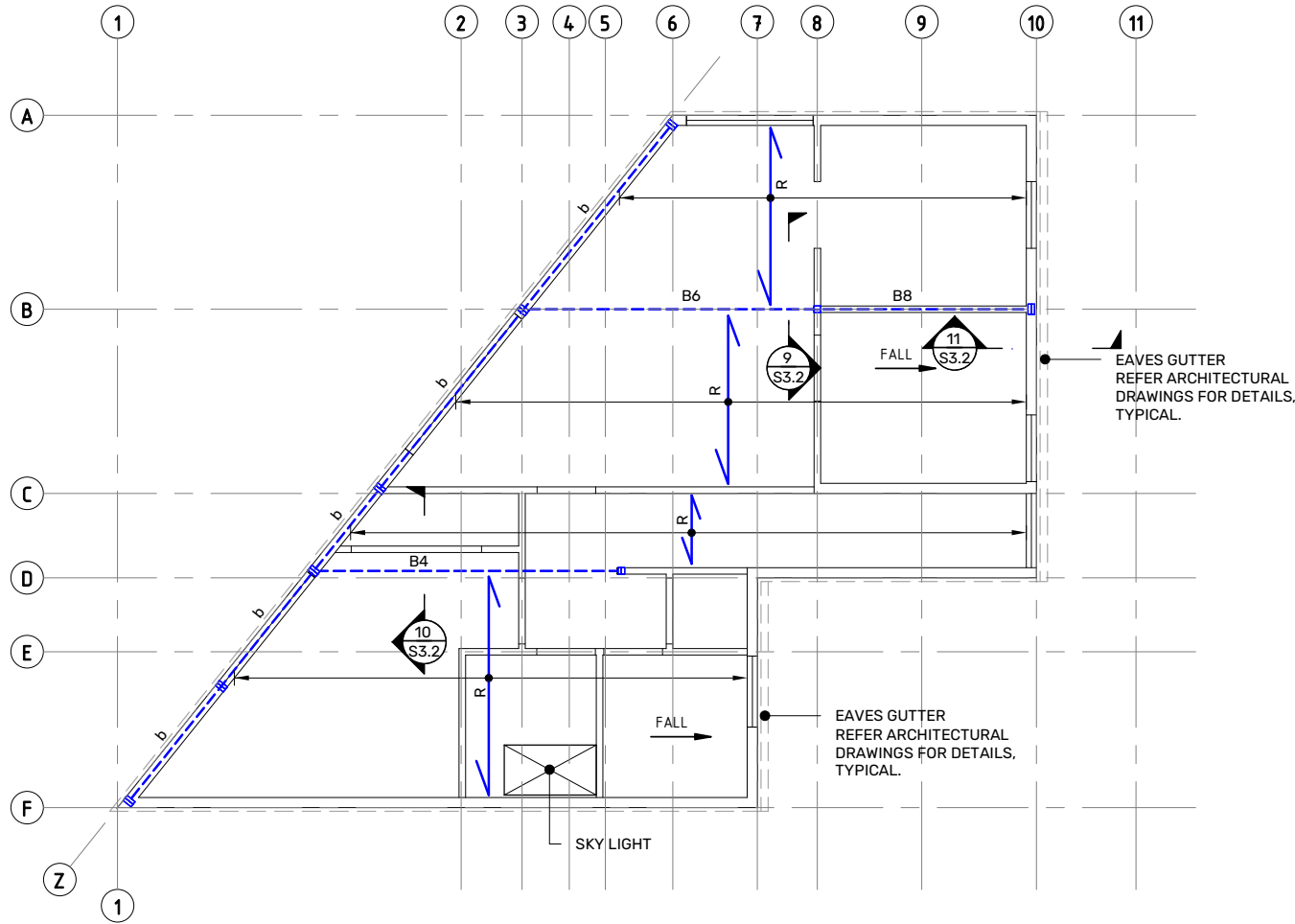
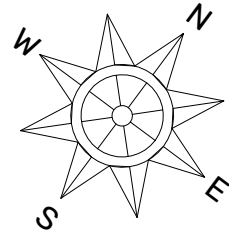
Job No. 23141	Sheet
Date MAY 24	S1.4
Scale 1:100	Issue A
	A3

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CONFIRM ON SITE



ROOF STRUCTURAL PLAN

SCALE: 1 : 100

LEGEND



DENOTES ROOF FALL DIRECTION,
REFER TO ARCHITECTURAL DOCUMENTATION
FOR DETAILS TYPICAL

ROOF MEMBER SCHEDULE	
MARK	SIZE
R	240x45 @ 600 CRS. SG8 - RAFTER
B4	2/240x45 HYSPAN
B6	2/240x45 HYSPAN
B8	2/240x45 SG8
b	3/190x45 SG8

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A	BUILDING CONSENT	11-05-24
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Approved	DL

Client

ROSS AND VALERIE
COLLINGE

Project

PROPOSED NEW DWELLING
8 WILLOUGHBY STREET,
WOBURN, LOWER HUTT

Drawing Title
ROOF STRUCTURAL PLAN

Job No. 23141	Sheet	
Date MAY 24	S1.5	
Scale As indicated	Issue A	A3



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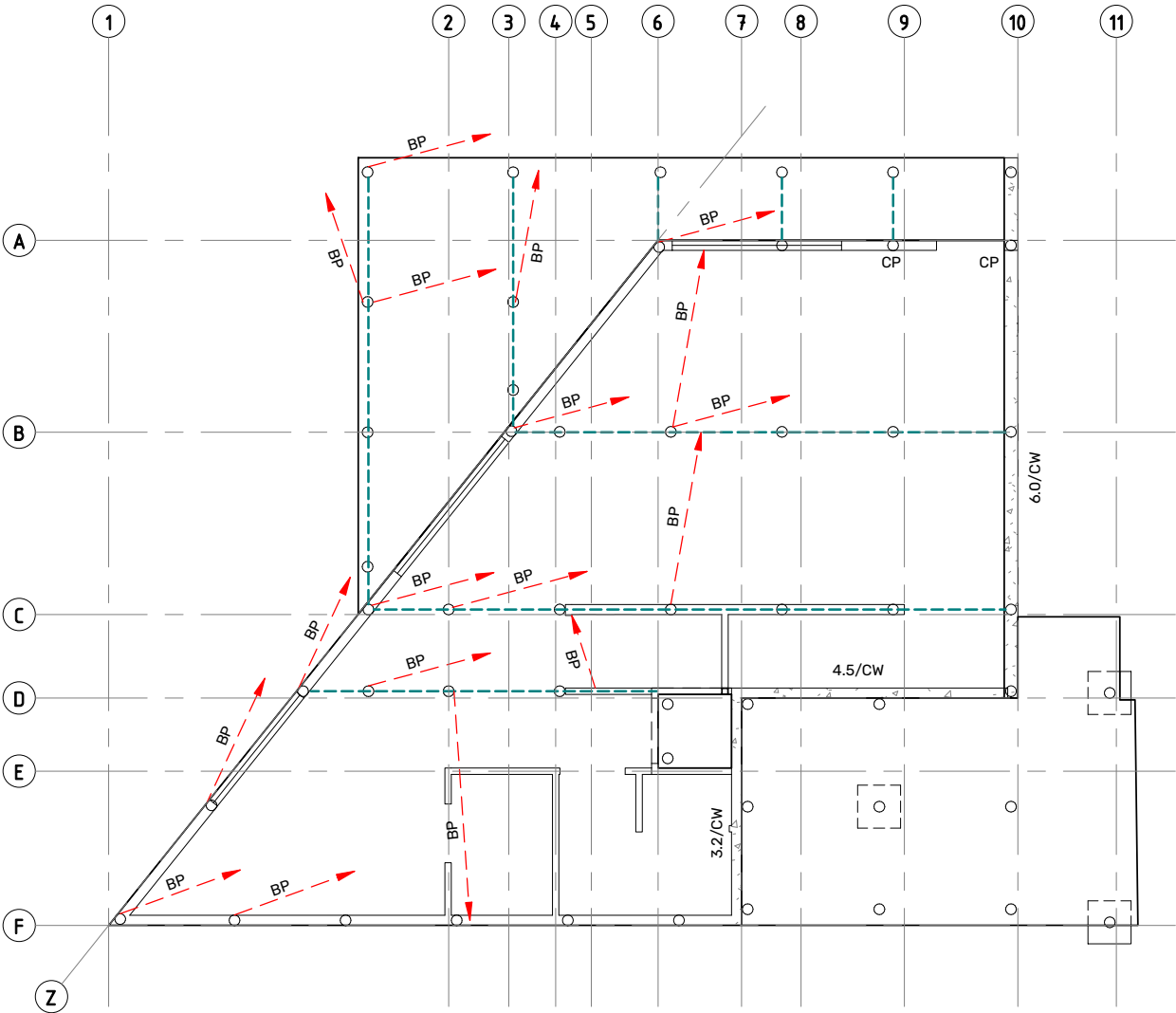
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ACROSS

ALONG



SUBFLOOR BRACING PLAN

SCALE: 1 : 100

LEGEND

- BP: BRACED PILE TO NZS 3604:2011
- CW: CONCRETE WALL
- CP: CANTILEVER PILE TO NZS 3604:2011

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Approved	DL

Client

ROSS AND VALERIE COLLINGE

Project

PROPOSED NEW DWELLING
8 WILLOUGHBY STREET,
WOBBURN, LOWER HUTT

Drawing Title

SUBFLOOR BRACING PLAN

Job No. 23141	Sheet
Date MAY 24	S1.6
Scale As indicated	Issue A
	A3



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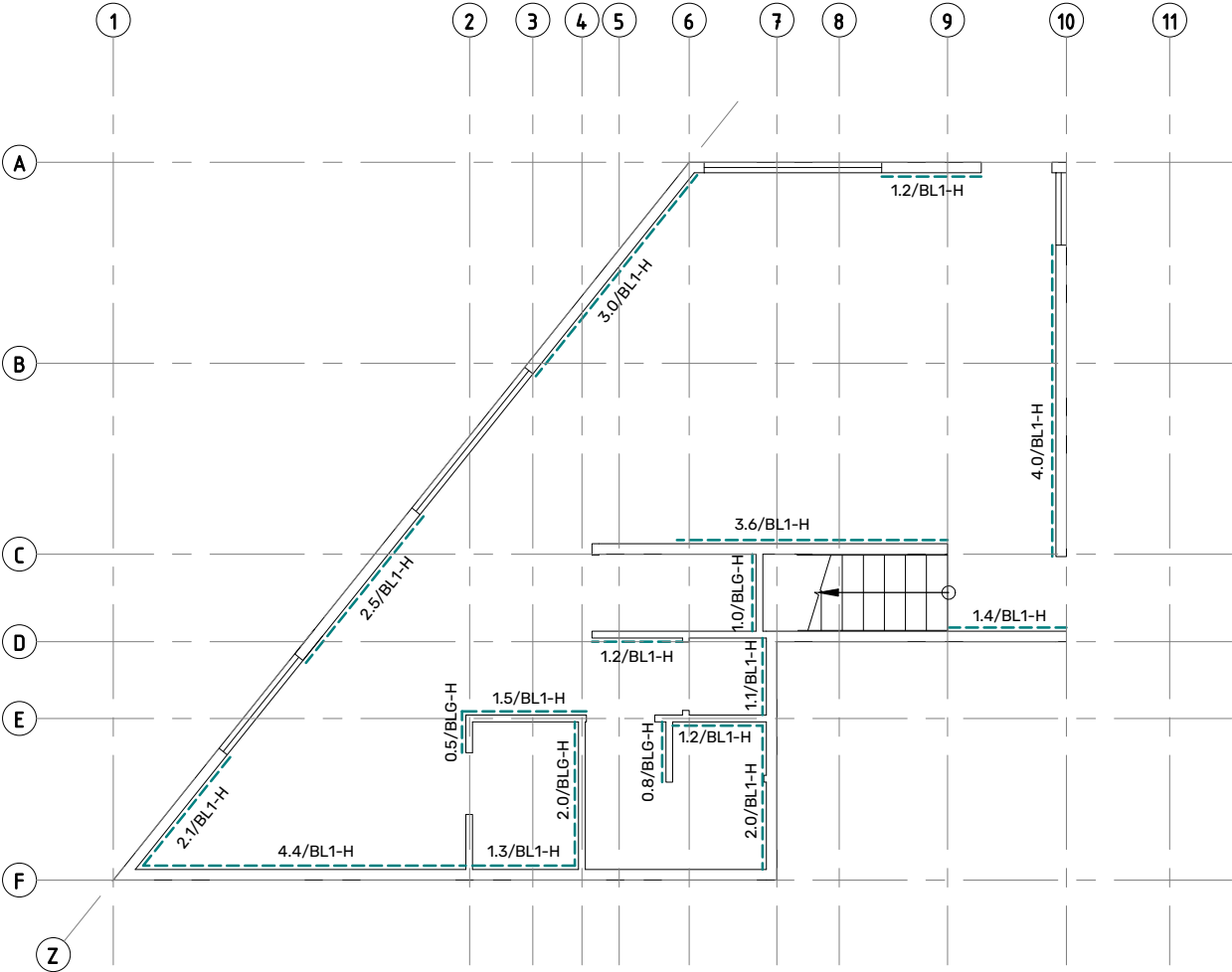
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ACROSS

ALONG



GROUND FLOOR BRACING PLAN

SCALE: 1 : 100

BUILDING CONSENT

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A	BUILDING CONSENT	11-05-24
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Client
ROSS AND VALERIE
COLLINGE

Project
PROPOSED NEW DWELLING
8 WILLOUGHBY STREET,
WOBURN, LOWER HUTT

Drawing Title
GROUND FLOOR BRACING PLAN

Job No. 23141	Sheet
Date MAY 24	S1.7
Scale 1:100	Issue A
	A3

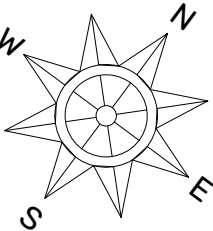


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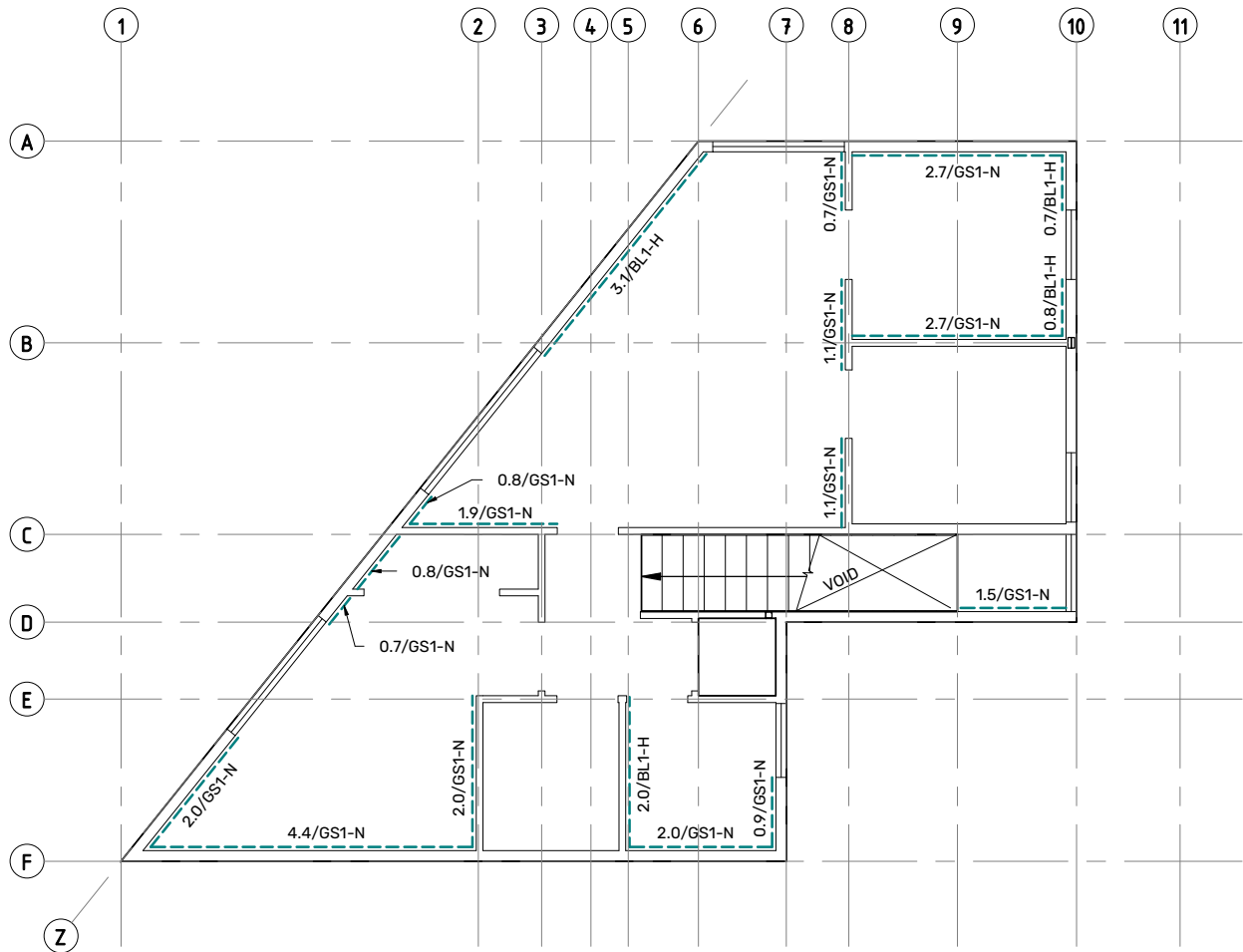
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ACROSS

ALONG



FIRST FLOOR BRACING PLAN

SCALE: 1:100

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A	BUILDING CONSENT	11-05-24
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Client
ROSS AND VALERIE
COLLINGE

Project
PROPOSED NEW DWELLING
8 WILLOUGHBY STREET,
WOBURN, LOWER HUTT

Drawing Title
FIRST FLOOR BRACING PLAN

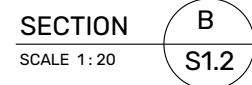
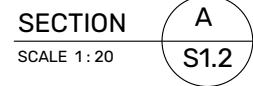
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Date MAY 24	S1.8
Scale 1:100	Issue A
	A3



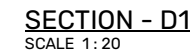
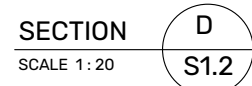
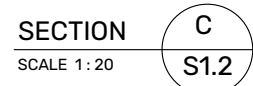
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FOUNDED ON "GOOD GROUND"
ACCORDING TO NZS3604
CONFIRM ON SITE



Hutti City
by Anna Kettner



A	BUILDING CONSENT	11-05-24
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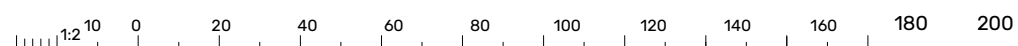
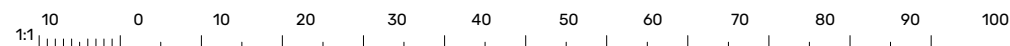
ROSS AND VALERIE
COLLINGE

Project

PROPOSED NEW DWELLING
3 WILLOUGHBY STREET,
WOBURN, LOWER HUTT

Drawing Title
FOUNDATION DETAILS - SHEET

Job No. 23141	Sheet S2.1	
Date MAY 24		
Scale 1:20	Issue A	A3

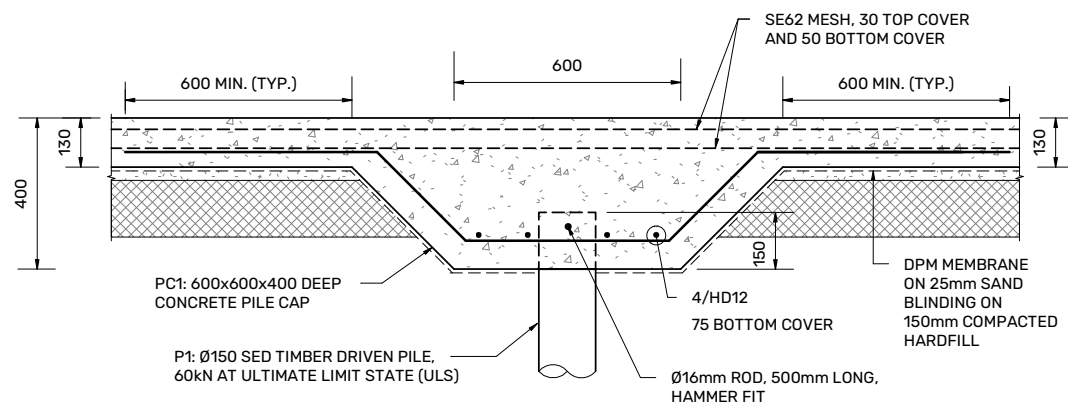


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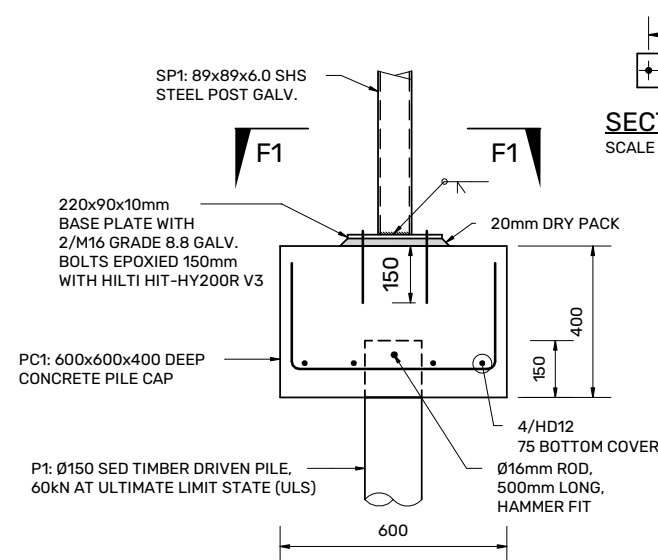
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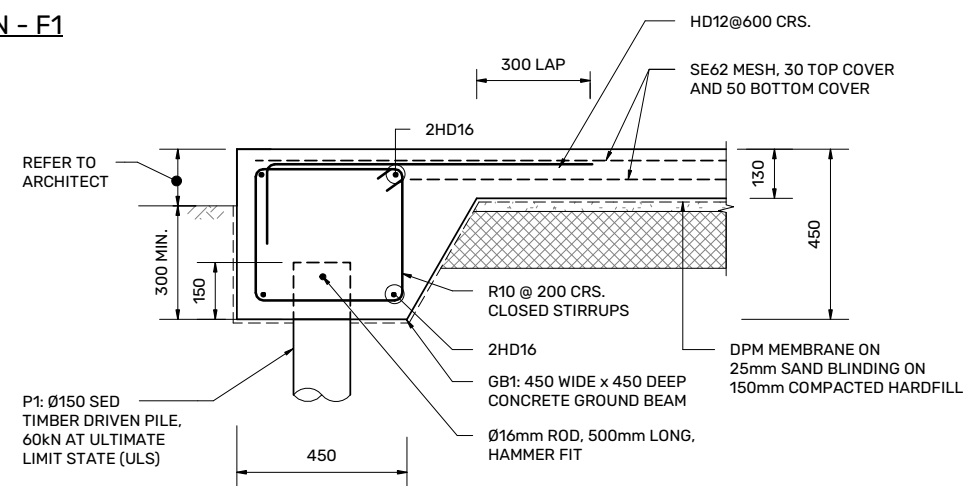
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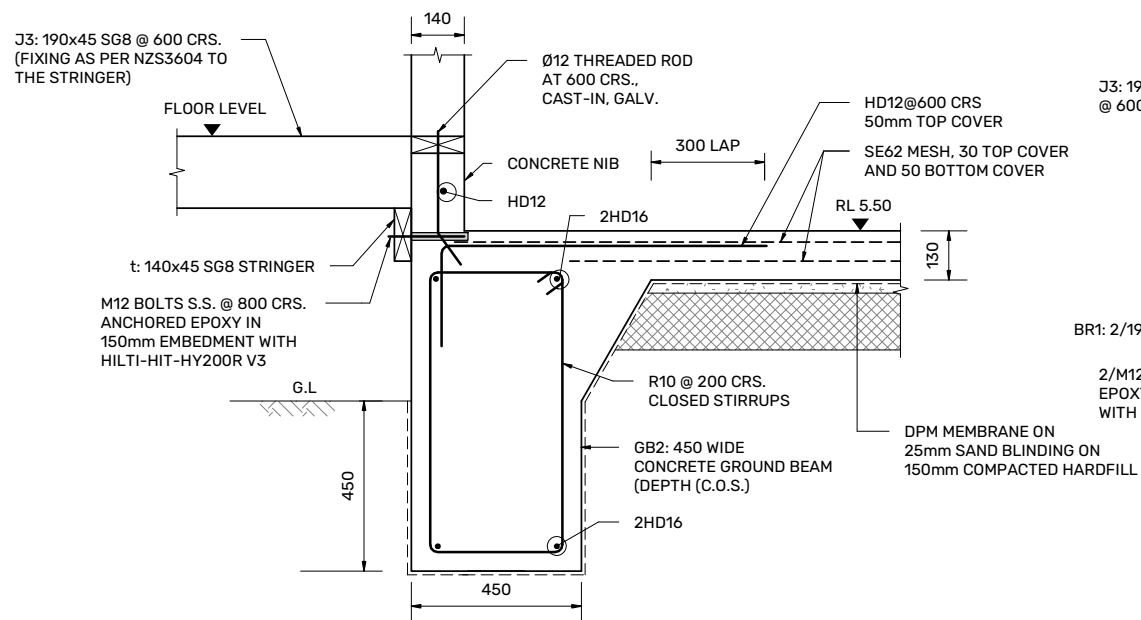
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S1.3



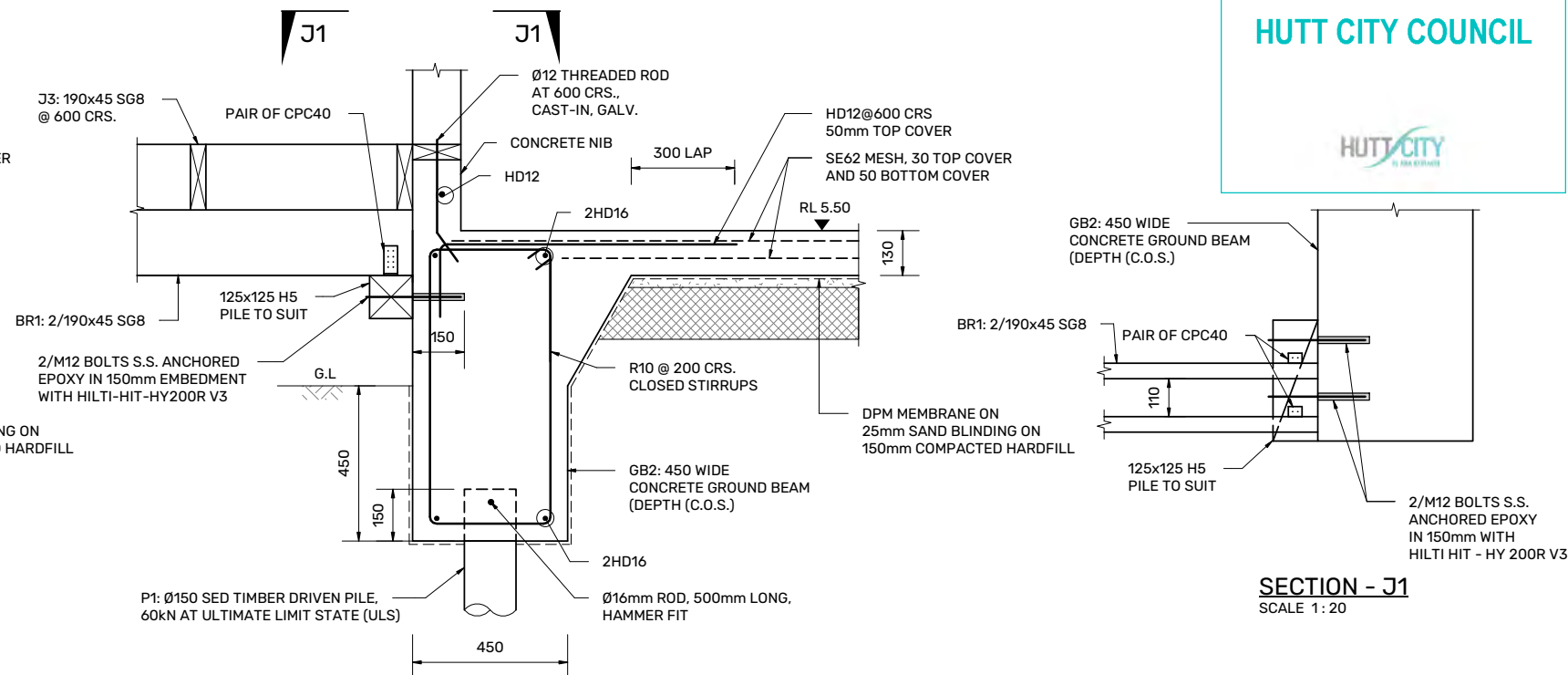
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SCALE 1:20
S1.3



SECTION G
SCALE 1:20
S1.3

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SECTION H
SCALE 1:20
S1.3



SECTION J
SCALE 1:20
S1.3

SECTION - J1
SCALE 1:20

A	BUILDING CONSENT	11-05-24
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Revision Schedule

Designed	YN
Drawn	AL
Checked	DL
Approved	DL

Client**ROSS AND VALERIE COLLINGE****Project****PROPOSED NEW DWELLING
8 WILLOUGHBY STREET,
WOBURN, LOWER HUTT****Drawing Title****FOUNDATION DETAILS - SHEET 2**

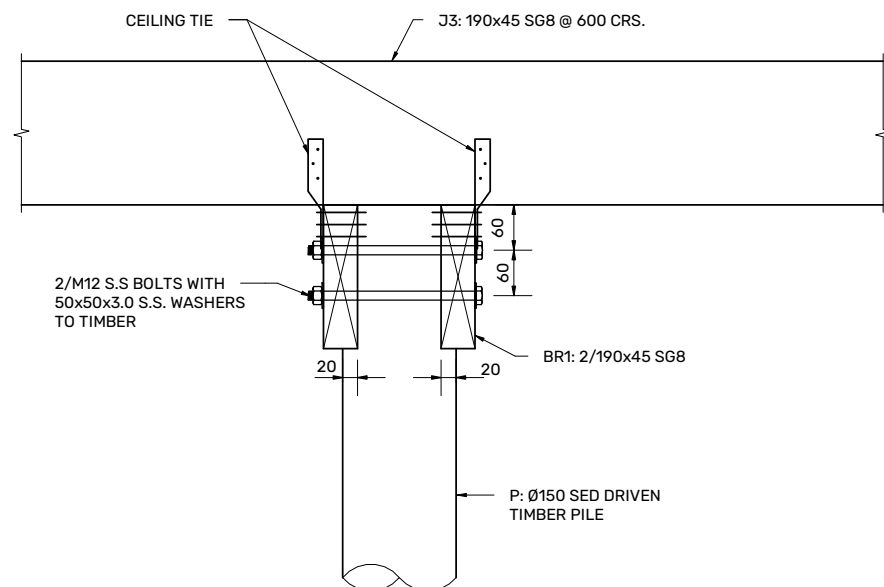
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Date MAY 24	S2.2
Scale 1:20	Issue A A3

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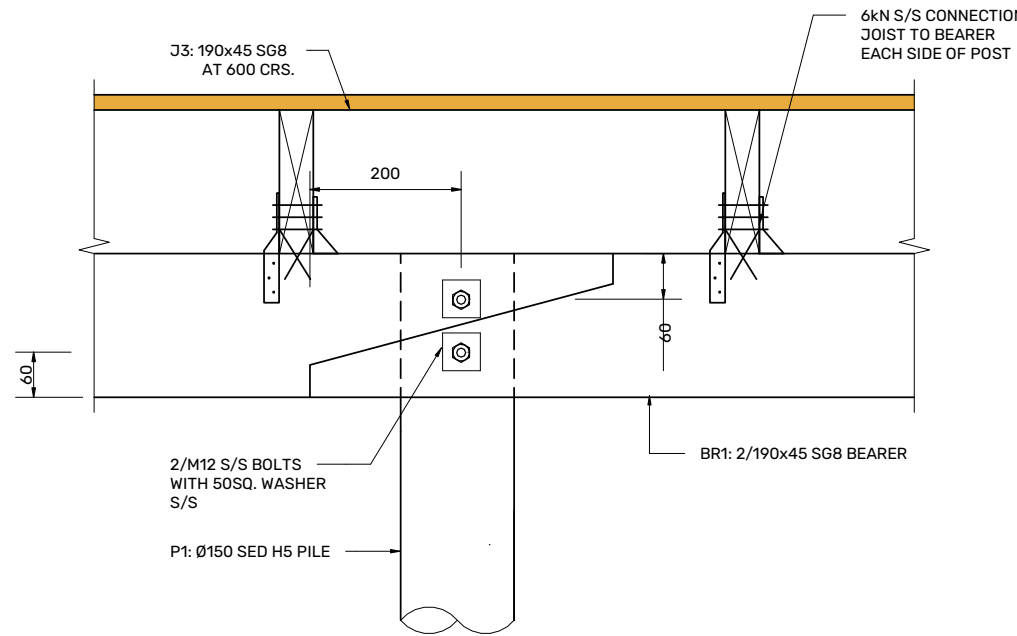
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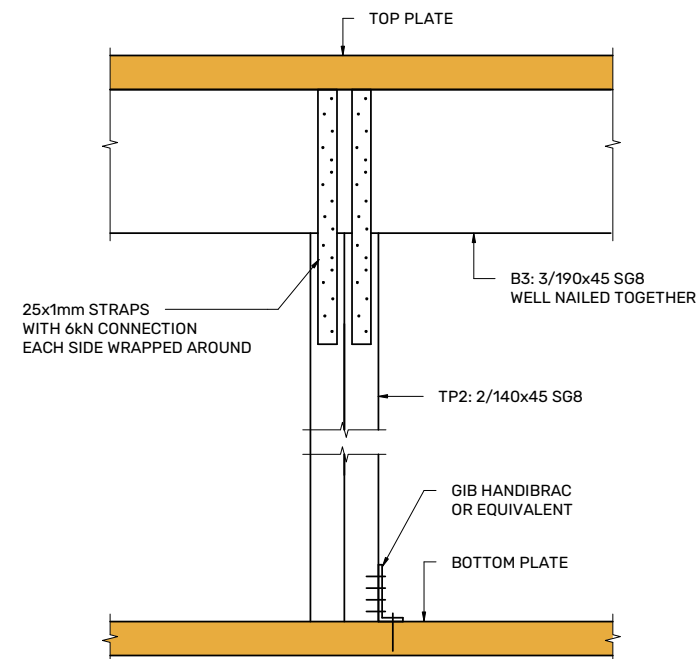
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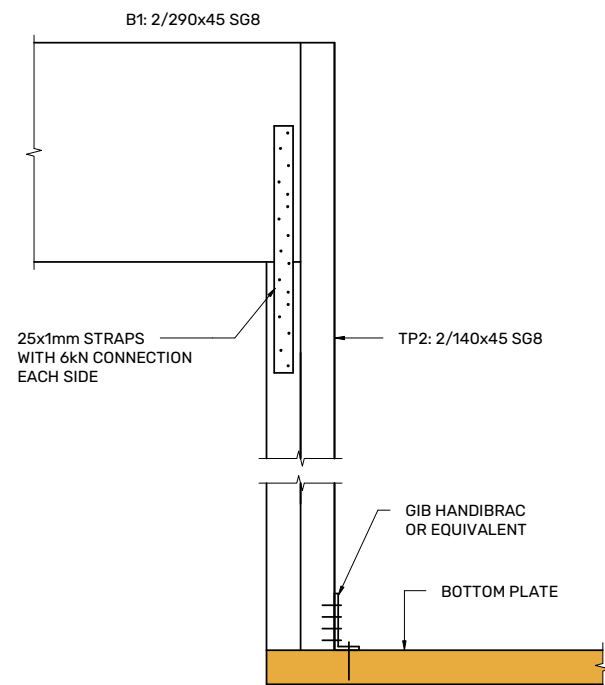
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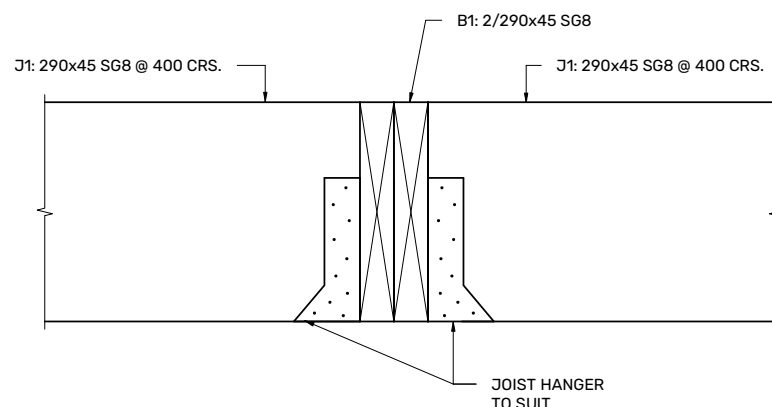
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SCALE 1:10



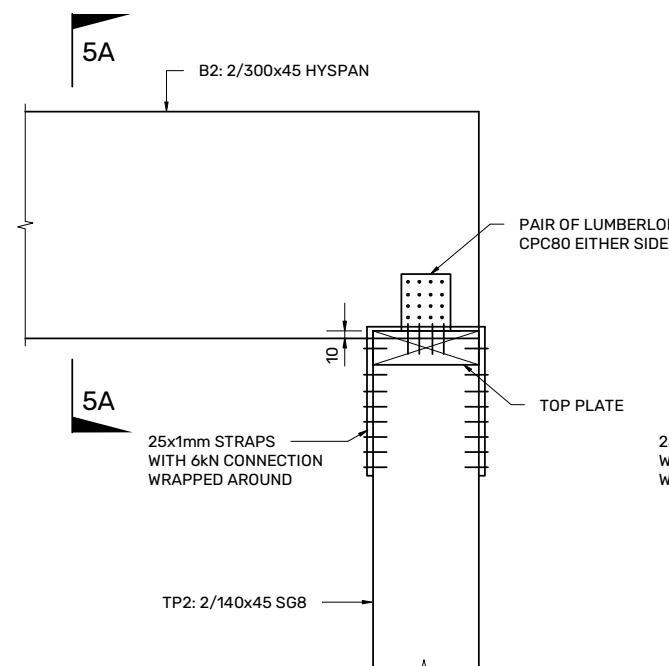
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S1.4



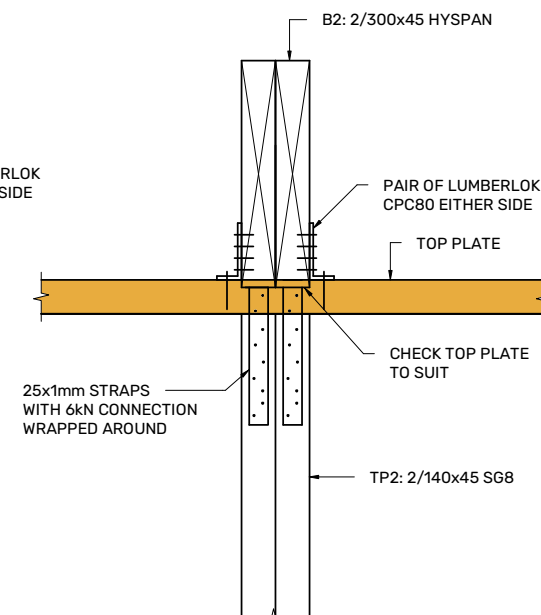
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SCALE 1:10
S1.4



SECTION 4
SCALE 1:10
S1.4



SECTION 5
SCALE 1:10
S1.4



SECTION - 5A
SCALE 1:10

A	BUILDING CONSENT	11-05-24
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Client
ROSS AND VALERIE COLLINGE

Project
PROPOSED NEW DWELLING
8 WILLOUGHBY STREET,
WOBURN, LOWER HUTT

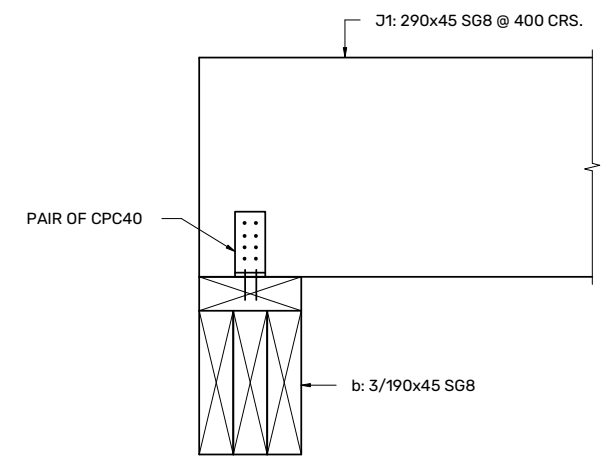
Drawing Title
CONNECTION DETAILS - SHEET 1

Job No. 23141	Sheet
Date MAY 24	S3.1
Scale 1:10	Issue A
	A3

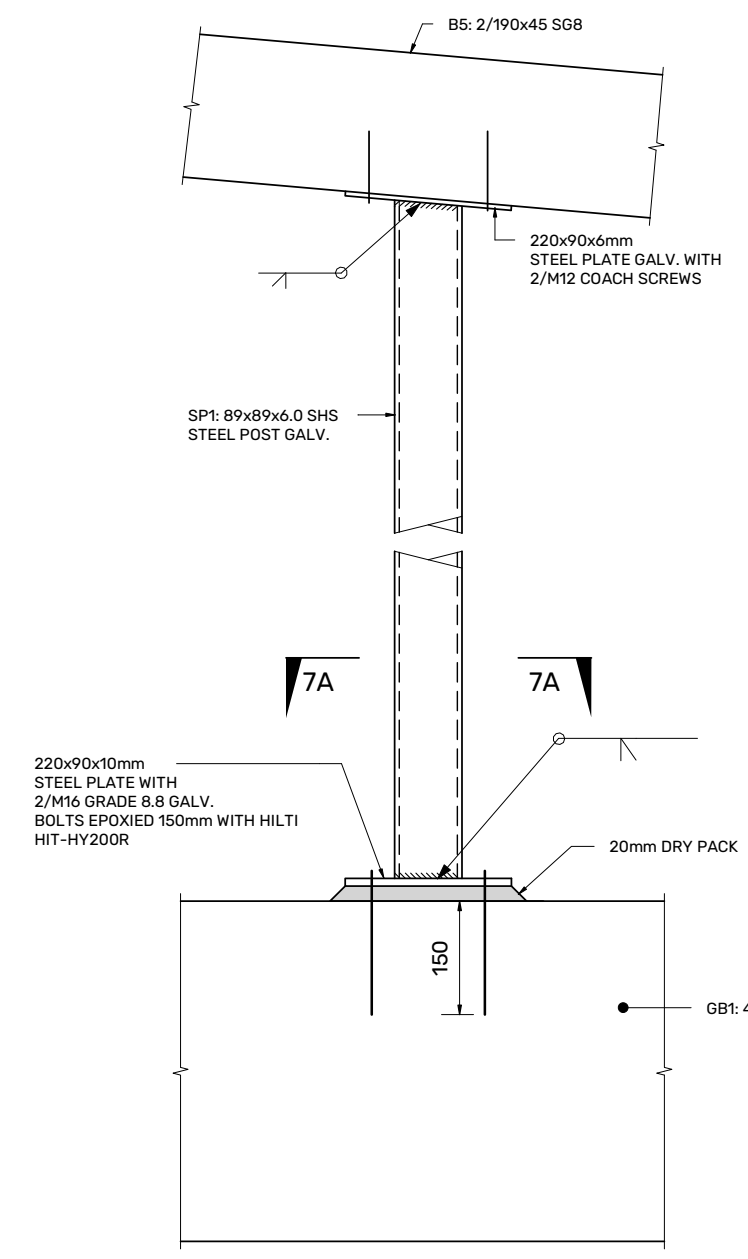
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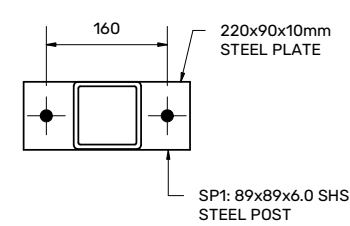
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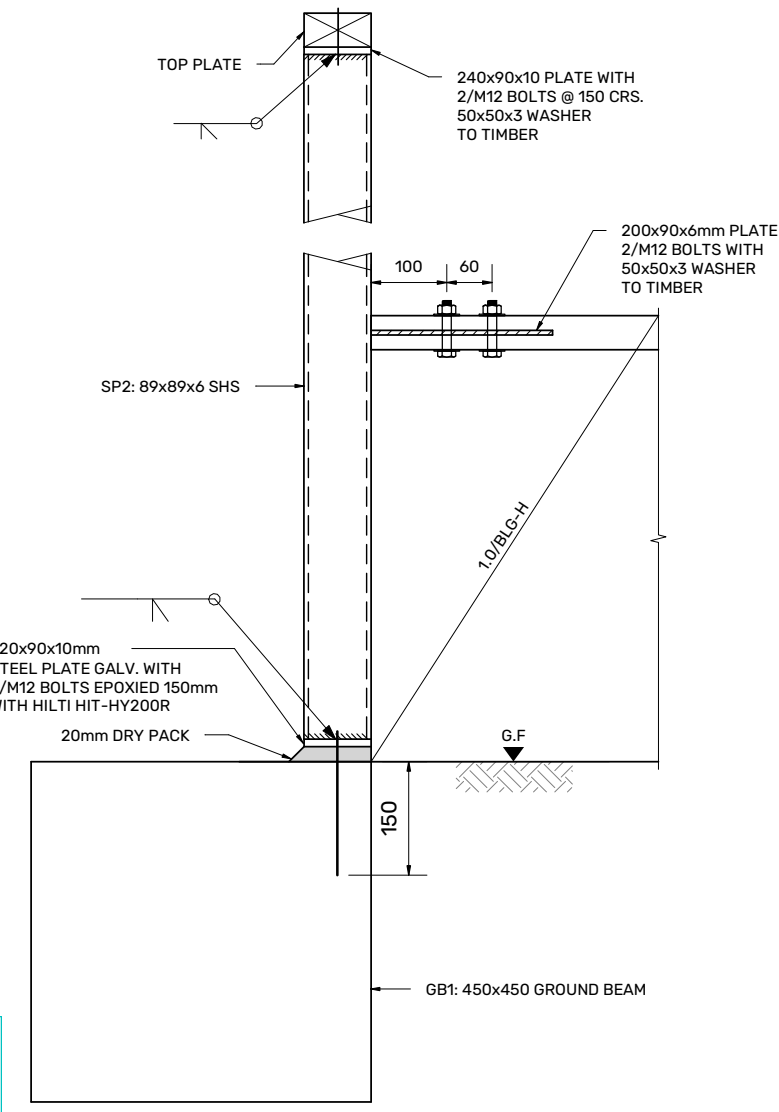
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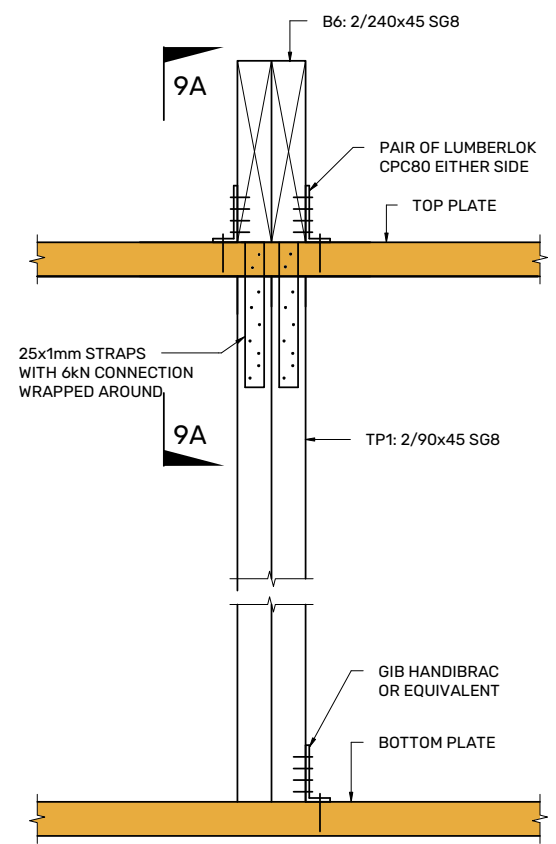
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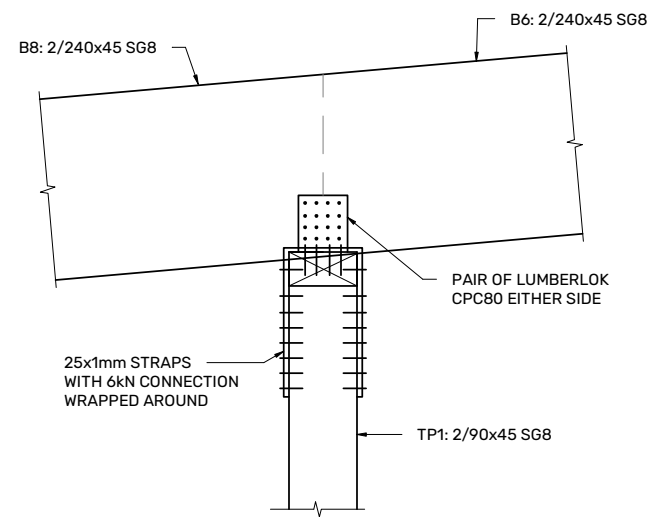
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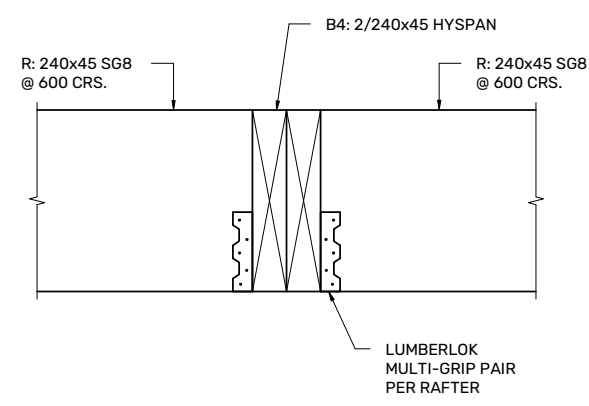
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SCALE 1:10



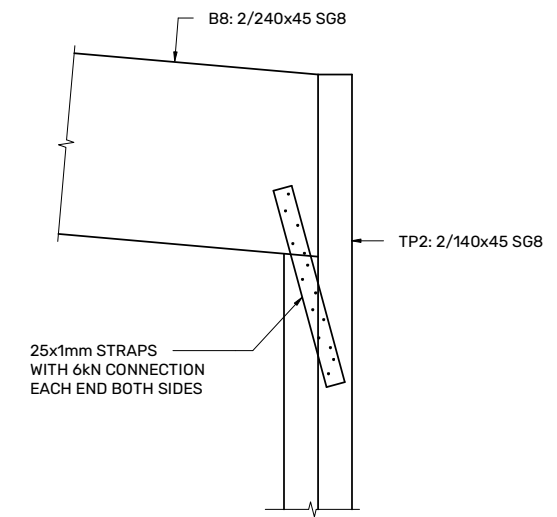
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SCALE 1:10



SECTION - 9A
SCALE 1:10



SECTION 10
SCALE 1:10



SECTION 11
SCALE 1:10

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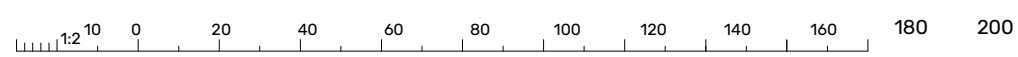
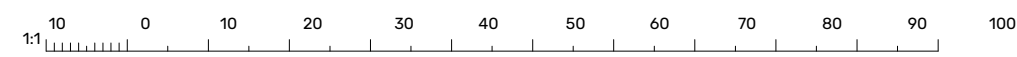
info@focussec.co.nz
www.focussec.co.nz
P. (04) 382 8678

Designed	YN
Drawn	AL
Checked	DL
Approved	DL
Client	ROSS AND VALERIE COLLINGE

Project
PROPOSED NEW DWELLING
8 WILLOUGHBY STREET,
WOBURN, LOWER HUTT

Drawing Title
CONNECTION DETAILS - SHEET 2

Job No. 23141	Sheet S3.2
Date MAY 24	
Scale 1:10	Issue A A3





**LICENSED
BUILDING
PRACTITIONERS**
Building confidence

MEMORANDUM FROM LICENSED BUILDING PRACTITIONER: RECORD OF BUILDING WORK

Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address:

8

Willoughby

Suburb:

Woburn

Town/city:

Lower Hutt

Postcode:

THE PROJECT

Building consent number:

240326

THE OWNERS

Name(s):

Ross & Valarie Collinge

Mailing address:

8 Willoughby Street

Suburb:

Woburn

PO Box/Private Bag:

Town/City:

Lower Hutt

Postcode:

Phone:

0275663078

Email address:

thecollinges@xtra.co.nz



MINISTRY OF BUSINESS,
INNOVATION & EMPLOYMENT
HĀKINA WHAKATUTUKI

Te Kāwanatanga o Aotearoa
New Zealand Government

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

PRIMARY STRUCTURE:

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick	If necessary, describe the restricted building work	Tick whether you carried out the restricted building work or supervised someone else carrying out the restricted building work
☒ Foundations and subfloor framing		☒ Carried out ☒ Supervised
☒ Walls		☒ Carried out ☒ Supervised
☒ Roof		☒ Carried out ☒ Supervised
☒ Columns and beams		☒ Carried out ☒ Supervised
☒ Bracing		☒ Carried out ☒ Supervised
☐ Other		☐ Carried out ☐ Supervised

EXTERNAL MOISTURE MANAGEMENT SYSTEMS:

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick	If necessary, describe the restricted building work	Tick whether you carried out the restricted building work or supervised someone else carrying out the restricted building work
☒ Damp proofing		☒ Carried out ☒ Supervised
☐ Roof cladding or roof cladding system		☐ Carried out ☐ Supervised
☒ Ventilation system (for example, subfloor or cavity)		☒ Carried out ☒ Supervised
☐ Wall cladding or wall cladding system		☐ Carried out ☐ Supervised
☐ Waterproofing		☐ Carried out ☐ Supervised
☐ Other		☐ Carried out ☐ Supervised

ISSUED BY

I am providing my contact details as a licensed building practitioner who is licensed to carry out or supervise work that is restricted building work.

Name:

Jayden Hodson

LBP or Registration number:

BP 114 721

Class(es) licensed in:

Carpentry

Plumbers, Gasfitters and Drainlayers registration number (if applicable):

Mailing address (if different from below):

Street address/Registered office:

5 Highfield Place, Korokoro

Suburb:

Lower Hutt

Town/City:

PO Box/Private Bag:

Postcode:

Phone:

Mobile:

027 9188822

After hours:

Fax:

Email address:

Jayden@hodsonconstruction.co.nz

Website:

DECLARATION

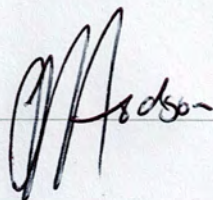
I

Jayden Hodson

carried out or supervised the

restricted building work recorded on this form.

Applicant's signature



Date

16 / 06 / 25
day month year

Memorandum from licensed building practitioner: Certificate of design work
Section 30C or section 45, Building Act 2004

The building

Street address of building:

8 Willoughby Street, Woburn, Lower Hutt

The owner

Name: Ross + Valerie Collinge

Address: 8 Willoughby Street, Woburn, Lower Hutt

Telephone number: 0275663078

Email address: thecollinges@xtra.co.nz

Identification of design work that is restricted building work

I carried out or supervised the following specific elements of RBW. Other consultants will also be providing separate memoranda relating to their specific design work.

Design work that is restricted building work	Description	Carried out/ supervised	Reference to plans and specifications
<i>[Tick]</i>	<i>[If appropriate, provide details of the restricted building work]</i>	<i>[Specify whether you carried out this design work or supervised someone else carrying out this design work]</i>	<i>[If appropriate, specify references]</i>
Primary structure			
Foundations and subfloor framing ()		() Carried out () Supervised	Refer Focus Engineers
Walls (√)	<i>Exterior/Internal Timber framing to NZS 3604:2011</i>	(√) Carried out () Supervised	General floor plans
Roof ()		() Carried out () Supervised	Refer Focus Engineers
Columns and beams ()		() Carried out () Supervised	Refer Focus Engineers
Bracing ()		(√) Carried out () Supervised	Refer Focus Engineers
Other ()		() Carried out () Supervised	

External moisture management systems

Damp proofing	(√)		(√) Carried out () Supervised	Refer aka drawings and spec
Roof cladding or roof cladding system	(√)		(√) Carried out () Supervised	Refer aka drawings and spec
Ventilation system (for example, subfloor or cavity)	(√)		(√) Carried out () Supervised	Refer aka drawings and spec
Wall cladding or wall cladding system	(√)		(√) Carried out () Supervised	Refer aka drawings and spec
Waterproofing	(√)		(√) Carried out () Supervised	Refer aka drawings and spec
Other	()		() Carried out () Supervised	

Fire safety systems

Emergency warning systems, evacuation and fire service operation systems, suppression or control systems, or other	(√)	<i>Smoke Detector</i>	(√) Carried out () Supervised	Refer aka Floor Plans
--	-----	-----------------------	-----------------------------------	-----------------------

Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.

Note: continue on another page if necessary.

Are waivers or modifications of the building code required? () Yes (√) No

If Yes, provide details of the waivers or modifications below:

Clause	Waiver/modification required

Note: continue on another page if necessary.

Issued by

Name: Karl Wipatene

LBP or registration number: NZRAB 3285

The practitioner is a: () Design LBP (✓) Registered architect () Chartered professional engineer

Mailing address: 64 Austin Street, Wellington 6011

Street address or registered office: 64 Austin Street, Wellington 6011

Phone number: Landline: 04 3813110 Mobile: 021 02741922

Email address: karl@akaltd.co.nz

Website: www.akaarchitecture.co.nz

Declaration

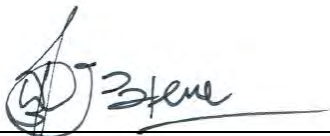
I Karl Wipatene of a.k.a Architecture Ltd *[name of practitioner]*

state that I have applied the skill and care reasonably required of a competent design professional in carrying out or supervising the Restricted Building Work described on this form and that based on this I also state that the RBW:

(a) complies with the building code clauses identified on this form

(b) complies with the building code subject to any waiver or modification of the building code recorded on this form.

Signature:



Date: 10 May 2024

Memorandum from licensed building practitioner: Certificate of design work
Section 30C or section 45, Building Act 2004

The building

Street address of building:

8 Willoughby Street, Woburn, Lower Hutt

The owner

Name: Ross + Valerie Collinge

Address: 8 Willoughby Street, Woburn, Lower Hutt

Telephone number: 0275663078

Email address: thecollinges@xtra.co.nz

Identification of design work that is restricted building work

I carried out or supervised the following specific elements of RBW. Other consultants will also be providing separate memoranda relating to their specific design work.

Design work that is restricted building work	Description	Carried out/ supervised	Reference to plans and specifications
<i>[Tick]</i>	<i>[If appropriate, provide details of the restricted building work]</i>	<i>[Specify whether you carried out this design work or supervised someone else carrying out this design work]</i>	<i>[If appropriate, specify references]</i>
Primary structure			
Foundations and subfloor framing ()		() Carried out () Supervised	Refer Focus Engineers
Walls (√)	<i>Exterior/Internal Timber framing to NZS 3604:2011</i>	(√) Carried out () Supervised	General floor plans
Roof ()		() Carried out () Supervised	Refer Focus Engineers
Columns and beams ()		() Carried out () Supervised	Refer Focus Engineers
Bracing ()		(√) Carried out () Supervised	Refer Focus Engineers
Other ()		() Carried out () Supervised	

External moisture management systems

Damp proofing	(√)		(√) Carried out () Supervised	Refer aka drawings and spec
Roof cladding or roof cladding system	(√)		(√) Carried out () Supervised	Refer aka drawings and spec
Ventilation system (for example, subfloor or cavity)	(√)		(√) Carried out () Supervised	Refer aka drawings and spec
Wall cladding or wall cladding system	(√)		(√) Carried out () Supervised	Refer aka drawings and spec
Waterproofing	(√)		(√) Carried out () Supervised	Refer aka drawings and spec
Other	()		() Carried out () Supervised	

Fire safety systems

Emergency warning systems, evacuation and fire service operation systems, suppression or control systems, or other	(√)	<i>Smoke Detector</i>	(√) Carried out () Supervised	Refer aka Floor Plans
--	-----	-----------------------	-----------------------------------	-----------------------

Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.

Note: continue on another page if necessary.

Are waivers or modifications of the building code required? () Yes (√) No

If Yes, provide details of the waivers or modifications below:

Clause	Waiver/modification required

Note: continue on another page if necessary.

Issued by

Name: Karl Wipatene

LBP or registration number: NZRAB 3285

The practitioner is a: () Design LBP (✓) Registered architect () Chartered professional engineer

Mailing address: 64 Austin Street, Wellington 6011

Street address or registered office: 64 Austin Street, Wellington 6011

Phone number: Landline: 04 3813110 Mobile: 021 02741922

Email address: karl@akaltd.co.nz

Website: www.akaarchitecture.co.nz

Declaration

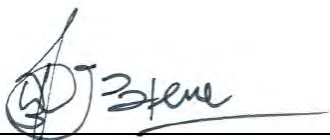
I Karl Wipatene of a.k.a Architecture Ltd *[name of practitioner]*

state that I have applied the skill and care reasonably required of a competent design professional in carrying out or supervising the Restricted Building Work described on this form and that based on this I also state that the RBW:

(a) complies with the building code clauses identified on this form

(b) complies with the building code subject to any waiver or modification of the building code recorded on this form.

Signature:



Date: 10 May 2024



association
consulting
engineering



PRODUCER STATEMENT – PS1 DESIGN

BUILDING CODE CLAUSE(S): B1
ISSUED BY: FOCUS ENGINEERING CONSULTANTS LTD
(Engineering Design Firm)
TO: ROSE AND VALERIE COLLINGE
(Owner/Developer)
TO BE SUPPLIED TO: HUTT CITY COUNCIL
(Building Consent Authority)
IN RESPECT OF: NEW DWELLING
(Description of Building Work)
AT: 8 WILLOUGHBY STREET, WOBURN, LOWER HUTT
(Address, Town/City)
LEGAL DESCRIPTION: LOTS 78 DP 10974

JOB NUMBER: 23141

N/A ☐

We have been engaged by the owner/developer referred to above to provide (Extent of Engagement):
STRUCTURAL DESIGN OF FOUNDATION, BRACING, BEAMS AND POSTS

in respect of the requirements of the Clause(s) of the Building Code specified above for Part only, as specified in the Schedule, of the proposed building work.

The design carried out by us has been prepared in accordance with:

- ☒ Compliance documents issued by the Ministry of Business, Innovation & Employment (Verification method/acceptable solution) B1/VM1, B1/VM4, B1/AS1 and/or;
- ☐ Alternative solution as per the attached Schedule.

The proposed building work covered by this producer statement is described on the drawings specified in the Schedule, together with the specification, and other documents set out in the Schedule.

On behalf of the Engineering Design Firm, and subject to:

- Site verification of the following design assumptions: 150 DIA DRIVEN TIMBER PILES ACHIEVING 60KN AT ULS
- All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds that:

- the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the Schedule, will comply with the relevant provisions of the Building Code and that;
- the persons who have undertaken the design have the necessary competency to do so.

I recommend the CM 3 level of construction monitoring.

I, (Name of Engineering Design Professional) DAVID LAI, am:

- ☒ CPEng number 232550

and hold the following qualifications BE, ME(HONS)

The Engineering Design Firm holds a current policy of Professional Indemnity Insurance no less than \$200,000

The Engineering Design Firm is a member of ACE New Zealand.

SIGNED BY (Name of Engineering Design Professional): DAVID LAI
(Signature below):

ON BEHALF OF (Engineering Design Firm):

FOCUS ENGINEERING CONSULTANTS LTD

Date: 10/05/2024

Note: This statement has been prepared solely for the Building Consent Authority named above and shall not be relied upon by any other person or entity. Any liability in relation to this statement accrues to the Engineering Design Firm only. As a condition of reliance on this statement, the Building Consent Authority accepts that the total maximum amount of liability of any kind arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in tort or otherwise, is limited to the sum of \$200,000. \$500,000.00

This form is to accompany **Form 2 of the Building (Forms) Regulations 2004** for the application of a Building Consent.

SCHEDULE to PS1

Please include an itemised list of all referenced documents, drawings, or other supporting materials in relation to this producer statement below:

23141_8 Willoughby Street_Structural Calculations_Rev A
23141_8 Willoughby Street_Structural Specifications_Rev A
23141_8 Willoughby Street_Structural Drawings_Rev A/S0.1-S3.2
23141_8 Willoughby Street_Inspection Schedule_Rev A

GUIDANCE ON USE OF PRODUCER STATEMENTS

Information on the use of Producer Statements and Construction Monitoring Guidelines can be found on the Engineering New Zealand website

<https://www.engineeringnz.org/engineer-tools/engineering-documents/producer-statements/>

Producer statements were first introduced with the Building Act 1991. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects (NZIA), Institution of Professional Engineers New Zealand (now Engineering New Zealand), Association of Consulting and Engineering New Zealand (ACE NZ) in consultation with the Building Officials Institute of New Zealand (BOINZ). The original suite of producer statements has been revised at the date of this form to ensure standard use within the industry.

The producer statement system is intended to provide Building Consent Authorities (BCAs) with part of the reasonable grounds necessary for the issue of a Building Consent or a Code Compliance Certificate, without necessarily having to duplicate review of design or construction monitoring undertaken by others.

PS1 DESIGN Intended for use by a suitably qualified independent engineering design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent;

PS2 DESIGN REVIEW Intended for use by a suitably qualified independent engineering design review professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent;

PS3 CONSTRUCTION Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2013 or Schedules E1/E2 of NZIA's SCC 2011²

PS4 CONSTRUCTION REVIEW Intended for use by a suitably qualified independent engineering construction monitoring professional who either undertakes or supervises construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate.

This must be accompanied by a statement of completion of building work (Schedule 6).

The following guidelines are provided by ACE New Zealand and Engineering New Zealand to interpret the Producer Statement.

Competence of Engineering Professional

This statement is made by an engineering firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its personnel.

The person signing the Producer Statement on behalf of the engineering firm will have a professional qualification and proven current competence through registration on a national competence-based register such as a Chartered Professional Engineer (CPEng).

Membership of a professional body, such as Engineering New Zealand provides additional assurance of the designer's standing within the profession. If the engineering firm is a member of ACE New Zealand, this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent engineering professional".

Professional Indemnity Insurance

As part of membership requirements, ACE New Zealand requires all member firms to hold Professional Indemnity Insurance to a minimum level.

The PI Insurance minimum stated on the front of this form reflects standard practice for the relationship between the BCA and the engineering firm.

Professional Services during Construction Phase

There are several levels of service that an engineering firm may provide during the construction phase of a project (CM1-CM5 for engineers³). The building Consent Authority is encouraged to require that the service to be provided by the engineering firm is appropriate for the project concerned.

Requirement to provide Producer Statement PS4

Building Consent Authorities should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the Design Firm's engagement.

Refer Also:

- ¹ Conditions of Contract for Building & Civil Engineering Construction NZS 3910: 2013
- ² NZIA Standard Conditions of Contract SCC 2011
- ³ Guideline on the Briefing & Engagement for Consulting Engineering Services (ACE New Zealand/Engineering New Zealand 2004)
- ⁴ PN01 Guidelines on Producer Statements

www.acenz.org.nz

www.engineeringnz.org

Memorandum from licensed building practitioner: Certificate of design work

Section 45 and Section 30C, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address:	8 Willoughby Street		
Suburb:	Woburn		
Town/City:	Lower Hutt	Postcode:	5010

THE OWNER

Name(s):	Ross and Valerie Collinge C/- a.k.a Architecture - Karl Wipatene		
Mailing address:	8 Willoughby Street		
Suburb:	Woburn	PO Box/Private Bag:	
Town/City:	Lower Hutt	Postcode:	5010
Phone number:	Email address: karl@akaltd.co.nz		

BASIS FOR PROVIDING THIS MEMORANDUM

I am providing this memorandum in my role as the: Please tick the option that applies (✓)	
☐	sole designer of all of the RBW design outlined in this memorandum – I carried out all of the RBW design myself – no other person will be providing any additional memoranda for the project
☐	lead designer who carried out some of the RBW design myself but also supervised other designers – this memorandum covers their RBW design work as well as mine, and no other person will be providing any additional memoranda for the project
☐	lead designer for all but specific elements of RBW – this memorandum only covers the RBW design work that I carried out or supervised and the other designers will provide their own memoranda relating to their specific RBW design
☒	specialist designer who carried out specific elements of RBW design work as outlined in this memorandum – other designers will be providing a memorandum covering the remaining RBW design work

IDENTIFICATION OF DESIGN WORK THAT IS RESTRICTED BUILDING WORK (RBW)

I David Lai carried out the following design work that is restricted building work

PRIMARY STRUCTURE: B1

Design work that is restricted building work	Description	Carried out/supervised	Reference to plans and specifications
Tick (✓) if included Cross (✗) if excluded	[If appropriate, provide details of the restricted building work]	[Specify whether you carried out this design work or supervised someone else carrying out this design work]	[If appropriate, specify references]

Primary structure

All RBW Design work relating to B1	(*)		() Carried out () Supervised	
Foundation	(✓)	Subfloor with Ø150 SED driven timber piles	(✓) Carried out () Supervised	23141/S0.1 – S3.2, Rev A.
Walls	(*)		(*) Carried out () Supervised	
Roof	(*)		(*) Carried out () Supervised	
Columns and beams	(✓)	Non-NZS3604	(✓) Carried out () Supervised	23141/S0.1 – S3.2, Rev A.
Bracing	(✓)	To NZS3604	(✓) Carried out () Supervised	23141/S0.1 – S3.2, Rev A.
Other	(*)		(*) Carried out () Supervised	

EXTERNAL MOISTURE MANAGEMENT SYSTEMS: E2

All RBW design work relating to E2	(*)		() Carried out () Supervised	
Damp proofing	(*)		() Carried out () Supervised	
Roof cladding or roof cladding system	(*)		() Carried out () Supervised	
Ventilation system (for example, subfloor or cavity)	(*)		() Carried out () Supervised	
Wall cladding or wall cladding system	(*)		() Carried out () Supervised	
Waterproofing	(*)		() Carried out () Supervised	
Other	(*)		() Carried out () Supervised	

FIRE SAFETY SYSTEMS: C1 – C6

Emergency warning systems, evacuation and fire service operation systems, suppression or control systems, or other	(*)		() Carried out () Supervised	
--	-----	--	-----------------------------------	--

Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.

Note: continue on another page if necessary.

WAIVERS AND MODIFICATIONS

Waivers or modifications of the building code are required () Yes (x) No

If Yes, provide details of the waivers or modifications below:

Clause	Waiver/modification required
<i>[List relevant clause numbers of building code]</i>	<i>[Specify nature of waiver or modification of building code]</i>

Note: continue on another page if necessary.

ISSUED BY

Name: David Lai	LBP or Registration number: 232550
The practitioner is a: () Design LBP () Registered architect (x) Chartered professional engineer	
Design Entity or Company (optional): Focus Engineering Consultants Ltd	
Mailing address (if different from below):	
Street address / Registered office: Level 1, 240 Thorndon Quay	
Suburb: Pipitea	Town/City: Wellington
PO Box/Private Bag: PO Box 9586, Marion Square	Postcode: 6141
Phone number: 04- 382 8678	Mobile: 021 141 3735
After Hours: 021 141 3735	Fax:-
Email address: david.lai@focusec.co.nz	Website: www.focusec.co.nz

DECLARATION

I **David Lai** *[name of practitioner]*, LBP, On Behalf of

Focus Engineering Consultants Ltd, state that I have applied the skill and care reasonably required of a competent design professional in carrying out or supervising the Restricted Building Work (RBW) described in this form, and that based on this, I also state that the RBW:

- Complies with the building code; or
- Complies with the building code subject to any waiver or modification of the building code recorded on this form.

Signature:



Date: 10/05/2024



association
consulting
engineering



PRODUCER STATEMENT – PS1 DESIGN

BUILDING CODE CLAUSE(S): B1
ISSUED BY: FOCUS ENGINEERING CONSULTANTS LTD
(Engineering Design Firm)
TO: ROSE AND VALERIE COLLINGE
(Owner/Developer)
TO BE SUPPLIED TO: HUTT CITY COUNCIL
(Building Consent Authority)
IN RESPECT OF: NEW DWELLING
(Description of Building Work)
AT: 8 WILLOUGHBY STREET, WOBURN, LOWER HUTT
(Address, Town/City)
LEGAL DESCRIPTION: LOTS 78 DP 10974

JOB NUMBER: 23141

N/A ☐

We have been engaged by the owner/developer referred to above to provide (Extent of Engagement):
STRUCTURAL DESIGN OF FOUNDATION, BRACING, BEAMS AND POSTS

in respect of the requirements of the Clause(s) of the Building Code specified above for Part only, as specified in the Schedule, of the proposed building work.

The design carried out by us has been prepared in accordance with:

- ☒ Compliance documents issued by the Ministry of Business, Innovation & Employment (Verification method/acceptable solution) B1/VM1, B1/VM4, B1/AS1 and/or;
- ☐ Alternative solution as per the attached Schedule.

The proposed building work covered by this producer statement is described on the drawings specified in the Schedule, together with the specification, and other documents set out in the Schedule.

On behalf of the Engineering Design Firm, and subject to:

- Site verification of the following design assumptions: 150 DIA DRIVEN TIMBER PILES ACHIEVING 60KN AT ULS
- All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds that:

- the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the Schedule, will comply with the relevant provisions of the Building Code and that;
- the persons who have undertaken the design have the necessary competency to do so.

I recommend the CM 3 level of construction monitoring.

I, (Name of Engineering Design Professional) DAVID LAI, am:

- ☒ CPEng number 232550

and hold the following qualifications BE, ME(HONS)

The Engineering Design Firm holds a current policy of Professional Indemnity Insurance no less than \$200,000

The Engineering Design Firm is a member of ACE New Zealand.

SIGNED BY (Name of Engineering Design Professional): DAVID LAI
(Signature below):

ON BEHALF OF (Engineering Design Firm):

FOCUS ENGINEERING CONSULTANTS LTD

Date: 10/05/2024

Note: This statement has been prepared solely for the Building Consent Authority named above and shall not be relied upon by any other person or entity. Any liability in relation to this statement accrues to the Engineering Design Firm only. As a condition of reliance on this statement, the Building Consent Authority accepts that the total maximum amount of liability of any kind arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in tort or otherwise, is limited to the sum of \$200,000. ~~\$200,000~~ \$500,000. be

This form is to accompany **Form 2 of the Building (Forms) Regulations 2004** for the application of a Building Consent.

SCHEDULE to PS1

Please include an itemised list of all referenced documents, drawings, or other supporting materials in relation to this producer statement below:

23141_8 Willoughby Street_Structural Calculations_Rev A
23141_8 Willoughby Street_Structural Specifications_Rev A
23141_8 Willoughby Street_Structural Drawings_Rev A/S0.1-S3.2
23141_8 Willoughby Street_Inspection Schedule_Rev A

GUIDANCE ON USE OF PRODUCER STATEMENTS

Information on the use of Producer Statements and Construction Monitoring Guidelines can be found on the Engineering New Zealand website

<https://www.engineeringnz.org/engineer-tools/engineering-documents/producer-statements/>

Producer statements were first introduced with the Building Act 1991. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects (NZIA), Institution of Professional Engineers New Zealand (now Engineering New Zealand), Association of Consulting and Engineering New Zealand (ACE NZ) in consultation with the Building Officials Institute of New Zealand (BOINZ). The original suite of producer statements has been revised at the date of this form to ensure standard use within the industry.

The producer statement system is intended to provide Building Consent Authorities (BCAs) with part of the reasonable grounds necessary for the issue of a Building Consent or a Code Compliance Certificate, without necessarily having to duplicate review of design or construction monitoring undertaken by others.

PS1 DESIGN Intended for use by a suitably qualified independent engineering design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent;

PS2 DESIGN REVIEW Intended for use by a suitably qualified independent engineering design review professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent;

PS3 CONSTRUCTION Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2013 or Schedules E1/E2 of NZIA's SCC 2011²

PS4 CONSTRUCTION REVIEW Intended for use by a suitably qualified independent engineering construction monitoring professional who either undertakes or supervises construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate.

This must be accompanied by a statement of completion of building work (Schedule 6).

The following guidelines are provided by ACE New Zealand and Engineering New Zealand to interpret the Producer Statement.

Competence of Engineering Professional

This statement is made by an engineering firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its personnel.

The person signing the Producer Statement on behalf of the engineering firm will have a professional qualification and proven current competence through registration on a national competence-based register such as a Chartered Professional Engineer (CPEng).

Membership of a professional body, such as Engineering New Zealand provides additional assurance of the designer's standing within the profession. If the engineering firm is a member of ACE New Zealand, this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent engineering professional".

Professional Indemnity Insurance

As part of membership requirements, ACE New Zealand requires all member firms to hold Professional Indemnity Insurance to a minimum level.

The PI Insurance minimum stated on the front of this form reflects standard practice for the relationship between the BCA and the engineering firm.

Professional Services during Construction Phase

There are several levels of service that an engineering firm may provide during the construction phase of a project (CM1-CM5 for engineers³). The building Consent Authority is encouraged to require that the service to be provided by the engineering firm is appropriate for the project concerned.

Requirement to provide Producer Statement PS4

Building Consent Authorities should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the Design Firm's engagement.

Refer Also:

- ¹ Conditions of Contract for Building & Civil Engineering Construction NZS 3910: 2013
- ² NZIA Standard Conditions of Contract SCC 2011
- ³ Guideline on the Briefing & Engagement for Consulting Engineering Services (ACE New Zealand/Engineering New Zealand 2004)
- ⁴ PN01 Guidelines on Producer Statements

www.acenz.org.nz

www.engineeringnz.org

Memorandum from licensed building practitioner: Certificate of design work

Section 45 and Section 30C, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address:	8 Willoughby Street		
Suburb:	Woburn		
Town/City:	Lower Hutt	Postcode:	5010

THE OWNER

Name(s):	Ross and Valerie Collinge C/- a.k.a Architecture - Karl Wipatene		
Mailing address:	8 Willoughby Street		
Suburb:	Woburn	PO Box/Private Bag:	
Town/City:	Lower Hutt	Postcode:	5010
Phone number:	Email address: karl@akaltd.co.nz		

BASIS FOR PROVIDING THIS MEMORANDUM

I am providing this memorandum in my role as the: Please tick the option that applies (✓)	
()	sole designer of all of the RBW design outlined in this memorandum – I carried out all of the RBW design myself – no other person will be providing any additional memoranda for the project
()	lead designer who carried out some of the RBW design myself but also supervised other designers – this memorandum covers their RBW design work as well as mine, and no other person will be providing any additional memoranda for the project
()	lead designer for all but specific elements of RBW – this memorandum only covers the RBW design work that I carried out or supervised and the other designers will provide their own memoranda relating to their specific RBW design
(✓)	specialist designer who carried out specific elements of RBW design work as outlined in this memorandum – other designers will be providing a memorandum covering the remaining RBW design work

IDENTIFICATION OF DESIGN WORK THAT IS RESTRICTED BUILDING WORK (RBW)

I David Lai carried out the following design work that is restricted building work

PRIMARY STRUCTURE: B1

Design work that is restricted building work	Description	Carried out/supervised	Reference to plans and specifications
Tick (✓) if included Cross (x) if excluded	[If appropriate, provide details of the restricted building work]	[Specify whether you carried out this design work or supervised someone else carrying out this design work]	[If appropriate, specify references]

Primary structure

All RBW Design work relating to B1	(*)		() Carried out () Supervised	
Foundation	(✓)	Subfloor with Ø150 SED driven timber piles	(✓) Carried out () Supervised	23141/S0.1 – S3.2, Rev A.
Walls	(*)		(*) Carried out () Supervised	
Roof	(*)		(*) Carried out () Supervised	
Columns and beams	(✓)	Non-NZS3604	(✓) Carried out () Supervised	23141/S0.1 – S3.2, Rev A.
Bracing	(✓)	To NZS3604	(✓) Carried out () Supervised	23141/S0.1 – S3.2, Rev A.
Other	(*)		(*) Carried out () Supervised	

EXTERNAL MOISTURE MANAGEMENT SYSTEMS: E2

All RBW design work relating to E2	(*)		() Carried out () Supervised	
Damp proofing	(*)		() Carried out () Supervised	
Roof cladding or roof cladding system	(*)		() Carried out () Supervised	
Ventilation system (for example, subfloor or cavity)	(*)		() Carried out () Supervised	
Wall cladding or wall cladding system	(*)		() Carried out () Supervised	
Waterproofing	(*)		() Carried out () Supervised	
Other	(*)		() Carried out () Supervised	

FIRE SAFETY SYSTEMS: C1 – C6

Emergency warning systems, evacuation and fire service operation systems, suppression or control systems, or other	(*)		() Carried out () Supervised	
--	-----	--	-----------------------------------	--

Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.

Note: continue on another page if necessary.

WAIVERS AND MODIFICATIONS

Waivers or modifications of the building code are required () Yes (x) No

If Yes, provide details of the waivers or modifications below:

Clause	Waiver/modification required
<i>[List relevant clause numbers of building code]</i>	<i>[Specify nature of waiver or modification of building code]</i>

Note: continue on another page if necessary.

ISSUED BY

Name: David Lai	LBP or Registration number: 232550
The practitioner is a: () Design LBP () Registered architect (x) Chartered professional engineer	
Design Entity or Company (optional): Focus Engineering Consultants Ltd	
Mailing address (if different from below):	
Street address / Registered office: Level 1, 240 Thorndon Quay	
Suburb: Pipitea	Town/City: Wellington
PO Box/Private Bag: PO Box 9586, Marion Square	Postcode: 6141
Phone number: 04- 382 8678	Mobile: 021 141 3735
After Hours: 021 141 3735	Fax:-
Email address: david.lai@focusec.co.nz	Website: www.focusec.co.nz

DECLARATION

I **David Lai** *[name of practitioner]*, LBP, On Behalf of

Focus Engineering Consultants Ltd, state that I have applied the skill and care reasonably required of a competent design professional in carrying out or supervising the Restricted Building Work (RBW) described in this form, and that based on this, I also state that the RBW:

- Complies with the building code; or
- Complies with the building code subject to any waiver or modification of the building code recorded on this form.

Signature:



Date: 10/05/2024

Historic Building Card and Pre-1990 Building Permits Plans

P 223000-8

8-10

Street: WILLOUGHBY ST. P.P. No. 10974 Sec. Lot: 57/8

DRAINAGE AND PLUMBING REGISTER.

Block:

Owner: R & V Collinge	Permits: 6670
Address: Willoughby St.	Building No. #193
Builder: G. Hansen.	" 1409 9107
Plumber: -	" 17819
Drainlayer: -	Value: \$35. 18019
Nature of Work: Garage.	GARAGE H1427
W.C.'s: Baths: Basins: 1956	Repile dwg 50308
Plan Submitted: 221 3137	No. 8 2857 2960 516/76
Plans Approved: 221 3137	port + pergola
Permit Issued: 221 3137	

P 223000-8

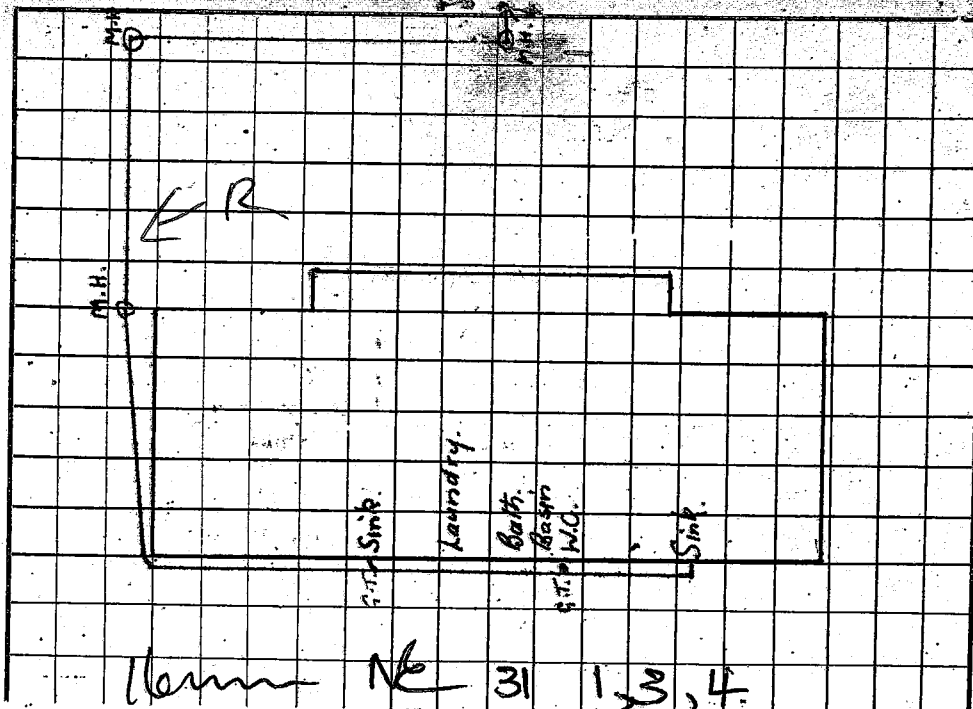
Street: WILLOUGHBY ST. D.P. No. Karps. Subd. Sec. Lot: 4/8

DRAINAGE AND PLUMBING REGISTER. Block:

Owner: <u>Miss J. Beale.</u>				Permits.	
Address: <u>Stratford.</u>				Building No. <u>H109.</u>	
Builder: <u>Swaysland & Son.</u>				"	
Plumber: <u>Dudding, Smith & Coxon.</u>				"	
Drainlayer: <u>"</u>				Value: <u>£950.</u>	
Nature of Work: <u>Dwell. in Wood.</u>				No. of Rooms: <u>5.</u>	
W.C.'s: <u>1</u>	Baths: <u>1</u>	Basins: <u>1</u>	Sinks: <u>1</u>	Tubs: <u>2.</u>	
Plan Submitted:		<u>20/ 11/36</u>	Drain Tested:		<u>1 1</u>
Plans Approved:		<u>20/ 11/36</u>	Plumbing Passed:		<u>1 1</u>
Permit Issued:		<u>20/ 11/36</u>	Occupation Cert.		<u>1 1</u>

Inspector.

Drainage Plan Scale.



Frontage

LOWER HUTT CITY COUNCIL

BUILDING APPLICATION FORM

Date

TO THE CITY ENGINEER,
ENGINEER'S OFFICE,
LOWER HUTT.

I hereby apply for permission to erect, alter, repair a

Army Hut (15' x 8')

according to locality plan and detailed plans, elevations,
cross-sections, and specifications of building deposited herewith, in duplicate.

Situation:

Willingby

(Street).

Lot No. 748

Frontage:

80

feet

Area:

a

r

p

D.P. No.

10974

Depth (average)

160

feet.

Name of Owner:

Mrs. Beale

Address:

Regatta & Willoughby Street, LHT

Particulars of Building Foundations:

None

wood

Walls:

Wood

Roof:

Ralthoid

Area of ground floor:

120

square feet.

Area of outbuildings

120

square feet.

Estimated Cost—

Building

£

22

Plumbing and Drainage

£

Total

£

22

Proposed purpose for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose):

Tool shed

Nature of ground on which building is to be placed and of the subjacent strata (e.g., ground water level):

And I do hereby agree to abide by all the provisions of the Lower Hutt City Council By-laws governing and regulating all matters the subject of the foregoing.

Address

Box 14, Lower Hutt

Builder.

FILE No.

6670

PERMIT No.

6670

DATE OF PERMIT

11-6-45

ADDRESS

8-10 Willoughby St

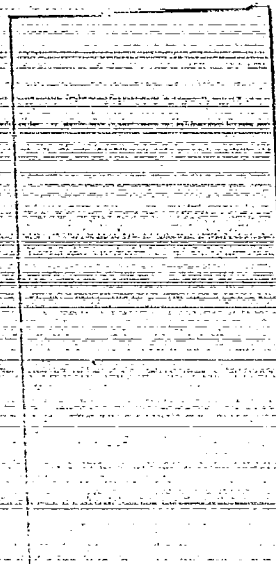
Filem

31

3

129

3.0
0.8



Plan Duplicated 15/45
 Plan Approved 11/6/45
 Building Permit No. 6640
 Draining Permit No.
 Water Permit No.
 Owner *J. H. Biale*
 Builder
 Street *Welloughby Street*
 Sec. *28.10874* Lot *7/8*

APPROVED
 SUBJECT TO
 REGULATIONS

250
 ON
 CON
 2 MAY 1945 *J. H. Biale*

LOWER TOWN COUNCIL
 THIS BUILDING PERMIT IS NOT
 FOR RESIDENTIAL OR BUSINESS
 PURPOSES. *J. H. Biale*
 OWNER

Welloughby St.

LOWER HUTT BOROUGH COUNCIL.

Phone 46-407.
Wellington Exchange.
Hutt Exchange, No. 63.

BOROUGH ENGINEER'S OFFICE,
LOWER HUTT, N.Z.

SCHEDULE I.

FORM 1.

APPLICATION FOR A PERMIT TO BUILD, ALTER,
OR RE-BUILD, OR RECONSTRUCT ANY BUILDING.

Situation of Section (Street)..... *Willingly St.*.....

AREA.	Block:.....	Depth.....	<i>B.P. 4109</i>
	Section:.....	Frontage.....	... a . . r . . p .
	Lot, (or Part) <i>7/8</i>		

Name of Owner:..... *J. M. S. Beale*.....

Occupation:..... *Photographer*.....

Address:..... *Redgate, Willingly St.*.....

I hereby apply for a permit (or permits) for:—

(a) To erect, alter, re-construct, a..... *garage*.....
..... in Wood, Iron,

~~Brick, Concrete,~~

And I do hereby agree to abide by all the provisions of the Lower Hutt Borough Council By-laws governing and regulating all matters the subject of the foregoing.

The total value of the work or works to be performed in connection with the permit (or permits) above applied for is (or are) estimated by me at £ : : .

I herewith tender the necessary fees amounting to the sum of £ : : .

J. M. S. Beale
Builder (or Owner)

1942

Mrs. T. H. Galbraith,
Willoughby Street,
LOWER HUTT.

Office of the District Building Controller,
Private Bag, WELLINGTON.
29th Sept. 1949.

Dear Sir,—

AUTHORITY TO PROCEED WITH A CONSTRUCTIONAL WORK

(Before commencing work, a formal Building Permit is to be obtained from the Local Authority)

APPLICANT: Mrs. R. H. Galbraith
BUILDER: self
PROPOSAL: Additions to dwelling.
ESTIMATED COST: £270

*for visit
builder*

The above proposal is approved subject to the work being carried out in accordance with Local Body By-laws, Building Control Regulations, Building Control Notices, and any special conditions shown hereunder.

Additional bedroom not to exceed 150 ^{Sq. ft.} in area.

M. R. D. S. ✓
7-10-49.
B/E
The City Engineer,
Lower Hutt City Council,
LOWER HUTT.

for

J. E. Pfeffer
District Building Controller.

M 24

LOWER HUTT CITY CORPORATION BUILDING APPLICATION

Date 7/1/80

TO THE CITY ENGINEER
LOWER HUTT

I hereby apply for permission to erect, alter, add to, or remove a GARAGE

according to locality plan and detailed plans, elevations, drainage plans, cross-sections, and specifications deposited herewith, in duplicate.

ADDRESS OF PROPOSED WORK: Willoughby St. Lower Hutt

LOT No. 715 D.P. No. 1 Site Area PICNIC

NAME OF OWNER: James + S. Millar

PRESENT ADDRESS: 8-10 Willoughby St. Lower Hutt

TYPE OF FOUNDATIONS Concrete WALLS brick ROOF iron

Area of Basement	sq. metres	ESTIMATED VALUE
" " Ground floor	" "	Building \$ 15.00
" " Top floor	" "	Sanitary Plumbing \$
TOTAL FLOOR AREA	" "	Drainage \$ 20.00
Area of Outbuildings	" "	TOTAL \$ 35.00

Purpose for which building is to be used or occupied (intended use of each part shown on plan).
State if building is for sale or rental (information required by Government Statistician).

Garage

And I do hereby agree to abide by all the provisions of the Lower Hutt City Corporation By-laws governing and regulating all matters the subject of the foregoing.

BUILDER (S. Millar) Telephone No. 66746
SIGNATURE (S. Millar) (8 a.m. to 4.30 p.m.)

ADDRESS 8-10 Willoughby St. Lower Hutt

Register No. M 24 (FOR LOWER HUTT CITY CORPORATION USE ONLY)
Plan file No. 6670

Documents Received

BUILDING	FEES	OFFICERS	DATE
PLUMBING	20	INITIALS	
DRAINAGE	5		13.1.80
VEHICLE CROSSING	25		13.3.80
TOTAL FEES \$	50		

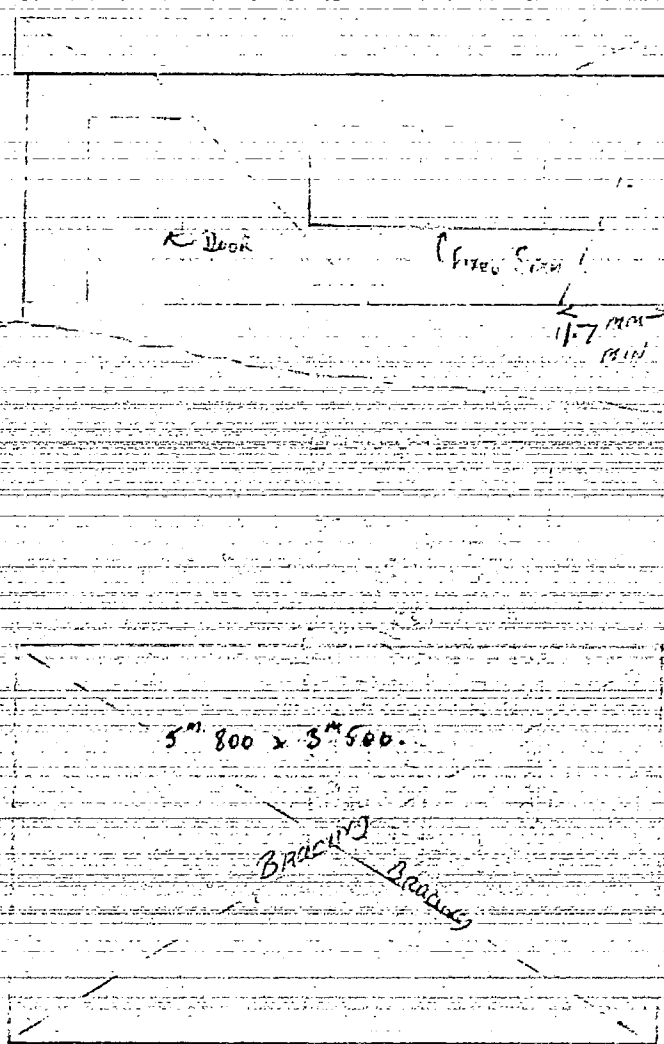
TOWN PLANNING OK (Recd 10/3/80)
DANGEROUS GOODS, SIGNS, ETC.
DESIGN ENGINEER

NOTE: Following owner's consent enclosed.
All work, bracing to comply with 3604.
Existing foundations appear sound.

FILE No. 6670
PERMIT No. H1120
DATE OF PERMIT 26-3-80
ADDRESS 8-10 WILLOUGHBY ST
Plan 31 - H

SIDE ELEVATION
(NORTH)

FLOOR PLAN



100" x 50"
STUDS &
DRINKS
(STUDS @
600")
100" x 50"
BRACING
(CREATED RADHATA PINE)

75-500 Hurdles
at 750 CRS
Pryde Type B
domestic Truss
900 CRS

ALL WORKS LINES WITH BUILDING
PAPER. 200" VERTICAL PAPER ON
H-E-W WALLS. 100" VERTICAL ON S WALL.
(HARD WEATHER BOARD)
CORRUGATED IRON ROOF
(NETTING - FORMING PAPER
- 100" VERTICAL)

GRAVITISED
ROUTING & RIMU
PISCIN & BARGE
2 T.G.V. DOORS
HITED

MINI 150MM
GL

150MM

150MM
100" VERTICAL STEEL IN
CONTINUOUS FOUNDATION

PROPOSED GARAGE - 8 WILLOUGHBY ST - J + S P MILLAR
SCALE 1" = 20'

APPROVAL FOR ISSUE OF BUILDING PERMIT.

Street: Welloughby

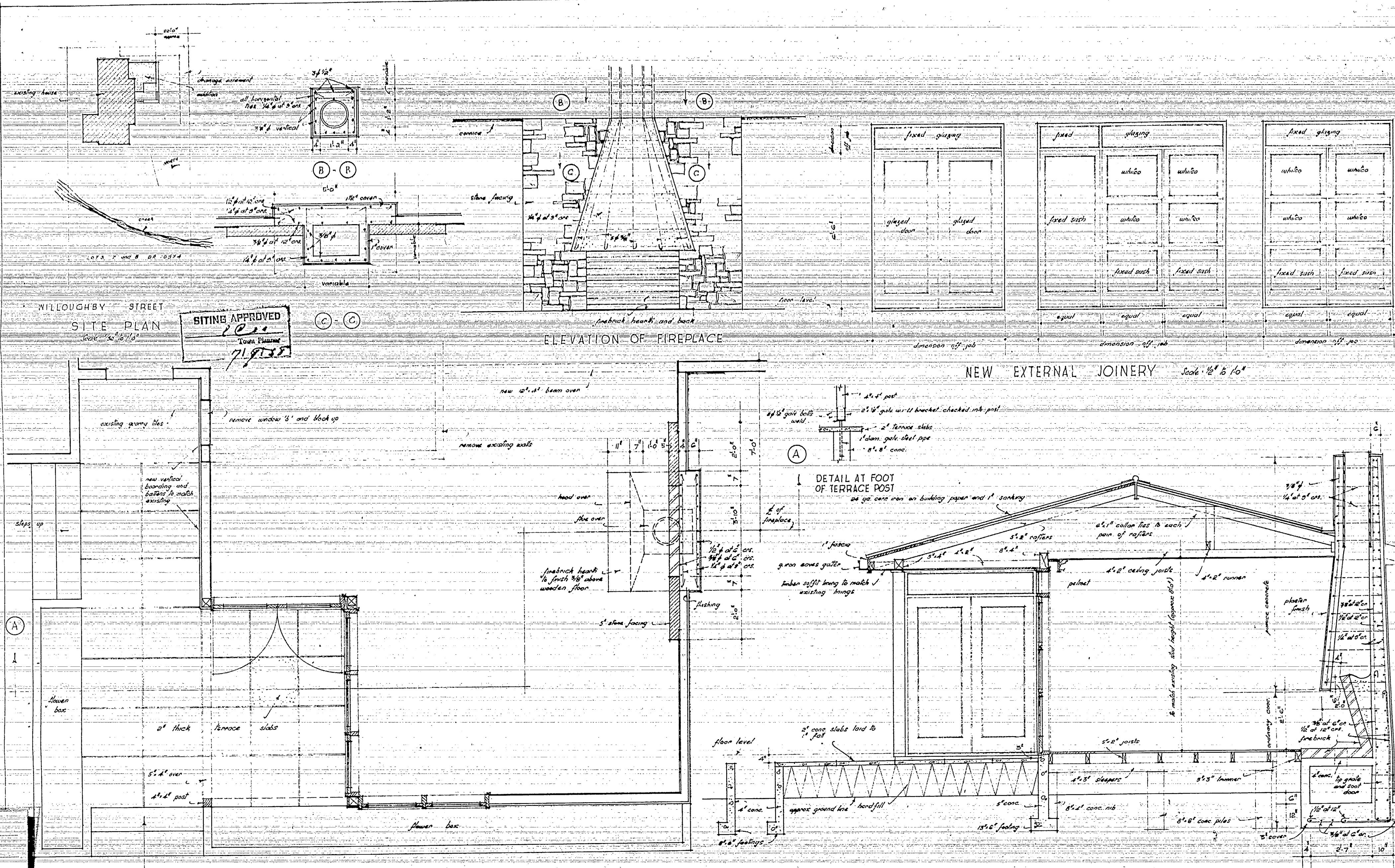
Amount
of fee
where
appli-
cable.

1. *Introduction*

Permit may be issued
subject to the following
conditions:

Roost space below hatcher appears to allow fair quantity
of roost not able to be cleaned out!

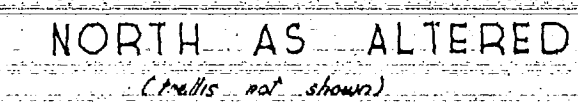
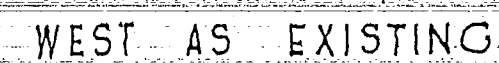
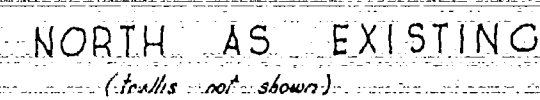
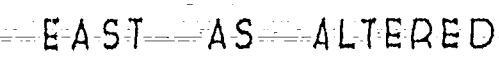
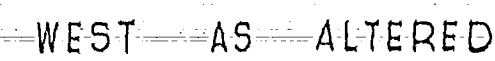
SATISFACTORILY
COMPLETED:



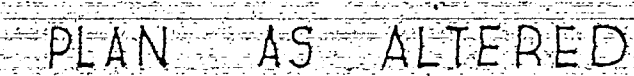
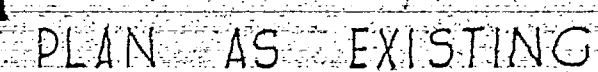
FILE No. 6670
PERMIT No. 18019
DATE OF PERMIT 18-9-58
ADDRESS 8-10 WILLOUGHBY ST
Pikm 31-3

ALTERATIONS TO NO. 8 WILLOUGHBY ST. LOWER HUTT FOR T.H. GALBRAITH ESQ.

Girdlestone and Mitchell, Registered Architects, Lower Hutt
August 1958. scales: 1/2" = 1'0" Drawing No. 61/3/7

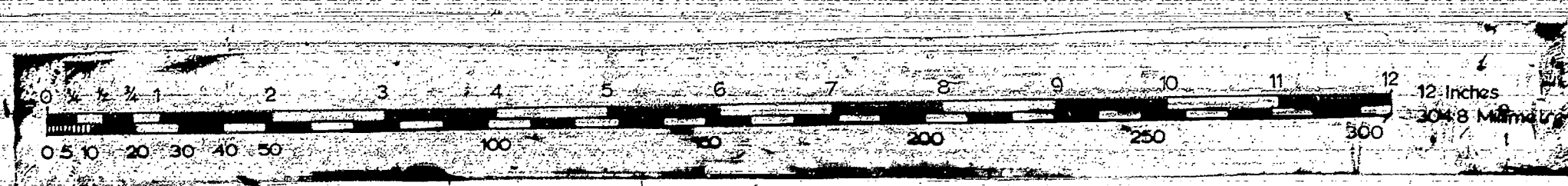


- ## ELECTRICAL INDICATIONS



ALTERATIONS TO NO. 8 WILLOUGHBY ST. LOWER HUTT FOR T.H. GALBRAITH ESQ.

Girdlestone and Mitchell - Registered Architects - Lower Hall
August 1958 - scale 1/8 in. to 1 ft. Drawing No. 61/2/6



Registration No.

LOWER HUTT CITY COUNCIL

CITY ENGINEER'S DEPARTMENT

APPROVAL FOR ISSUE OF BUILDING PERMIT

C17

Application for REPILE Date 23/12/85
 Name of Owner COLLINS Lot 78
 Address of Job 8 VILLAGE GABY ST D.P. 12974

BUILDING INSPECTORS:	Approved	Fee:	
Builder's and Owner's name and address		\$	c
Building Research Levy			
Ground levels and foundations			
Use of building and description on application			
General construction dwellings, etc.			
Values on application			
Chimneys, heating appliances, flues, etc.			
Fee, water for builders			
Special requirements - factories, boarding houses, hotels, public buildings, picture theatres			
Vehicle crossing			
Builder's deposit (footpath damage, etc.)			
Temporary hoardings on footpath			
Encroachments on street (foundation or overhangs)			
Issued subject to legal agreement			
Builder informed to notify for first inspection			
Street Sheet Check for Engineering restrictions			
TOTAL FEES:		31	-

Notes: ENDORSE TO PER COMMENTS & STAMPS ON PLAN

[Signature] Building Inspector Date 7/3/86
 Chief Building Inspector Date

DESIGN ENGINEER: Fire Risk Area: Occupancy Classification: Type of Construction:

Means of egress: Referred to Chief Fire Officer: Structural calculations: General construction: Referred to Licensing Inspector: Notes:

(*) CA Dunning Consultants
P.O. Box 27-153
Wellington
(*) Engineer (Designing) to supervise construction and inspect pile holes prior to any concrete being poured to verify available bearing capacity
[Signature] Design Engineer
 Date

CORRECT SITING:
 CORRECT FOUNDATIONS:

	Value	Approved	Fee
Sanitary Plumbing:	\$		
Drainage	\$		
Sewer Drainage requirement			
Stormwater requirement			
Water requirement			
Health & Food Acts, Regs. etc.			
Storage Dangerous Goods, Fuel, Oil, etc.			
TOTAL FEES			\$

Notes: SEE APPLICATION

Plumbing/Drainage Insp. Date
 Health Inspector Date

DRAINAGE ENGINEER:

Water Engineer Date

WATER ENGINEER

Water Engineer Date

TOWN PLANNER Street Sheet Check for T.P. Restrictions:

Zone RPS CENTRAL Use 1/2 Site Area ✓
 Yards ✓ Height ✓ Density ✓ Coverage ✓
 Parking & Loading: Remarks (e.g. Verandahs, Areas of titles):

[Signature] Town Planner Date 7/1/86

BUILDING APPLICATION

TO THE CITY ENGINEER
LOWER HUTT CITY COUNCIL

Date 23/12/85

I hereby apply for permission to erect, alter, add to, A

repiling + rewalling

according to locality plan and detailed plans, elevations, drainage plans, cross-sections, and specifications deposited herewith, in duplicate.

ADDRESS OF PROPOSED WORK: 8 Willoughby St

LOT No. 7B D.P. No. 10974 Site Area 1200 M2

NAME OF OWNER: R H + V E COLLIERE

PRESENT ADDRESS: 8 Willoughby St, Lower Hutt

TYPE OF FOUNDATIONS _____ WALLS _____ ROOF _____

		ESTIMATED VALUE	
Area of Basement	M ²	Building	\$
" " Ground floor	"	Sanitary Plumbing	Labour \$
" " Top floor	"	Drainage	Only \$
TOTAL FLOOR AREA	"	TOTAL	\$ <u>2600</u>
Area of Outbuildings	"		

Purpose for which building is to be used or occupied (intended use of each part shown on plan).
State if building is for sale or rental (information required by Government Statistician).

owner occupier

SIGNATURE OF PERSON DEPOSITING PLANS R H + V E Colliere Telephone 685341

And I do hereby agree to abide by all the provisions of the Lower Hutt City Council By-laws governing and regulating all matters the subject of the foregoing.

BUILDER R H + V E Colliere

SIGNATURE R H + V E Colliere Telephone No. 685341

ADDRESS 8 Willoughby St Lower Hutt (8 a.m. to 4.30 p.m.)

FOR LOWER HUTT CITY COUNCIL USE ONLY

Register No. C17 Plan Site No. 6670

Documents Received

BUILDING _____
PLUMBING _____
DRAINAGE _____
VEHICLE CROSSING _____
Fee/Deposit _____

FEES	CENTS	OFFICERS INITIALS	DATE
31	-	<u>ed</u>	7/5/86
<u>11</u>		<u>ed</u>	24-11-85
TOTAL FEES \$	31		

TOWN PLANNING [Signature]

DANGEROUS GOODS, SIGNS, ETC.

DESIGN ENGINEER [Signature]

NOTE: ENGINEERS REPORT & SPECIS TO COME (DRAININGS)

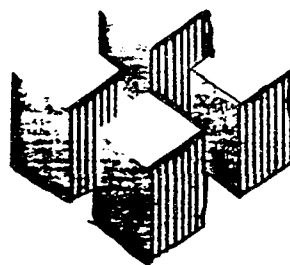
WARTLEY-0008

FILE No. _____
PERMIT No. 50308
DATE 22/4/86
ADDRESS 8 WILLOUGHBY ST.
16mm FILM 226-85
* SPECIFICATION & CALCS *

C.A. Dunning Consultants

Civil & Structural Engineers / Project & Construction Consultants

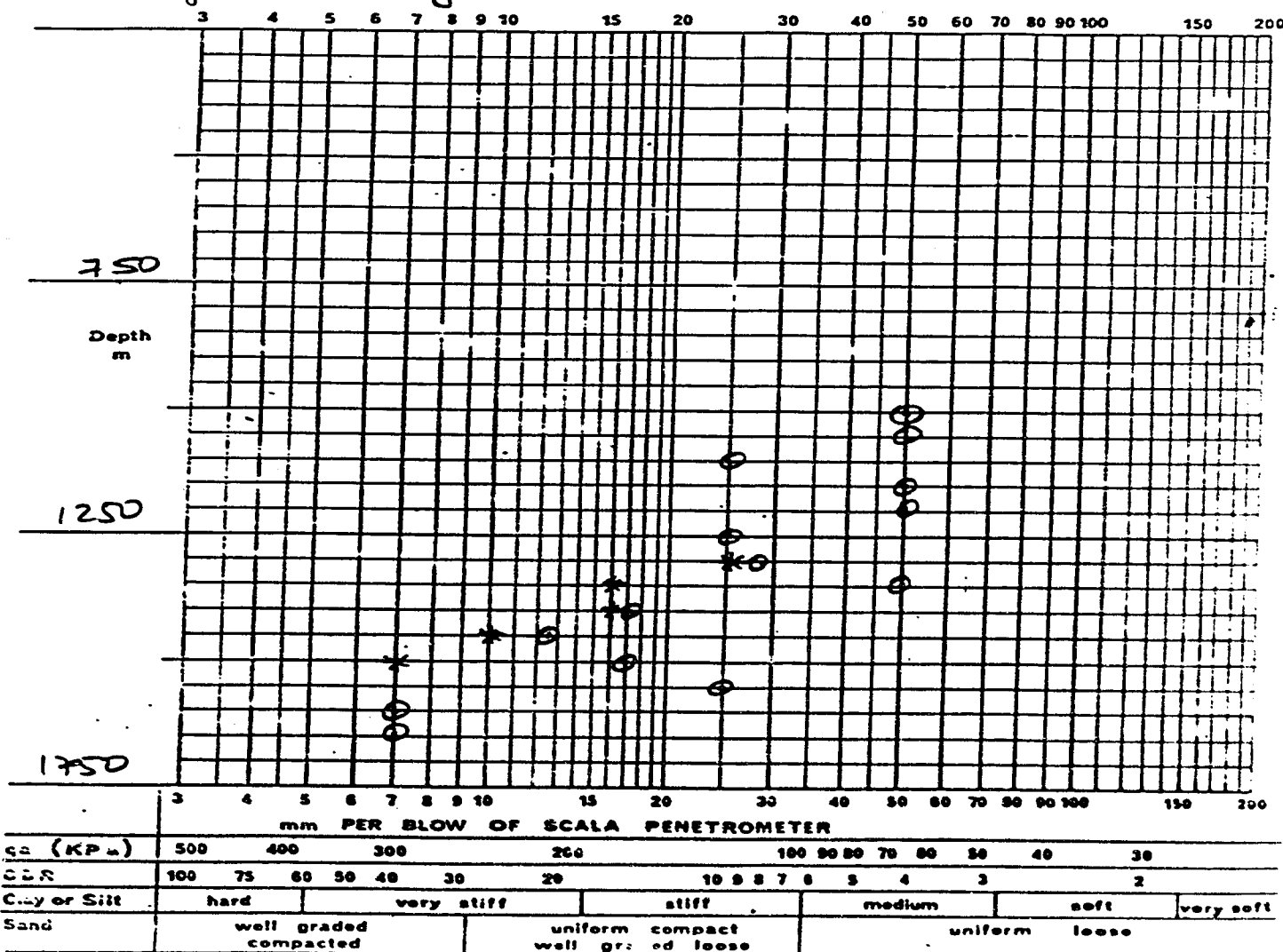
77 Abel Smith Street, P.O.Box 13-273, Wellington, Phone 848-272



P1 *

P2 ⊙

B Willoughby Tce.
for Collinge



C.A. Dunning Consultants

Civil & Structural Engineers / Project & Construction Consultants

77 Abel Smith Street, P.O.Box 13-273, Wellington, Phone 848-272

PENETROMETER TEST

LOCATION: B W Mayfield St MATERIAL:

PT no = Penetration test no., D = depth, N = no. of blows / 2".

PT no 1 2 PT no 3 4 PT no 5 C

D	N	D	N	D	N	D	N	D	N	D	N
0		72		0		72	<i>solid</i>	0		72	
2		74		2		74		2		74	
4		78		4		78		4		76	
6		78		6		78		6		78	
8		80		8		80		8		80	
10		82		10		82		10		82	
12		84		12		84		12		84	
14		86		14		86		14		86	
16	<i>put</i>	88		16		88		16		88	
18		90		18		90	<i>slide</i>	18		90	
20		92		20		92		20		92	
22		94		22		94		22		94	
24		96		24		96	<i>68"</i>	24		96	
26		98		26		98		26		98	
28		100		28		100		28		100	
30		102		30		102		30		102	
32		104		32		104		32		104	
34		106		34		106		34		106	
36	<i>put</i>	108	<i>put</i>	36		108		36		108	
38		110		38		110		38		110	
40		112		40		112		40		112	
42		114		42		114		42	<i>solid</i>	114	
44		116		44		116		44		116	
46	<i>1</i>	118		46		118		46		118	
48		120		48		120		48		120	
50		122		50		122		50		122	
52	<i>2</i>	124		52		124		52		124	
54		126		54		126		54		126	
56	<i>3</i>	128		56	<i>put</i>	128		56		128	
58		130		58		130		58		130	
60		132		60		132		60		132	
62	<i>solid</i>	134		62		134		62		134	
64		136		64		136		64		136	
66		138		66		138		66		138	
68		140		68		140		68		140	
70		142		70		142		70		142	

TEST BY:

DATE:

Bearing capacity at solid
- 150 kPa.

300 ϕ pile - 10.6 kN/pile.

bell out at base to
450 ϕ = 24 kN/pile.

Load single storey 5 kPa max.

Loaded area - $\frac{3.5 \times 9.5}{2 \times 2} \times 5 = \underline{42 \text{ kN}}.$

$\Rightarrow$ friction req^d - $18 \text{ kN} / 0.3 \times \pi = 19 \text{ kPa}.$
normal
dr

Beam size - $\frac{6.5^2}{8} \times 5 \times \frac{3.5}{2} \approx \underline{46 \text{ kNm}}.$

$\Rightarrow$ 200 NB37 dr

$$\Delta = \frac{5 \times 5.0 \times 3.5 / 2 \times 6.5^4}{394 \times 200 \times 28.9} = 18 \text{ --}$$

allowable 39 --
dr.

Deck load - lightweight roof & posts.

$$0.5 \text{ kPa} \times \frac{2.0}{2} = 0.5 \text{ kN/m}.$$

Span of beam under deck - $6.5/2 = \underline{3.25m}$.

$$M = \frac{2.5 \times 3.25^2}{8} = 3.33 \text{ kN} - \dots$$

live - 2.0 kPa

use 200 x 50.

$$Z = 0.33 \times 10^6 - -$$

$$\frac{M}{Z} = 10 \text{ MPa.}$$

use 2/200 x 50.

$$\text{defl} = 10.9 - -$$

17.5 - - allowable
- - ok.

beam under proposed house structure.

span - 3.3m.

$$\text{loaded area } \frac{2.3}{2} = \underline{1.15m}$$

load -	0.5 kPa	dead	floor.
	0.5 kPa	dead	roof.
	0.75 kPa	dead	wall
	1.5 kPa	live	floor.

$$2.5 \text{ kPa} \times 1.15 = 2.88 \text{ kN/m.}$$

$$\underline{3.63 \text{ kN/m.}} \quad \text{total D+L}$$

$$M = \frac{3.63 \times 3.3^2}{8} = 4.93 \text{ kN} -$$

$$300 \times 100 \quad Z = \frac{300^2 \times 100}{6} = 1.5 \times 10^6 - -$$

$$250 \times 100 \quad Z = \frac{250^2 \times 100}{6} = 1.04 \times 10^6 - - \quad \text{ok.}$$

$$3300/50 = 66$$

$$KB = 0.55$$

$$\frac{M}{Z} = 4.74 \text{ MPa}$$

$$\text{allowable} = 0.55 \times 8.3 = 4.56 \text{ MPa}$$

**LOWER HUTT CITY COUNCIL
BY-LAW REQUIREMENTS**

This plan and specification must be kept on the site of the works during construction.

No concrete shall be placed in foundations until excavations and all reinforcements have been checked and passed by the Council Inspector.

LOWER HUTT CITY COUNCIL BUILDING

INSPECTORS TO BE NOTIFIED WHEN THIS WORK COMMENCES

LOWER HUTT CITY COUNCIL

A minimum of 24 hrs notice is required for inspection prior to the placement of ALL STAGES OF CONCRETE AND MASONRY, INSULATION, LININGS, CLADDING, ROOFING.

ENGINEERS COMMENTS

to ensure the work is done to the satisfaction of the Council.

Consider the design of the structure and that the design is in accordance with the relevant standards and codes of practice.

The design of the structure should be checked and approved by the Council Inspector.

Consider the design of the structure and that the design is in accordance with the relevant standards and codes of practice.

The design of the structure should be checked and approved by the Council Inspector.

Consider the design of the structure and that the design is in accordance with the relevant standards and codes of practice.

The design of the structure should be checked and approved by the Council Inspector.

note the work to be removed during construction above this level

excavated not to be used for anything

FLOOR PLAN
(EXCLUDING ROOFING COVERED)

**LHCC
SITING APPROVED**

TOWN PLANNER *[Signature]*

DATE: 7/10/86

NOTE

- * Timber to be constructed on site
- * Concrete to be 100% strength
- * Floor plate then used to be built up to level

FOUNDATION PLAN

DELIVERED

FILE No. _____

PERMIT No. 50308

DATE 22/4/86

ADDRESS 8 WILLOUGHBY ST.

WORTH FILM 226-85

* SPECIFICATION * CALCS *

LOWER HUTT BOROUGH COUNCIL.

Phone 46-407.
Wellington Exchange.
Hutt Exchange, No. 53.

BOROUGH ENGINEER'S OFFICE,
LOWER HUTT, N.Z.

November 20th, 1936

SCHEDULE I.

FORM 1.

APPLICATION FOR A PERMIT TO BUILD, ALTER,
OR RE-BUILD, OR RECONSTRUCT ANY BUILDING.

Situation of Section (Street) *Willoughby*

AREA.	Block:.....	Depth.	
	Section: <i>25/26</i>	<i>161' 7"</i>	a. / r. o. y. / p.
	Lot, (or Part) <i>1/8</i>	<i>30 ft.</i>	

Name of Owner: *Miss Joyce Beale*

Occupation:.....

Address:..... *Stratford*

I hereby apply for a permit (or permits) for:—

(a) To erect, alter, re-construct, a *Residence*

..... in Wood, Iron,
Brick, Concrete,

And I do hereby agree to abide by all the provisions of the Lower
Hutt Borough Council By-laws governing and regulating all matters the
subject of the foregoing.

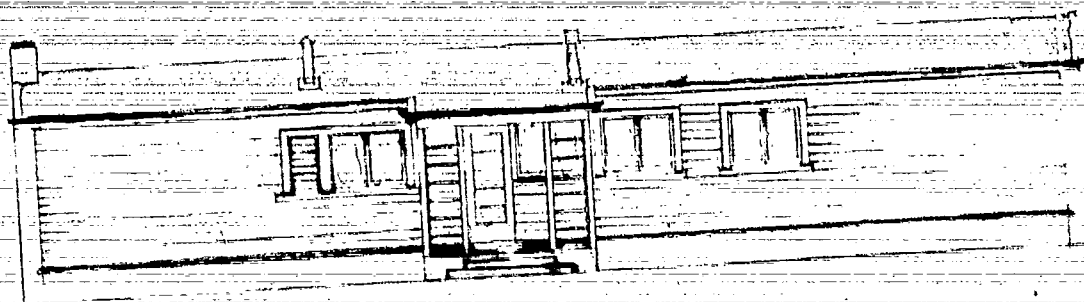
The total value of the work or works to be performed in connection
with the permit (or permits) above applied for is (or are) estimated by me
at £950 : : :

I herewith tender the necessary fees amounting to the sum of

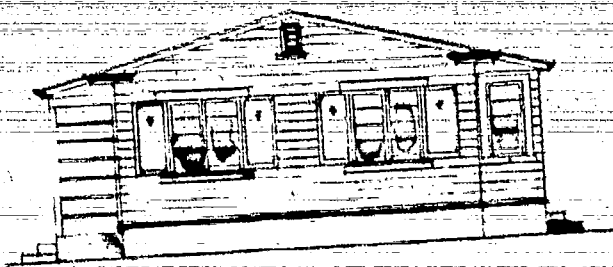
Quaylands & Co.
Builder (or Owner).
B B Quaylands

HOUSE AT LOWER HUTT, WELLINGTON, FOR MISS JOYCE BEALE

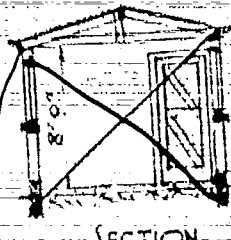
SCALES: $\frac{1}{8}" = \frac{1}{4}" = \frac{1}{16}" = 1 \text{ Foot}$



SOUTH ELEVATION



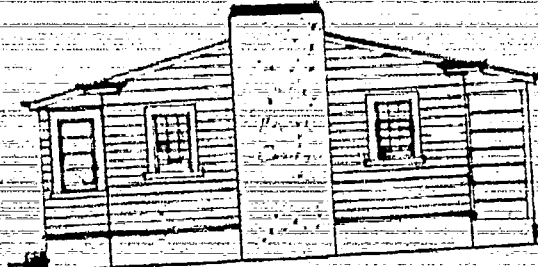
EAST ELEVATION



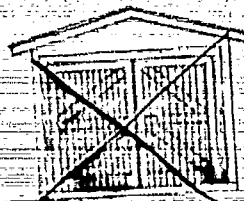
SECTION



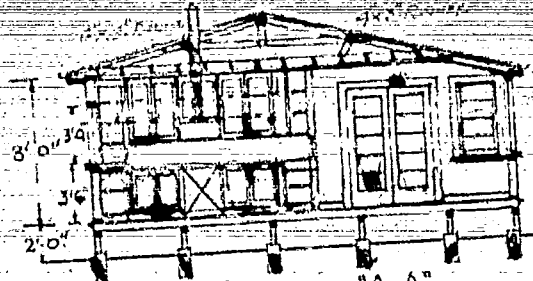
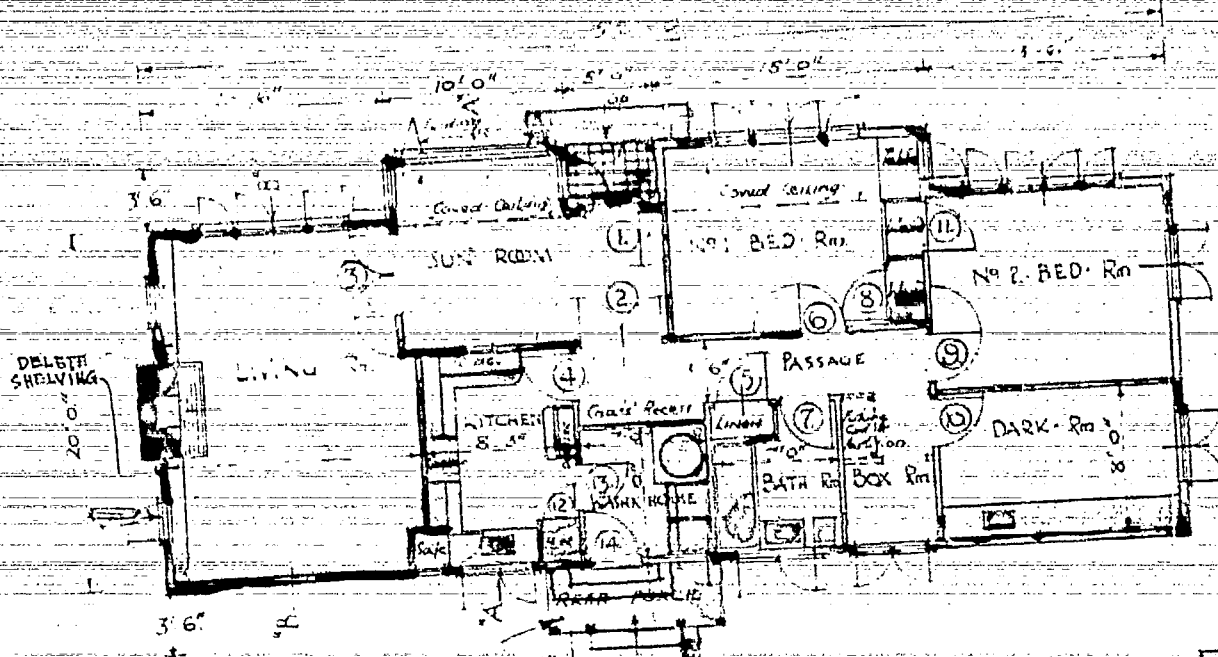
NORTH ELEVATION



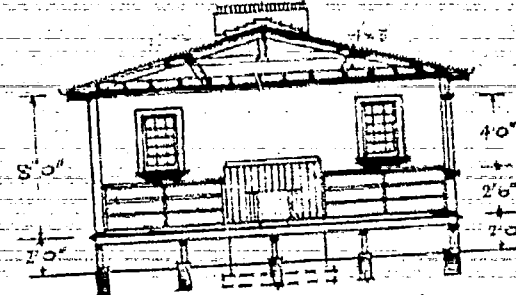
WEST ELEVATION



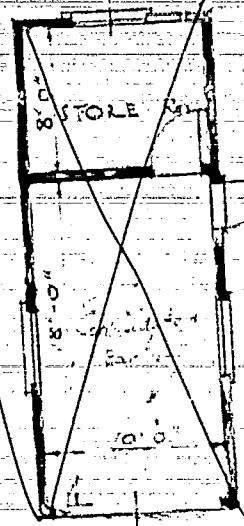
FRONT ELEVATION



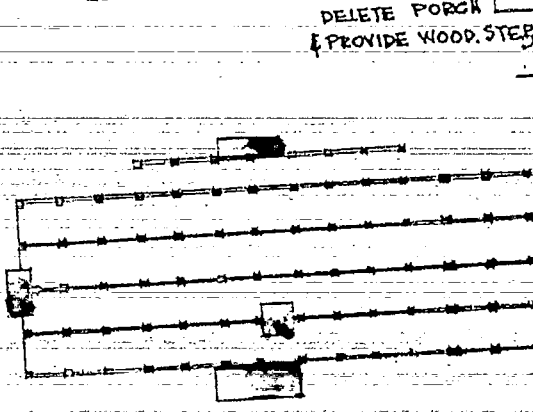
SECTION "A-A"



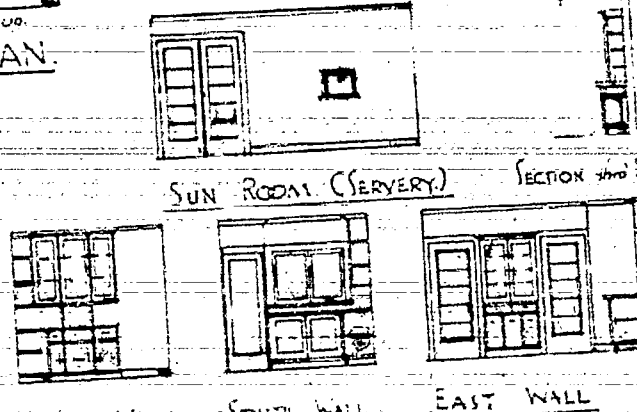
SECTION "B-B"



GARAGE



FOUNDATION PLAN $\frac{1}{16}"$ SCALE



SUN ROOM (SERVING)

NORTH WALL

SOUTH WALL

EAST WALL

KITCHEN DETAILS



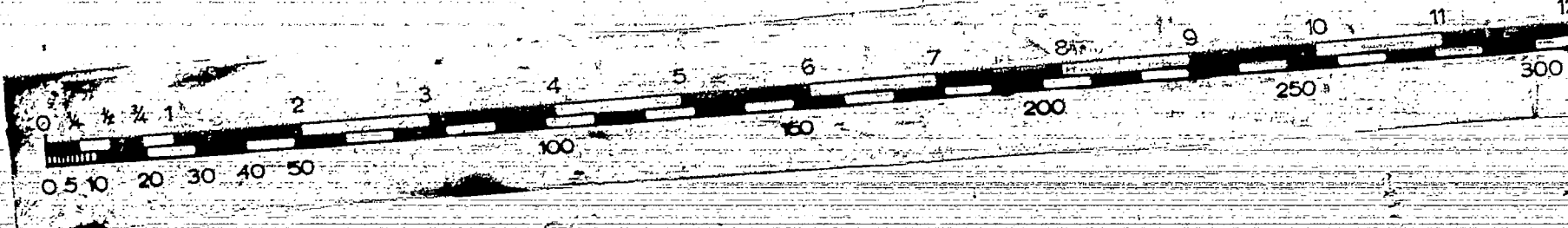
ELEVATION

PLAN

Room 8 with kitchen
Wrought 22-2-1936

SECTION

FILE No. 6670
PERMIT No. 4409
DATE OF PERMIT 20-11-36
ADDRESS 8-10 Willoughby St
Film 31



12-Inches
304.8 Mill

PLUMBING AND DRAINAGE

COUNCIL MAINS POSITIONS

Council has not received any plans of the exact position of the stormwater disposal from the property.

The property is connected to council's sewerage system.

Council records indicate there is a council stormwater main on the property. Council has right of access to the main to undertake any work on it deemed necessary.

Council records indicate there is a council sewer main on the property. Council has right of access to the main to undertake any work on it deemed necessary.

Council does not allow building over council mains or within council easements unless otherwise approved.

PRIVATE PLUMBING AND DRAINAGE

There are plans (below) showing private drains on the property, although council cannot guarantee their accuracy. Only digging on site can confirm the pipes' precise position.

STREAMS / OPEN DRAINS

Any streams or open drains on the property are the responsibility of the property owner. This includes ensuring the water is free flowing, vegetation and erosion control, maintaining any retaining structures (or driveway culvert crossings) and fencing of the drain.

DRINKING WATER SUPPLY

The property is connected to council's potable water supply.

METERED WATER SUPPLY

Not Available

OVERLAND FLOW

No overland flow complaints reported or investigated.

INFLOW

No testing has taken place in the area of the property to establish whether stormwater is entering sewer pipes.

OTHER UNDERGROUND SERVICES

There are a number of services in Lower Hutt such as power and gas lines that are not owned or maintained by council. They may not be shown in the maps in this LIM Report. If you plan on digging on your property, it is recommended that you utilise the [BeforeUDig](#) service.

Contacts	Position	Phone
Plumbing and drainage enquiries	Duty Plumbing and Drainage Officer	04 570 6666
Inflow enquires	Trade Waste Officer	04 570 6666



LIM Property

plumbing-ms

Properties

Privately owned assets

- Sewer Fixture
- Water Pipe
- Wastewater Pipe
- Storm Pipe
- Water Course

plumbing-ms

Stormwater Culvert (Rural)

Council owned assets

- Water Fixtures
- Wasterwater Fitting
- Stormwater Fixture
- Water Valve
- Water Pipe
- Wastewater Pipe
- Stormwater Pipe
- Service Connection



PLUMBING & DRAINAGE MAP

Scale: 1:438

15/10/2025

Enquiry Trace Form

Enquiry: 1042926	Logged by: Internal Report A Problem	on 07/05/2024 10:07																				
Service: Wastewater Subject: WW-P1 Blocked Sewer Desc.: Contractor reported that he opened manhole cover to find that the sewer was blocked. Manhole in the back section																						
Site: Willoughby Street (R00525), Woburn, Lower Hutt Site Address: Willoughby Street Location: 8 Willoughby Street, WOBURN																						
Area: Waterloo Ward: Eastern Contact: [REDACTED] Telephone: [REDACTED]																						
Customer: 629143 Name: [REDACTED] Address:	Time: 07/05/2024 10:07	Method: IRAP Telephone: [REDACTED]																				
Current Status: <table border="1"> <thead> <tr> <th>No.</th> <th>Effective</th> <th>Status</th> <th>Officer</th> <th>Follow up Date</th> </tr> </thead> <tbody> <tr> <td>16</td> <td>15/05/2024 01:01:34</td> <td>Call Closed</td> <td>WW Fulton Hogan</td> <td></td> </tr> </tbody> </table> Notes: Time: 2024-05-15T00:00:23+12:00 Notes: WWL Status: Resolved / Service Restored (RESOLVED); Status Memo: (via Certus Mobile); Failure Class: Pipes; Problem: Blockage; Cause: Pipe defect affecting flow (snags, dips, deformation and breaks); Remedy: Blockage Clearance (Rodding); Comment: Used cane rods to start with cleared blockage Priority: P1 Water Type: Wastewater Request Type: Blockage - Significant			No.	Effective	Status	Officer	Follow up Date	16	15/05/2024 01:01:34	Call Closed	WW Fulton Hogan											
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16	15/05/2024 01:01:34	Call Closed	WW Fulton Hogan																			
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Status history:

No.	Effective	Status	Officer	Notes
12	07/05/2024 12:41	Call Closed	WW Fulton Hogan	Time: 2024-05-07T12:27:33+12:00 Notes: New Attachment added Priority: P1 Water Type: Wastewater Request Type: Blockage - Significant
11	07/05/2024 12:41	Call Closed	WW Fulton Hogan	Time: 2024-05-07T12:27:25+12:00 Notes: New Attachment added Priority: P1 Water Type: Wastewater Request Type: Blockage - Significant
10	07/05/2024 12:41	Call Closed	WW Fulton Hogan	Time: 2024-05-07T12:27:15+12:00 Notes: New Attachment added Priority: P1 Water Type: Wastewater Request Type: Blockage - Significant
9	07/05/2024 12:40	Call Closed	WW Fulton Hogan	Time: 2024-05-07T12:27:06+12:00 Notes: New Attachment added Priority: P1 Water Type: Wastewater Request Type: Blockage - Significant
8	07/05/2024 12:40	Call Closed	WW Fulton Hogan	Time: 2024-05-07T12:26:16+12:00 Notes: New Attachment added Priority: P1 Water Type: Wastewater Request Type: Blockage - Significant
7	07/05/2024 12:40	Call Closed	WW Fulton Hogan	Time: 2024-05-07T12:26:07+12:00 Notes: New Attachment added Priority: P1 Water Type: Wastewater Request Type: Blockage - Significant
6	07/05/2024 10:20	Call Logged	WW Fulton Hogan	Time: 2024-05-07T10:17:25+12:00 Notes: Assigned to Hutt Drainage 1 (Shannon) Priority: P1 Water Type: Wastewater Request Type: Blockage - Significant

15/10/2025

Enquiry Trace Form

Status history:

No.	Effective	Status	Officer	Notes
5	07/05/2024 10:20	Call Logged	WW Fulton Hogan	Time: 2024-05-07T10:16:45+12:00 Notes: Assigned to Shannon. Assigned to Shannon Priority: P1 Water Type: Wastewater Request Type: Blockage - Significant
4	07/05/2024 10:20	Call Logged	WW Fulton Hogan	Time: 2024-05-07T10:12:18+12:00 Notes: Called customer. Called customer - manhole at the property is full. Isn't sure if this has impacted the property. Priority: P1 Water Type: Wastewater Request Type: Blockage - Significant
3	07/05/2024 10:20	Passed to Contractor	WW Fulton Hogan	Time: 2024-05-07T10:10:32+12:00 Notes: Wellington Water Alliance Maximo WO Created #475089 Priority: P1 Water Type: Wastewater Request Type: Blockage - Significant
2	07/05/2024 10:10	Passed to Wellington Water	WW Fulton Hogan	
1	07/05/2024 10:07	Call Logged	WW Fulton Hogan	

Revised Status:

Name : Signed : Date : Time :

Report generated by : Rebecca Aumua

Managing streams and open drains on private property

Your responsibilities





Managing streams and open drains

On behalf of council we are responsible for ongoing maintenance around streams and open drains on public land. However as a homeowner you are responsible for maintaining streams and open drain that pass through your property. Regular maintenance of the stream and its banks or open drains not only keeps the waterway and aquatic life healthy but can also protect your property by helping reduce any potential flood risk. It is vital that waterways are kept clear and this is an ongoing joint effort between you and your council.

Wellington Water has a programme in place to regularly inspect streams, open drains and other waterways.

What is the risk?

During heavy rain events the volume of water flowing through streams and open drains increases. If the flow of water is obstructed then flooding may occur.

Flooding not only increases the risk of damage to your property but also the land around your property as this may become unstable and results in subsidence.

What can you do to protect yourself?

- Remove any debris, overhanging branches, fallen trees or vegetation and clear away any bank collapses to ensure water can flow freely.
- Make sure any pollutants on your property cannot find their way into the stream or open drain. This is particularly important during heavy rain events.
- Any private structure that crosses the stream or open drain needs to be fixed securely to stop it breaking free and floating away during increased water flow.
- The natural route that water runs off your land is the "overland flow path". Landscaping, buildings, sealed driveways and pathways all affect the flow of water through your property. Water courses are best left open allowing water to flow freely.
- Please contact us if you are considering piping a water course on your property as we are more than happy to discuss this with you. However, this may not be permitted in some areas.
- Obtain sandbags and store them ready for use. Sandbags placed in strategic areas can help reduce potential flood risk.
- Regularly check your local weather information via MetService and social media to be aware of any weather events that may affect water courses on your property. Pay particular attention to heavy, localised rain events. These are typically short, intense events that have the potential to result in flooding.





**Let's all do our part to
protect our waterways.**

Wellington Water

Phone: 04 912 4400

Email: info@wellingtonwater.co.nz

Web: www.wellingtonwater.co.nz



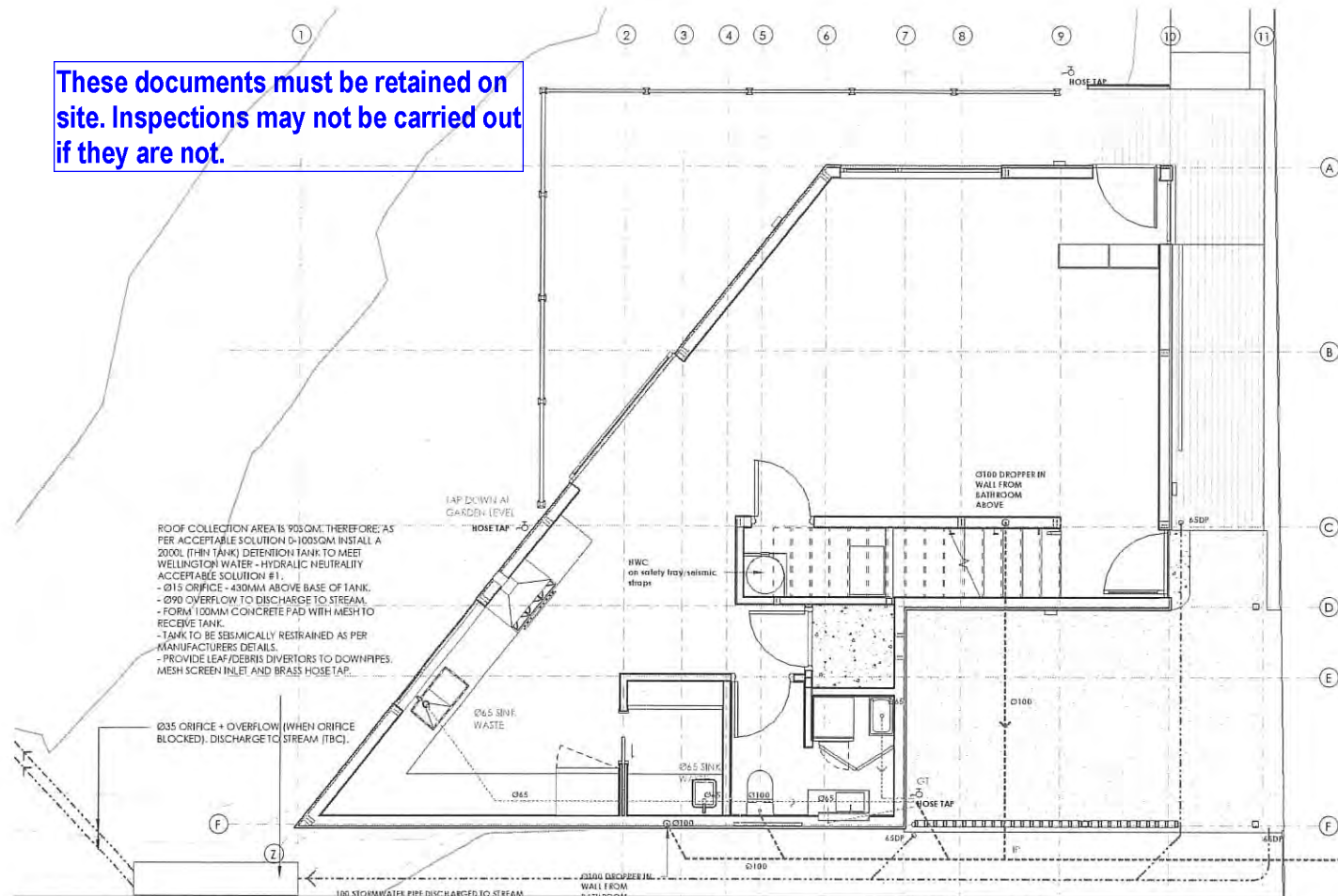
Plumbing and Drainage Plans

These documents must be retained on site. Inspections may not be carried out if they are not.

AMENDMENT

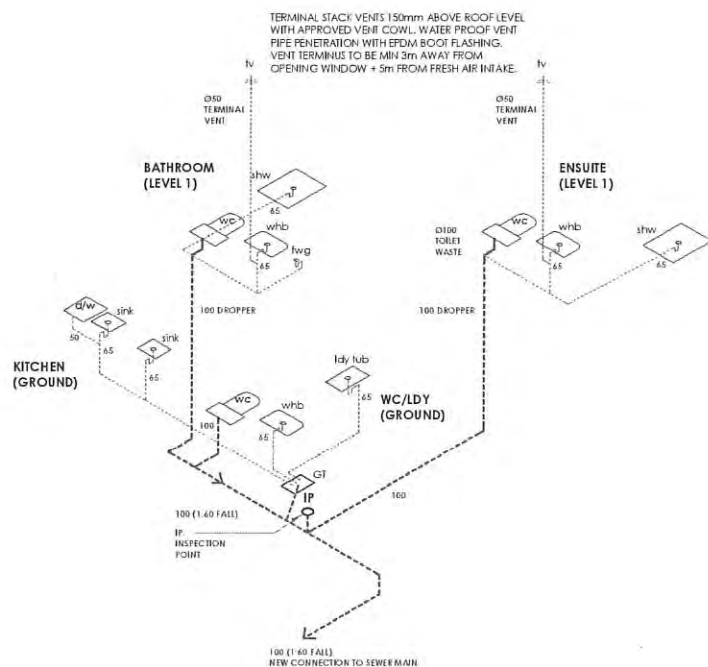
GRANTED
17/02/2025

HUTT CITY COUNCIL



Ground Floor - Plumbing/Drainage

1:50



Plumbing Schematic

1:50

PLUMBING

ALL PLUMBING TO COMPLY WITH AS/NZS3500.

MINIMUM GRADIENTS:	
100DN	1.65%
45DN	2.5%
50DN	2.5%
40DN	2.5%
VENT PIPE	1.25%

TERMINAL VENTS (TV):

TERMINAL STACK VENTS 150mm ABOVE ROOF LEVEL WITH APPROVED VENT COWL. WATER PROOF VENT PIPE PENETRATION WITH EPDM BOOT FLASHING. VENT TERMINUS TO BE MIN 3m AWAY FROM OPENING WINDOWS + 5m FROM FRESH AIR INTAKE.

GT - GULLY TRAPS (ORG):

100 DN OVERFLOW RELIEF GULLY (ORG) TRAP ASSEMBLY, COMPRISING 100 DN TRAP BOTTOM + RISER. TERMINATE ABOVE SURFACE LEVEL WITH REMOVABLE GRATE THAT LIFTS TO PERMIT SURCHARGE. SET GULLY TRAP ON 100mm CONCRETE. CHARGE WITH HOSE TAP OR WASTE PIPE ENTERING RISER.

EXTERIOR TAPS:

ALLOW FOR A NO. EXTERIOR BRASS HOSETAPS. CONFIRM EXACT LOCATION ON SITE WITH CLIENT.

HOTWATER SUPPLY:

ALL HOTWATER PIPES TO BE THERMALLY INSULATED. HOTWATER TEMPERATURE AT ANY SANITARY FIXTURE USED FOR PERSONAL HYGIENE SHALL NOT EXCEED 55°C. PROVIDE SEISMIC RESTRAINT TO ALL HWCS.

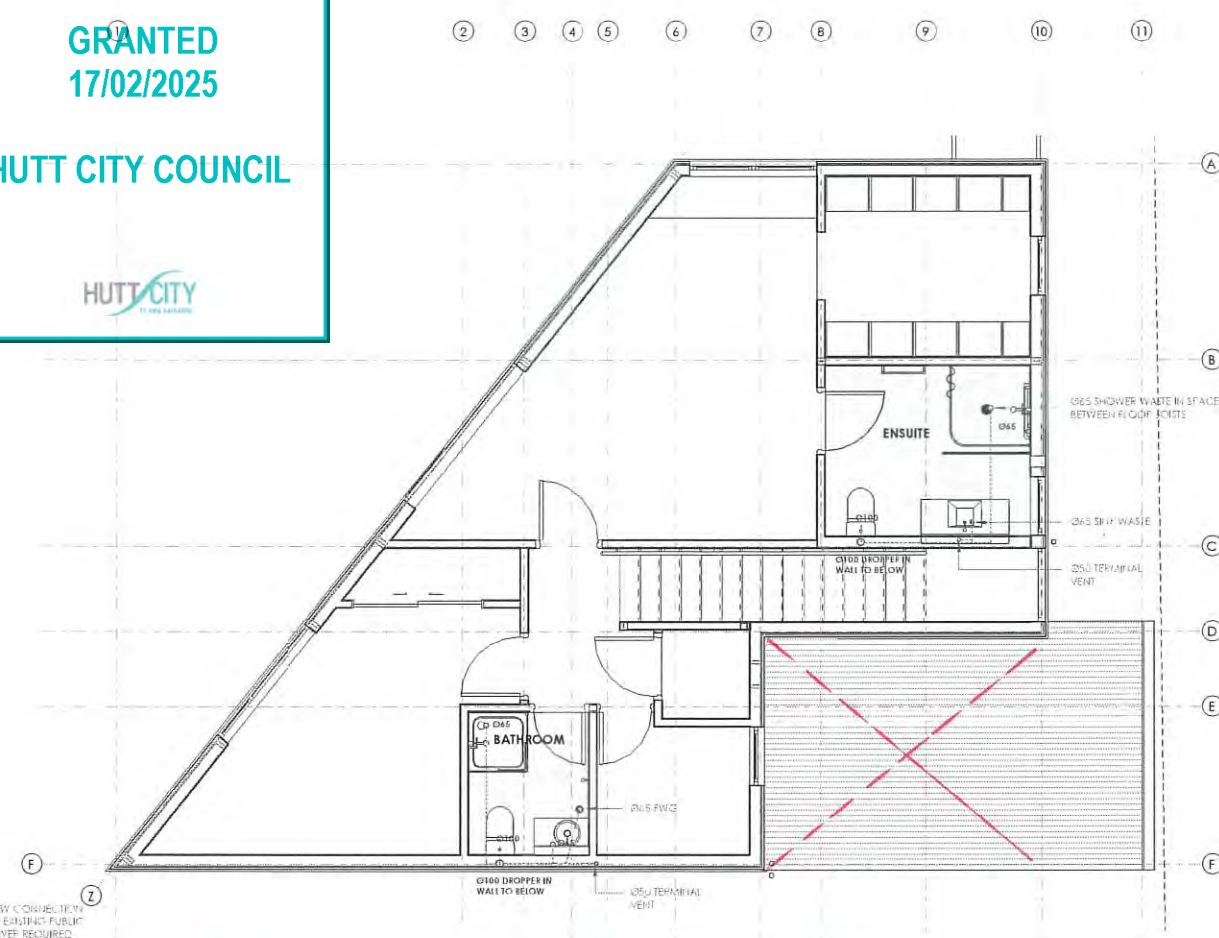
MECHANICAL VENTILATION:

BATHROOM EXTRACT: (ALL WITH RUN-ON TIMER). SIMX MANROSE LOW PROFILE THRU-WALL EXTRACT FAN WITH EXTERIOR WEATHER GRILL. FAN/523 101/L/5 150mm DUCTING - WHITE DESIGNER SERIES WALL GRILL DCT2236 (INTERNAL). 3/5 DCT3616 EXTERNAL WEATHERCOWL HOOD.

KITCHEN EXTRACT: KITCHEN RANGEHOOD EXTRACT - FLOW RATE OF NO LESS THAN 50L/S. WITH 5/5 DCT3616 EXTERNAL WEATHERCOWL HOOD.

Roof Plan

1:50



First Floor - Plumbing/Drainage

1:50



METAL CRAFT KAHU PROFILED METAL ROOFING TO 5 DEG FALL TO EXTERNAL SPOUTING.

CONSTRUCTION ISSUE

a.k.a Architecture
ltd

8 MAR 24 RC INFO
10 MAY 24 BUILDING CONSENT /
TENDER
24 SEPT 24 CONSTRUCTION ISSUE

1:50 - A1

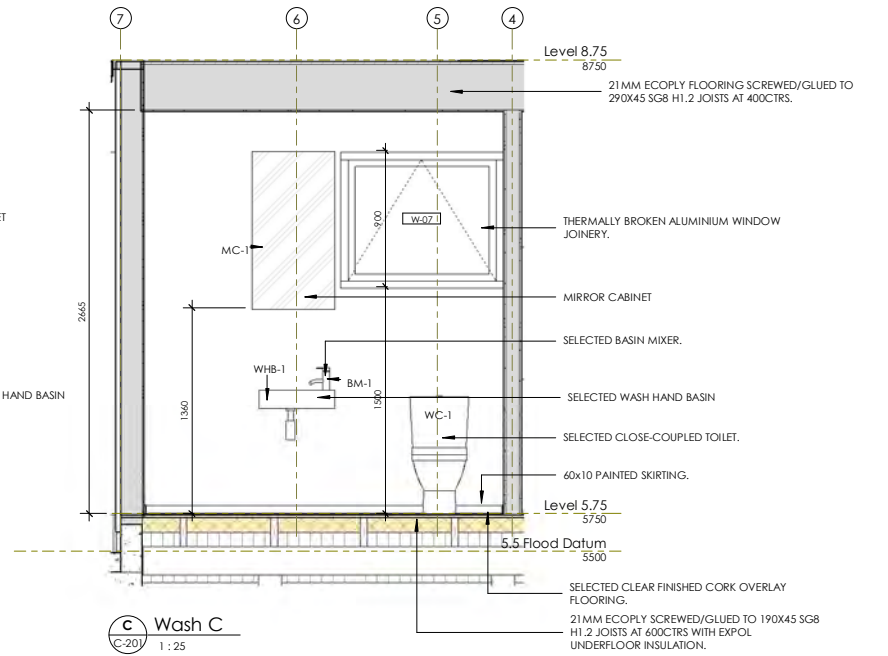
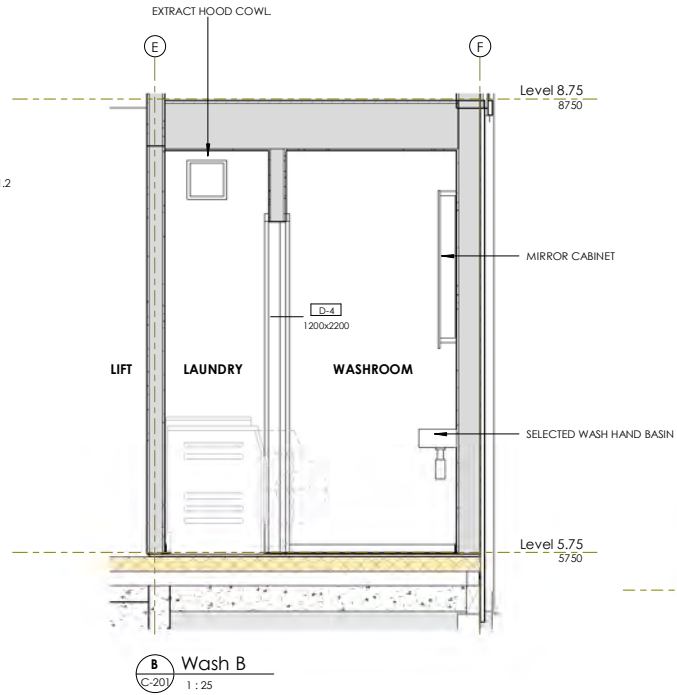
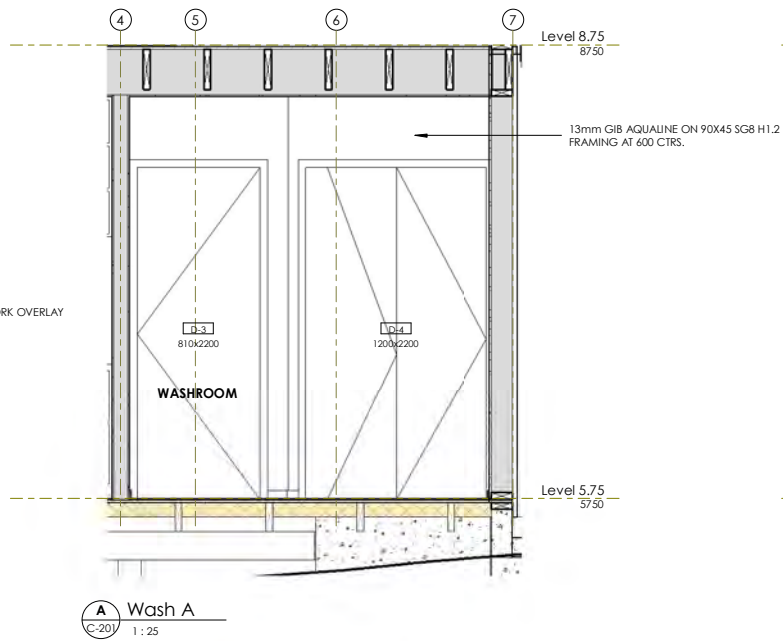
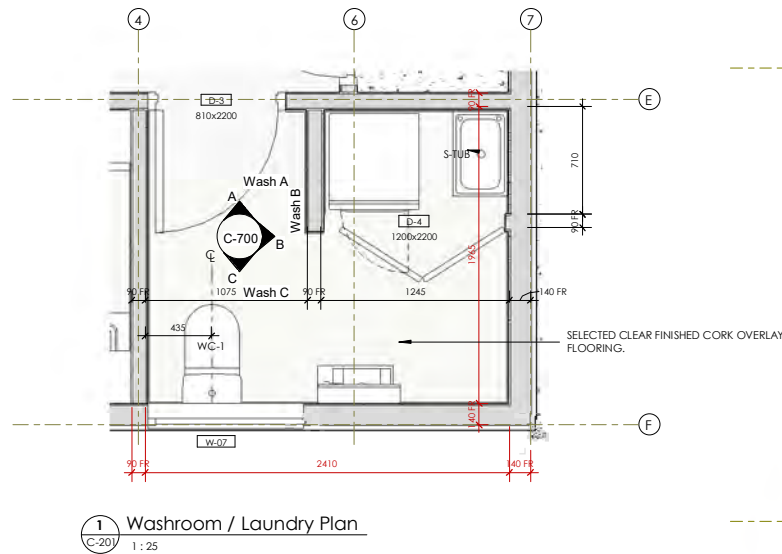
COLLIDGE HOUSE

8 Willoughby Street
Woburn
Lower Hutt

Plumbing + Drainage Plans

C-240 1

157



CODE:	DESCRIPTION:	BRAND:	ITEM:	CODE:	DESCRIPTION:	BRAND:	ITEM:
WHB-1	WALL HUNG VANITY BASIN (SMALL)			SC-1	1200X1200 L-SHAPED CURTAIN RAIL AND SHOWER CURTAIN		
WHB-2	WALL HUNG VANITY BASIN (LARGE)			GR-1	900X900 L-SHAPED GRAB RAIL		
BT-1	CHROME BOTTLE TRAP			HR-1	HEATED TOWEL RAIL		
BM-1	BASIN MIXER TAP			HR-2	HEATED TOWEL ROD - SINGLE VERTICAL HTR		
WC-1	BACK TO WALL CLOSE COUPLED TOILET SUITE			MC-1	MIRROR CABINET		
BSM-1	BASIN SPOUT + MIXER			KM-1	KITCHEN MIXER TAP		
SS-1	SLIDE RAIL SHOWER SET + MIXER			KM-2	KITCHEN MIXER TAP		
SHW-1	PROPRIETARY 800X800 CORNER SHOWER WITH SHOWER BASE + ACRYLIC WALL LINER	CROWN BATHROOMS	MILFORD CORNER PIVOT DOOR SQUARE SHOWER 800X800 IN WHITE HJ1231-SW	S-TUB	LAUNDRY SUPERTUB	ROBINHOOD	SUPERTUB SUM - STSUMTAP3
SW-1	ALLPROOF REVOLVER VINYL SHOWER WASTE	ALLPROOF	ALLPROOF REVOLVER VINYL SHOWER WASTE KIT WITH S/S GRATE	FWG	FLOOR WASTE GULLY	ALLPROOF	ALLPROOF REVOLVER VINYL WASTE KIT WITH S/S GRATE

BUILDING CONSENT

GRANTED
1/07/2024

HUTT CITY COUNCIL



BUILDING CONSENT / TENDER



A 10 MAY 24 BUILDING CONSENT / TENDER

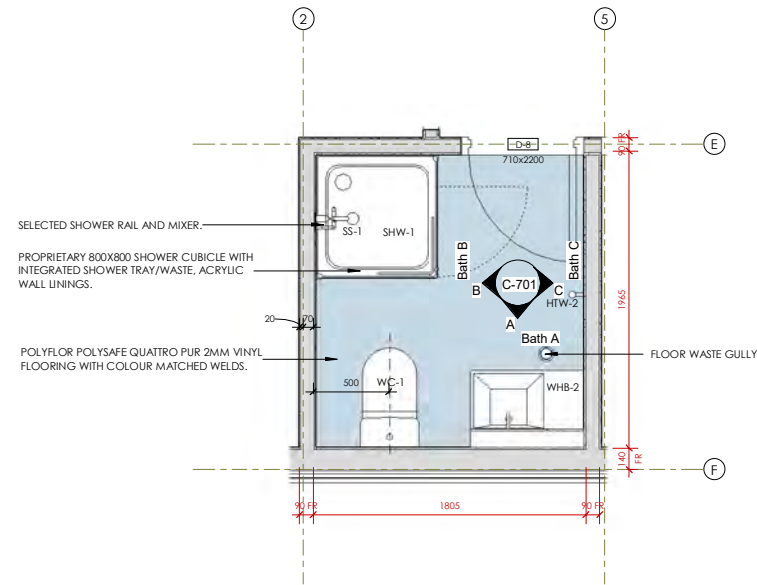
8 Willoughby Street
Woburn
Lower Hutt

COLLINGS HOUSE

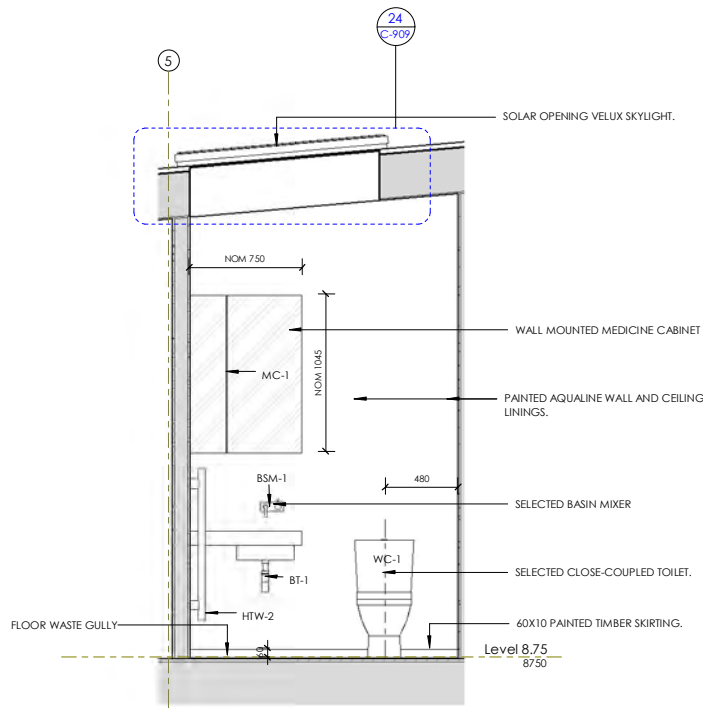
WC / Laundry

C-1700 A

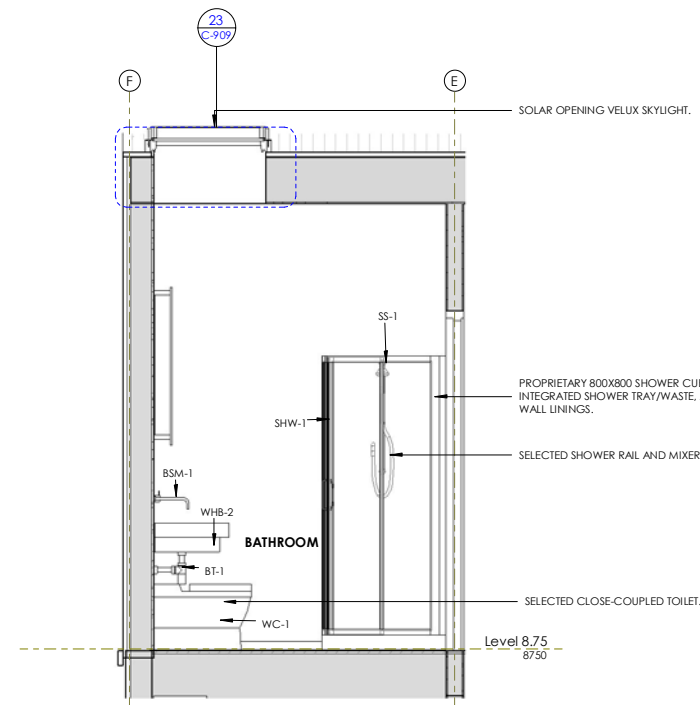
14/05/2024 11:03:52 AM



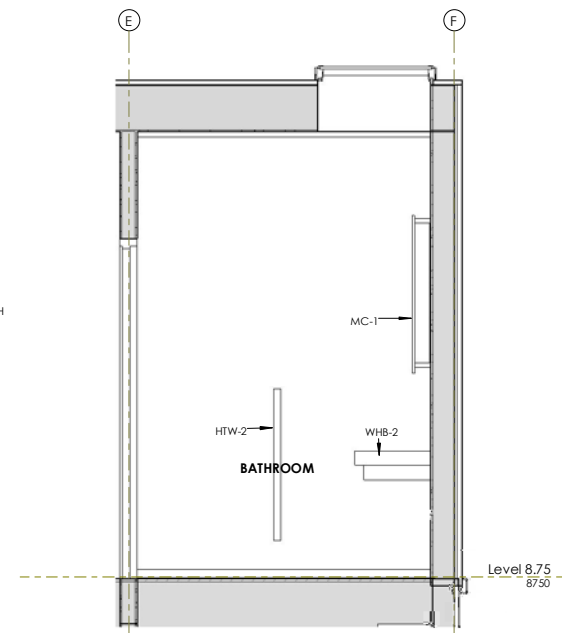
1 Bathroom Plan
C-202 1 : 25



A Bath A
C-202 1 : 25



B Bath B
C-202 1 : 25



C Bath C
C-202 1 : 25

CODE:	DESCRIPTION:	BRAND:	ITEM:	CODE:	DESCRIPTION:	BRAND:	ITEM:
WHB-1	WALL HUNG VANITY BASIN (SMALL)			SC-1	1200X1200 L-SHAPED CURTAIN RAIL AND SHOWER CURTAIN		
WHB-2	WALL HUNG VANITY BASIN (LARGE)			GR-1	900X900 L-SHAPED GRAB RAIL		
BT-1	CHROME BOTTLE TRAP			HTR-1	HEATED TOWEL RAIL		
BM-1	BASIN MIXER TAP			HTR-2	HEATED TOWEL ROD - SINGLE VERTICAL HTR		
WC-1	BACK TO WALL CLOSE COUPLED TOILET SUITE			MC-1	MIRROR CABINET		
BSM-1	BASIN SPOUT + MIXER			KM-1	KITCHEN MIXER TAP		
SS-1	SLIDE RAIL SHOWER SET + MIXER			KM-2	KITCHEN MIXER TAP		
SHW-1	PROPRIETARY 800X800 CORNER SHOWER WITH SHOWER BASE + ACRYLIC WALL LINER	CROWN BATHROOMS	MILFORD CORNER PIVOT DOOR SQUARE SHOWER 800X800 IN WHITE HJ1231-8W	S-TUB	LAUNDRY SUPERTUB	ROBINHOOD	SUPERTUB SUM - STSLUMTAP3
SW-1	ALLPROOF REVOLVER VINYL SHOWER WASTE	ALLPROOF	ALLPROOF REVOLVER VINYL SHOWER WASTE KIT WITH S/S GRATE	FWG	FLOOR WASTE GULLY	ALLPROOF	ALLPROOF REVOLVER VINYL WASTE KIT WITH S/S GRATE

BUILDING CONSENT

GRANTED
1/07/2024

HUTT CITY COUNCIL



BUILDING CONSENT / TENDER

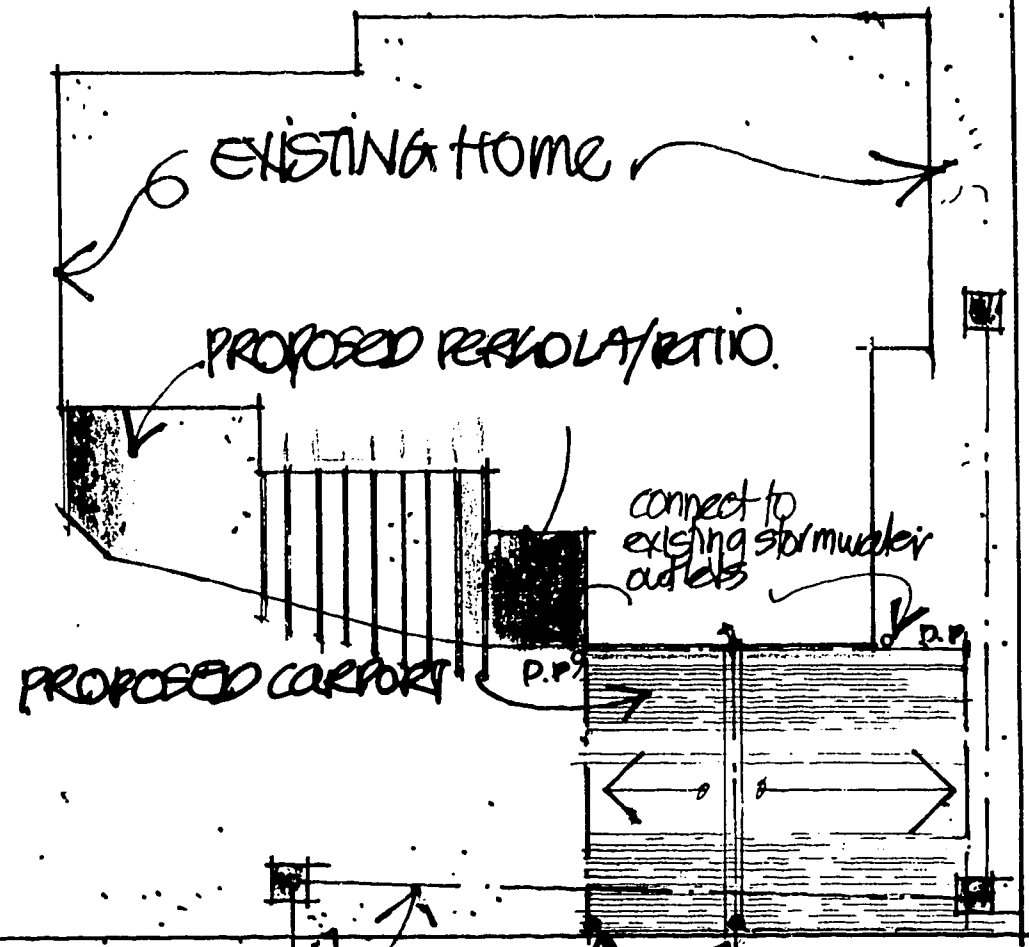
WILLOUGHBY ST.

LOTS 7, 8 DP. 10974

area = 1200m²

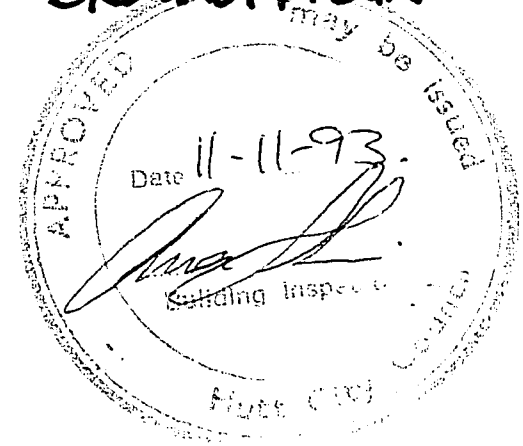
C.T. 450/79.

BLACK STREAM.



8

EXISTING DRAIN



boundary

proposed work for

Collinge

FJ9321-W2

@ 8 Wilboughy St.
Lower Hutt

1:200 SITE PLAN.



HAZARDS

RECORD OF TITLE INTERESTS

Please carefully check the property's record of title for any entry under section 74 of the Building Act 2004, or its predecessor section 36(2) of the Building Act 1991, as they relate to building on land subject to natural hazards, which may invalidate statutory natural disaster insurance. Clause 3(D) of the Earthquake Commission Act 1993 states that in these circumstances the commission may decline a claim in whole or part.

FLOODING (INUNDATION, ALLUVION*, AVULSION**)

* The wash of the sea or of a river. **Sudden loss of soil from flood or from shift in course of stream.

Council holds no information about reported instances of flooding on the property.

Council records show the property is in the 1 in 100 year flood area, as modelled by Wellington Water. This means the modelled flooding is predicted to have a 1% chance of occurring in any one year, 100 years from now. This modelling includes allowance for climate change. For more information, please see the Wellington Water website: [Wellington Water stormwater flood maps](#).

Council records show flooding has been recorded in the area. Please see below the Hazard Map for the location of the flooding. This information is considered relevant by the council as per Section 44A (3) of the Local Government Official Information and Meetings Act 1987.

Council records show the property is in the 1 in 440 year flood area, as modelled by Greater Wellington Regional Council. For more information, please see the Greater Wellington Regional Council website: <http://mapping.gw.govt.nz/GW/Floods/>

Flood risk modelling investigations are being compiled for Lower Hutt suburbs, including Wainuiomata, Stokes Valley and more. Please see the Wellington Water rainfall flood risk website [Wellington Water Maps](#). If you are having trouble accessing this website, or require further information, please contact Wellington Water on 04 912 4400.

SLOPE STABILITY (SLIPPAGE, FALLING DEBRIS, EROSION AND SUBSIDENCE)

Council does not hold any records showing slippage on the property.

More general information can be found in this 2021 Report: [Slope Failure Susceptibility Assessment](#)

EARTHQUAKE-PRONE BUILDING

The earthquake-prone building provisions of the Building Act 2004 do not apply to a building if it is used wholly or mainly for residential purposes unless:

- it is two or more storeys; and either
 - is a hostel, boardinghouse, or other specialised accommodation; or
 - contains 3 or more household units.

This building is therefore outside of the scope of the earthquake-prone building provisions of the Building Act 2004. For more information on current legislation please visit the Ministry of Business Innovation and Employment website <https://www.building.govt.nz/managing-buildings/managing-earthquake-prone-buildings/>

CONTAMINATED SITES

The property does not appear on Greater Wellington Regional Council's Selected Land Use Register, which contains a list of properties with a history of hazardous activity or industry.

The National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health controls activities on sites where an activity on the Hazardous Activities and Industries List has occurred. This LIM report should not be considered as a complete assessment of a site's history in regard to HAIL activities. For further information, take a look at MFE's information <https://environment.govt.nz/facts-and-science/land/contaminated-land/>

EARTHQUAKE HAZARDS

Information relating to liquefaction, ground shaking, active faults and slope failure can be found on Greater Wellington Regional Council's [Hazards and Emergency Management Maps](#)

TSUNAMI

The property is not in a tsunami warning zone.

The zoning is based on a report compiled in 2016 entitled Hydrodynamic Inundation Modelling. To see the report, go to <https://wremo.nz/hazards/tsunami>

SEA LEVEL RISE AND STORM SURGE

For more information on sea level rise, please see <https://www.searise.nz>

To find out how sea level rise and storm surge may impact the property please go the Greater Wellington Regional Council's Sea Level Rise Modelling tool here <https://mapping1.gw.govt.nz/GW/SLR>

CO-SEISMIC SUBSIDENCE

For information on estimated subsidence of the valley floor during a Wellington Fault rupture, the GNS Science Report *Estimating co-seismic subsidence in the Hutt Valley associated with rupture of the Wellington Fault* is available to download from the following website <http://shop.gns.cri.nz/estimating-co-seismic-subsidence-in-the-hutt-valley-associated-with-rupture-of-the-wellington-fault>

WELLINGTON REGION EMERGENCY MANAGEMENT

For information on how to be prepared for an emergency, or to keep up to date in the event of an emergency in the Wellington Region, please visit the [Wellington Region Emergency Management Office website](#)

COMMUNITY EMERGENCY HUBS

To find out where your closest Emergency Hub (formerly known as Civil Defence Centre) is, please visit the [Civil Defence Website](#)

Contacts	Position	Phone
Flood modelling	Greater Wellington Regional Council flood protection officer	04 384 5708
Contaminated sites	Greater Wellington Regional Council environmental scientist	04 384 5708
Liquefaction and ground shaking	Greater Wellington Regional Council hazard officer	04 384 5708
Earthquake-prone buildings	Seismic Assessment Officer	04 570 6666
All other hazard information	LIM officer	04 570 6666



- LIM Property
- Contours
- Properties
- Building Outline (2025)
- Kerblines
- HCC recorded street flooding
- Water course
- HCC recorded flood incident



HAZARDS MAP

Scale: 1:1,500

Although the information displayed has been prepared with care and in good faith, It is an information service and is designed to be illustrative only. The Council cannot guarantee the accuracy or completeness of the information and accepts no liability for any loss suffered as a result of reliance on the information. Parcel boundaries sourced from Land Information New Zealand data supplied under license to Hutt City Council. Crown Copyright Reserved.

DISTRICT PLAN

THE DISTRICT PLAN

The Resource Management Act 1991 requires Hutt City Council to prepare a District Plan to manage land use and development within its jurisdiction. It contains rules that may affect any development or land use you may be considering. Click [here](#) to view the District Plan online.

ACTIVITY AREA

The property is in the High Density Residential area of the city's District Plan.

For more information on the rules relating to this activity area please read the corresponding chapter of the District Plan. It should be read in conjunction with the plan's general and subdivision rules in chapters 11 and 14. (The full version of the District Plan can be found [here](#))

OVERLAY

This site is identified in the Flood Hazard Inundation overlay of the City of Lower Hutt District Plan. The District Plan imposes additional rules on subdivision, land use and development to sites identified by the overlay, including standards on minimum floor heights for new buildings and extensions to existing buildings. More information is available in Chapter 14H: Natural Hazards of the District Plan.

This site is identified in the Flood Hazard Streams Corridor overlay of the City of Lower Hutt District Plan. The District Plan imposes additional rules on subdivision, land use and development to sites identified by the overlay, including standards on minimum floor heights for new buildings and extensions to existing buildings. More information is available in Chapter 14H: Natural Hazards of the District Plan.

PROPOSED DISTRICT PLAN AND PROPOSED PLAN CHANGES

The District Plan is subject to ongoing monitoring and review throughout its lifetime.

There is a list of proposed changes and completed changes to the District Plan available [here](#).

The Proposed Lower Hutt District Plan was publicly notified on 6 February 2025. This is proposed to replace the current District Plan. The Proposed District Plan contains information, including new hazards and risks overlays, that may be relevant to this property. This includes coastal inundation, fault, flooding, liquefaction, tsunami and slope assessment overlays. These overlays are nonspecific to any particular properties and are based on scientific information that will be subject to public consultation and a statutory process before they are finalised. It is important to note that information from the Proposed District Plan has not been included in this LIM. Please check the Proposed District Plan maps to determine how this property may be affected. The Proposed District Plan can be accessed [here](#)

URBAN GROWTH STRATEGY

The Urban Growth Strategy is council's approach to managing growth and development in Lower Hutt to 2032. It focuses on how much we want the city to grow, where new homes and businesses will be accommodated, and what will be done to support and encourage this development. Click [here](#) to read more.

HERITAGE BUILDINGS

The District Plan does not recognise there being any heritage buildings or structures on the property.

PROTECTED TREES

A covenant, resource consent condition or consent notice may protect vegetation. See the record of title and/or resource consent(s) for any information in this regard.

RESOURCE CONSENTS AND DISPENSATIONS

Below is a list of resource consents the council has issued from 1991 onwards under the Resource Management Act 1991. A copy of the resource consent decision is included, where possible, for each resource consent issued.

It is important you ensure that the consent has been acted on and that each of the consent conditions are complied with, within the allocated timeframe (where applicable) from the decision date. The decision date is the date the resource consent was granted. You will find the consent conditions listed in the decision document. For more information on resource consents, click [here](#) or call the Duty Planner (contact details below).

Consent Number	Description	Status	Decision Date
RCNRN04051994_03	Land Use: Proposed Carport	Granted	04/05/1994
RM240061	2 Lot Subdivision and carport within the front yard.	Granted	26/08/2024

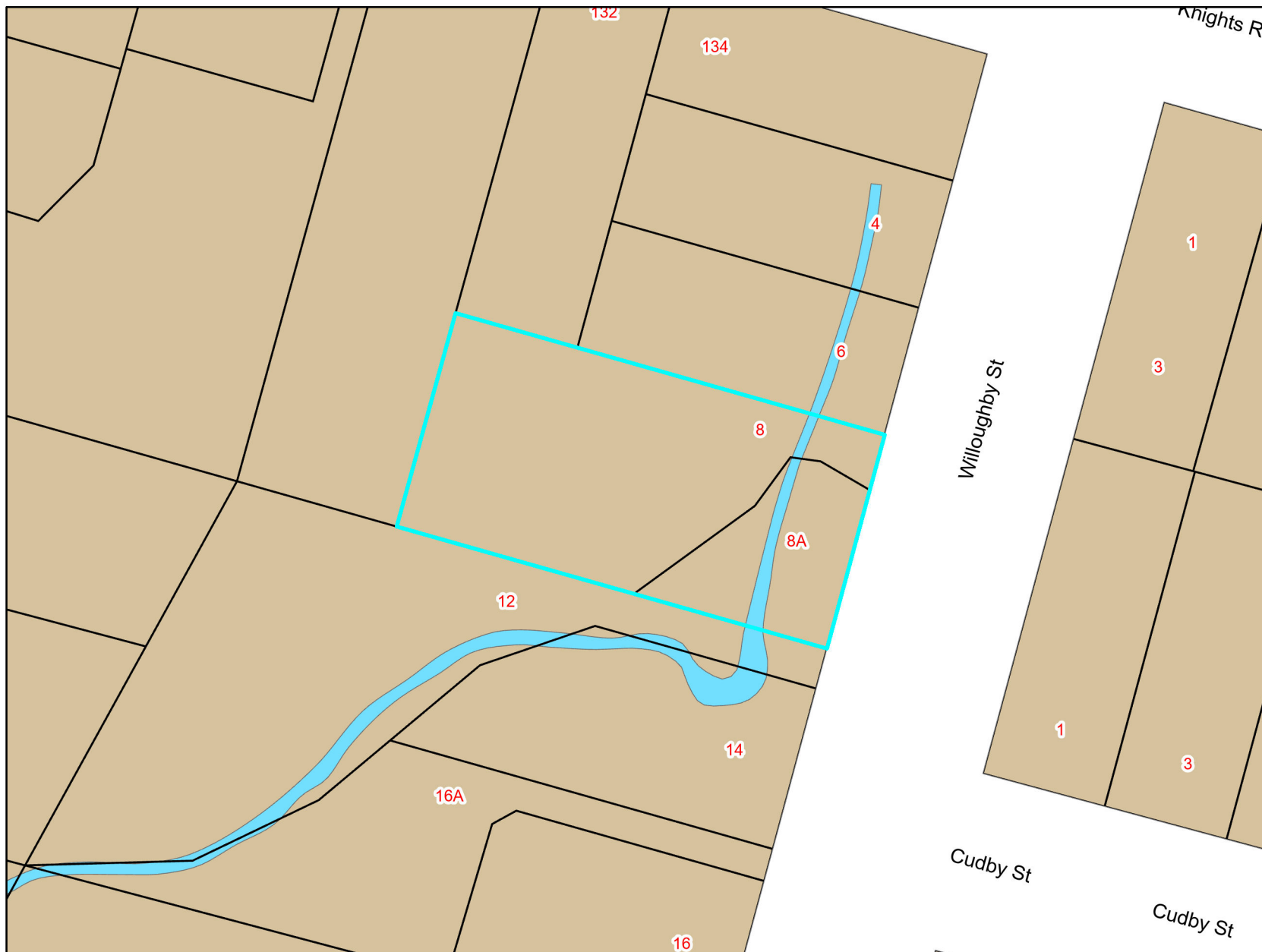
For dispensations council issued under the Town and Country Planning Act 1953, see the planning file references in the archives section.

A resource consent under the Resource Management Act 1991 has been granted for an activity to occur at 8A Willoughby Street, Woburn for 2 Lot Subdivision and carport within the front yard. You can view the approved plans for the resource consent at the Hutt City Council main office at 30 Laings Road.

MONITORING AND ENFORCEMENT

A resource consent relates to a property, not its owner at the time the resource consent was granted. If a building or parcel of land is sold without having satisfied the conditions of a resource consent, it becomes the responsibility of the subsequent owner to arrange council inspections and ensure compliance with resource consent conditions. Work for which the council grants a resource consent must be largely complete within five years. For the first year, the council actively monitors a project. For the next four, it makes periodic checks. See the contact list below to make inquiries about a property with an outstanding resource consent.

Contacts	Position	Phone
District Plan and resource consents	Duty Planner	04 570 6666
District Plan changes	Policy Planner	04 570 6666
Monitoring and enforcement	Monitoring and Enforcement Officer	04 560 1044



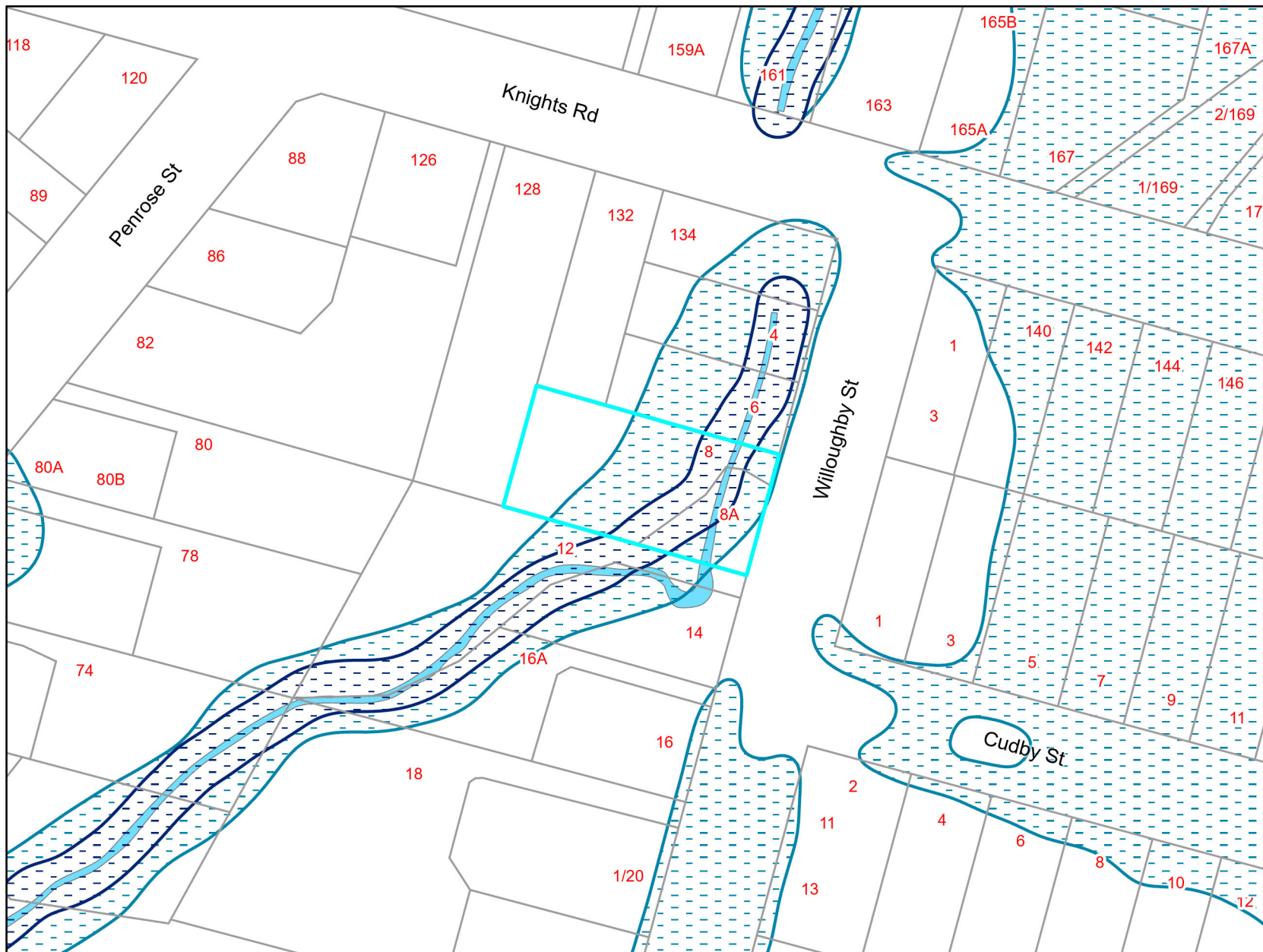
- LIM Property
- Properties
- Road
- River
- High Density Residential



DISTRICT PLAN

Scale: 1:632

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-  LIM Property
-  Properties
-  Flood Inundation
-  Stream Corridor



DISTRICT PLAN: FLOOD HAZARD OVERLAY

Scale: 1:1,119

Although the information displayed has been prepared with care and in good faith, It is an information service and is designed to be illustrative only. The Council cannot guarantee the accuracy or completeness of the information and accepts no liability for any loss suffered as a result of reliance on the information. Parcel boundaries sourced from Land Information New Zealand data supplied under license to Hutt City Council. Crown Copyright Reserved.

RMA Resource Consents

FILE COPY

Alison Newbald
Planning Division
RM20-08L

4 May 1994

Mr R Collinge
8 Willoughby Street
LOWER HUTT

Dear Mr Collinge

**APPLICATION FOR A NON-NOTIFIED DISCRETIONARY ACTIVITY TO ERECT
A CARPORT EXCEEDING 3.5M IN HEIGHT IN THE REAR YARD : 8
WILLOUGHBY STREET : RESIDENTIAL CENTRAL ZONE**

Acting under delegated authority from The Hutt City Council, pursuant to Section 34 of the Resource Management Act 1991, I wish to advise you that your application for a non-notified discretionary activity to erect a carport exceeding 3.5m in height by .5m was **GRANTED** on 4 May 1994. This decision is in accordance with Section 105 of the Resource Management Act 1991, and is subject to the following conditions.

1. Compliance with the Building Act and all relevant Council Bylaws.
2. Carport to be finished in colours and materials in keeping with the existing dwelling.
3. Carport to be finished substantially in accordance with the plans submitted.

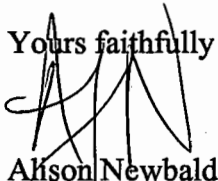
The reasons for granting consent for this non-notified discretionary activity are as follows.

1. The adjoining neighbours have given their consent to the non-compliance and the degree of non-compliance is minor.
2. Providing the proposed carport complies with the above conditions, it is unlikely to have significant, actual or potential effects beyond the site concerned.

You may seek reconsideration of this decision and/or conditions of consent under Section 357(3) of the Resource Management Act 1991. This reconsideration must be in writing to the Council accompanied by a review fee of \$112.50.

Please note work should not commence until an approved building consent has been issued.

Yours faithfully



Alison Newbald

PLANNING OFFICER STATUTORY PLANNING

for **GROUP MANAGER DEVELOPMENT & COMPLIANCE**

copy: Ian Dunn
Building Manager
Valuation NZ
Town Planning

FORM 5

APPLICATION FOR RESOURCE CONSENT UNDER SECTION 88 OF THE
RESOURCE MANAGEMENT ACT 1991

To: The General Manager, The Hutt City Council.

* I, ROSS COLLINAGE
apply for the resource consent(s) described below:

* 1. The names and addresses of the owner and occupier (other than the applicant) of any land to which the application relates are as follows:
8 Willoughby St.,
Waver Hutt

2. The location to which this application relates is: (for example Street address and Lot and Deposited Plan number) 8 WILLoughBY ST. LOTS 7, 8 P.P. 10974
AREA 1200 m² C.T. 490/79.

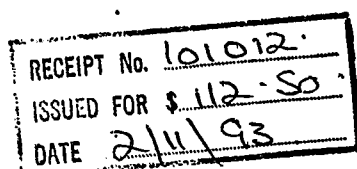
3. The type of resource consent sought is: LAND USE CONSENT

 [For any activity in the coastal marine area, specify coastal permit. Otherwise specify one of the following: land use consent, subdivision consent, water permit, or discharge permit].

4. A description of the activity to which the application relates is: A PROPOSED
CARPORT ROOF INTRUDES INTO THE 2.9m ± 37.5° HEIGHT
CONTROL PLANE BY APPROX 1200mm.

5. The following additional resource consents are required in relation to this proposal and have been applied for: N/A

have not been applied for: N/A



6. I attach an assessment of any effects that the proposed activity may have on the environment in accordance with the Fourth Schedule to the Act.
[In the case of a controlled activity, such an assessment is not required unless specified in the relevant plan].
7. I attach other information (if any), required to be included in the application by the district or regional plan or regulations.

* 
[Signature of applicant or person authorised to sign on behalf of applicant]

19/07/91

[Date]

* Address for service of applicant:

 Telephone No: 5685341(h) 5685357(wk)
 Fax No:

Annexures:

- (a) An assessment of effects on the environment in accordance with the Fourth Schedule to the Act *[If required]*.
- (b) Any other information required by the district plan or regional plan or Act or regulations to be included.

ANY FURTHER INFORMATION OR CLARIFICATION
PLEASE CALL:
JOHN MILLS ARCHITECT
PH 3872255, FAX 3846772

THE HUTT CITY COUNCIL

APPROVAL OF PERSON AFFECTED BY AN APPLICATION FOR A RESOURCE CONSENT

I, Christina Chappel being the
owner/occupier of the property at 132 KNIGHTS RD LOWER HUTT.

..... hereby
give/do not give my approval for the application at 8 WILLOUGHBY ST
LOWER HUTT.

The proposal is to BUILD A CARPORT ROOF AS SHOWN
ON DRAWING FJ 9321 W1, W2

.....
and does not meet the requirements of the district plan by PENETRATING
THE HEIGHT CONTROL PLANE (25m + 37.5' BY
A MAXIMUM OF APPROX 1200 AT THE RIDGE.

.....
I understand the proposal and have seen and signed a copy of the plans. The
proposal has been explained to me.

I also understand that if I give my approval the Council cannot take into ac-
count any effect that the proposal may have on me, when it considers the
application.

Signed: C. Chappel Date: 5 17/10/93

Contact Tel: 5698292

YOU MUST ALSO SIGN AND DATE THE PLANS

- You should not sign this form unless the applicant has
- (a) Fully explained why the proposal requires your approval
 - (b) Shown you a copy of the plans for you to sign.

IF YOU ARE UNCERTAIN, DO NOT SIGN. CONTACT THE PLANNING OFFICE
Lower Hutt - 570 6666 Petone 568 5079 Wainuiomata & Eastbourne 564 8053

Alison Newbald
Planning Division
RM20-08L

23 November 1993

Mr Collinge
8 Willoughby Street
LOWER HUTT

Dear Mr Collinge

RESOURCE CONSENT APPLICATION : 8 WILLOUGHBY STREET

I refer to your resource consent application of 2 November 1993.

The proposed carport is located in the rear yard and accessory buildings sited in this position are not required to comply with daylight admission control line. However they must not exceed a height of 3.5 metres. The proposed garage is approximately 4m in height.

Due to the inaccuracies on the consent form signed by the neighbour I would request that a new consent form (and signed copy of the plan) be submitted before the resource consent can be processed.

Thank you for your cooperation in this matter.

Yours faithfully

Alison Newbald
PLANNING OFFICER STATUTORY PLANNING
for **GROUP MANAGER DEVELOPMENT & COMPLIANCE**

Contact:
Group/Division:
Our Reference:

Alison Newbald
Planning Division
RM20-08L



THE HUTT
CITY COUNCIL

23 November 1993

Administration Building
30 Laings Road
Private Bag 31912, Lower Hutt
New Zealand
Telephone 0-4-570 6666
Facsimile 0-4-569 4290

Mr Collinge
8 Willoughby Street
LOWER HUTT

Dear Mr Collinge

RESOURCE CONSENT APPLICATION : 8 WILLOUGHBY STREET

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Yours faithfully

Alison Newbald
PLANNING OFFICER STATUTORY PLANNING

for GROUP MANAGER DEVELOPMENT & COMPLIANCE

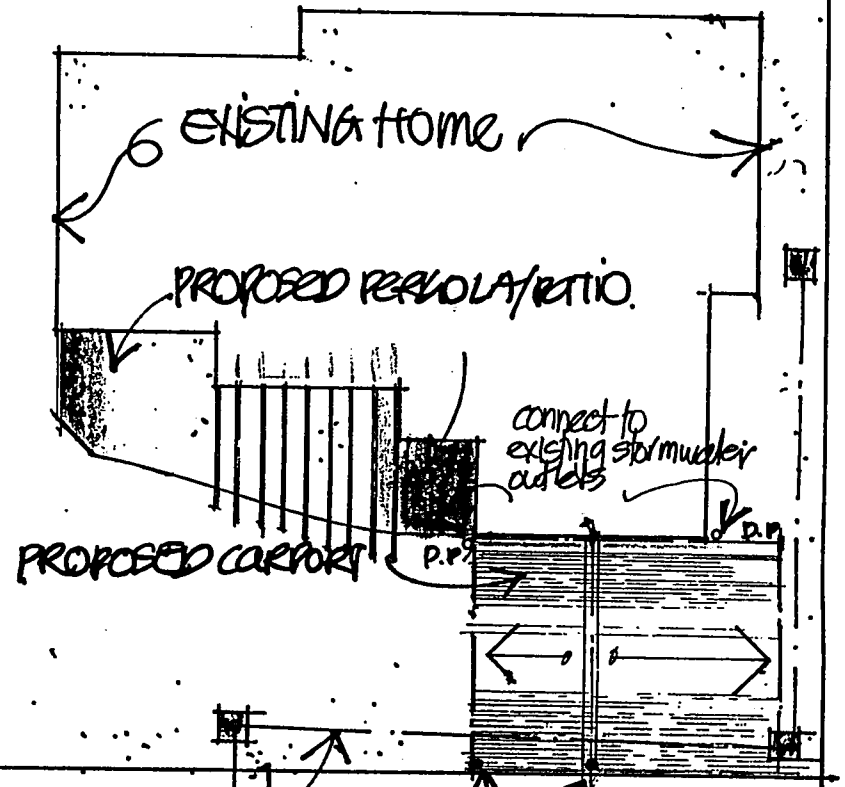
WILLOW & HBY ST.

LOTS 7, 8 D.P. 10974

area = 1200m²

C.T. 450/79.

BLACK STREAM.



EXISTING DRAIN

boundary

proposed work for Ross + Valerie

Collinge

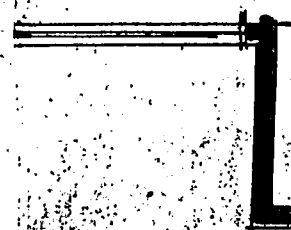
FJ9324-W2

1:200 SITE PLAN.

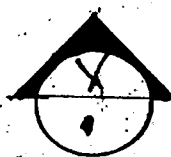
JOHN M. MCT
ANZIA
Box 9933 16 Ave
(04) 852 255 Fax (04) 801 8097
OCT - 1993

Rear Boundary

2

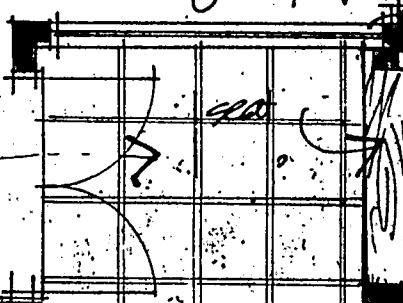


alternating corrugated steel and
coralite over 2x10s +
dressed rafters with solid
full depth blocking as
required



connect Ridge beam and other
beams to existing walls/roof

allow to remove concrete
rafters on front floor and
fill to take level down to that
needed.



1500

2x10s to support roof structure

existing Block Wall

250x90

CARPORT

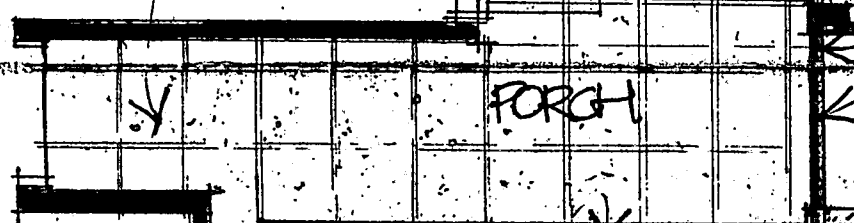
760 760 760 etc

rafters 200x90

Ridge Beam
250x150

Beam ends here

spacing + beam piers to front
edge of carport roof
2/250x90



PORCH

concrete slab
thru rafters

1400



DRIVEWAY



Perfora over
2x10s shaped as shown

Welding's rebar
and incorporated
in patio

PERFORA

Existing roof

posts evenly spaced - set in
200x300 x1 d.f.s.



thru rafters

vent

Not sum for porch screen here
in 2x10s cedar support build
\$400

2x120x25 HB
radiata bolted
thru posts

a rail/sat
posts beneath
by posts
= 100x100 HB
dressed

two steps up
(concrete)

FLICK 150

Rails + around post
and

500

2400

500

1200

SECTION X-Y ACROSS CARPORT 1

7x25 dressed
radiata over posts
post bolted thru
brackets to top of wall
and up onto beams

existing Block Wall
ashwood timber concrete

alternating 600 + coralite

blocking full depth

Alison Newbald
Planning Division
RM20-08L

RM20-NSI-8

23 November 1993

Mr Collinge
8 Willoughby Street
LOWER HUTT

Dear Mr Collinge

RESOURCE CONSENT APPLICATION : 8 WILLOUGHBY STREET

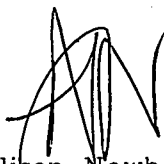
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Thank you for your cooperation in this matter.

Yours faithfully



Alison Newbald
PLANNING OFFICER STATUTORY PLANNING
for **GROUP MANAGER DEVELOPMENT & COMPLIANCE**

RM number: RM240061
Date: 26 August 2024
Applicant: R & V Collinge
Agent: Lucas Land Surveys Ltd
Address: 8 Willoughby Street
Woburn, 5010
Attention: Mark Macfarlane

Alicia Todd
Environment and Sustainability
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Our reference: RM240061

APPROVAL OF RESOURCE CONSENT FOR A TWO-LOT SUBDIVISION AND CONSTRUCTION OF A DWELLING AT 8 WILLOUGHBY STREET WOBURN (LOT 7 – 8 DP 10974)

Council granted consent for the following reasons:

- The carport structure is partially open, mitigating perception of dominance or reduced streetscape amenity to an acceptable degree.
- There are no residential units or building platforms proposed within the mapped area of the Stream Corridor onsite.
- The subdivision allotment design is consistent with the anticipated and emerging density of the High-Density Residential activity area.
- A Council Development Engineer assessed the proposal and concluded it can meet the necessary engineering standards, subject to the conditions shown below.
- Conditions imposed on the consent under section 108 and of the Resource Management Act 1991 will control, mitigate and remedy any environment effects caused by the development.
- Council considers the proposal to be consistent with section 106 of the same act.
- The property does not appear on Greater Wellington Regional Council's selected land use register as a contaminated site or as having been the site of a verified hazardous activity. As a result, Council considers the likelihood of earthworks uncovering contamination at the site to be negligible.
- The proposal is consistent with the objectives and policies of the city's District Plan.
- Council has given due regard to the New Zealand Coastal Policy Statement, any national, regional or proposed regional policy statement and any other regulations in reaching its decision. Council considers there are no other relevant matters that need to be dealt with.
- The proposal is consistent with the purposes and principles of Part II of the Resource Management Act 1991.

1. PROPOSAL

The applicant is proposing to construct a new dwelling and to undertake a two-lot subdivision as shown on the provided scheme plans, but in summary with the following characteristics:

- Lot 1 will be 909m² in gross lot area (866m² net)¹ and will be a rear lot. It will contain the existing dwelling on the site.
- Lot 2 will be 290m² in size and will be a front lot. It will contain a proposed two-storey building on the site.
- The proposed two-storey dwelling will be located along the south-east boundary of the application site. The ground floor will contain a living and dining area, a kitchen, washroom, laundry, and carport. The first floor will contain two bedrooms and two bathrooms.
- Access to the existing dwelling will be via the established vehicle crossing at the north-east boundary of the application site and access to the proposed dwelling will be via the existing vehicle crossing at the south-east of the application site.
- Earthworks onsite totalling 25m³ to a maximum vertical alteration of 700mm (cut). These earthworks fall within permitted activity thresholds hence will not be considered further throughout this decision report.

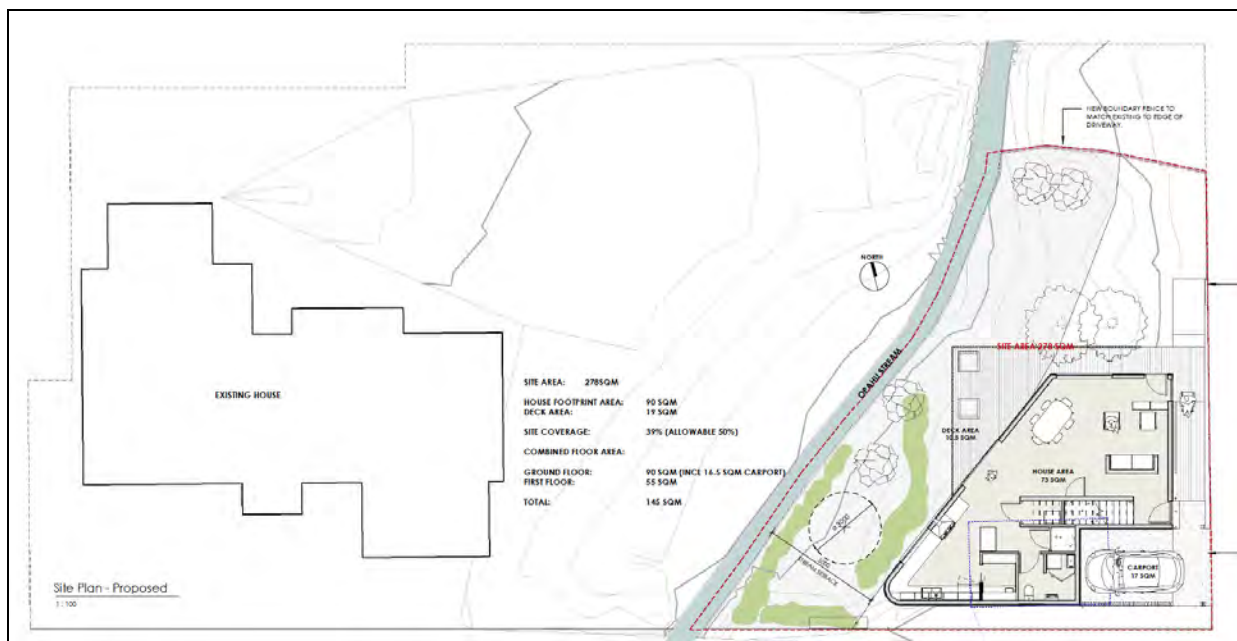


Figure 1 - Proposed architectural plans with the boundary adjustment seen from the red line.

2. SITE DESCRIPTION

The application site is located at 8 Willoughby Street in Woburn and is legally described as Lot 7 – 8 DP 10974, comprised in the Record of Title (RT) WN450/79. A right to drain easement for the public wastewater main located at the rear (southern) boundary is registered

¹ I note the scheme plan submitted and approved with this consent has inaccurate scaling and hence the figures provided by the applicant via email dated 23.08.24 are utilised as the confirmed gross and net allotment areas.

on the title, however, this will not impact Councils ability to process this resource consent application. The application site has a total area of 1200m² and is rectangular in shape with an elevated contour along the front (eastern) boundary before slopping down to the west before flattening out. There is an existing dwelling located on the application site along the rear (western) boundary which is proposed to remain. The garage located along the front (eastern) and side (southern) boundaries will be demolished to make way for the proposed dwelling. The Opahu stream runs through the application site as seen in Figure 1.

The site is zoned High Density Residential and is subject to the following natural hazard overlays within the District Plan:

- Flood Hazard – Flood Inundation
- Flood Hazard – Stream Corridor

The landscape character of the existing surrounding environment consists of an established residential area with single dwellings on the lots with outdoor living areas. Beyond the application site and surrounding properties, land is zoned High Density Residential and General Recreation. The application site is located within a 10-minute walk to the Waterloo Train Station and Lower Hutt CBD, and a 5-minute walk to Hutt Intermediate School.



Figure 2 - Application site from HCC GIS Mapping. The Stream Corridor Overlay can be seen as the central dark blue dashed line overlay and the Flood Inundation Overlay can be seen as the lighter blue overlay.

The application site was visited on April 9th and photos of the site from this visit are included below.



Figure 3 - Existing access for the proposed dwelling on Lot 2.



Figure 4 - Existing access for Lot 1.



Figure 5 - Location of the proposed dwelling on Lot 2 from the boundary of Lot 1.

3. RELEVANT PLANNING RULES AND REGULATIONS

District Plan

The District Plan is the appropriate planning instrument with which to assess the proposal. Rules relating to the High Density Residential, which this proposal falls within, are contained in Chapter 4G. The proposal must also be assessed against the Subdivision Rules in Chapter 11, and the general rules in Chapter 14 of the District Plan.

Note: I note that the applicant has applied for subdivision consent as a non-complying activity citing Rule 11.2.5(c) – this rule is triggered where subdivisions result in building platforms within a stream corridor. In this case only the deck of the dwelling on Lot 2 will be within the stream corridor overlay. In my opinion this is not part of the building platform despite being classified as a building as it could be removed without affecting the structural aspects of the dwelling itself. Additionally, the applicant has sought consent under Rule 14H 2.5 for a new residential unit in the stream corridor, also as a non-complying activity. Similarly to the above, I assess that the decking onsite does not constitute a 'residential unit', and it is not integral to the function of the dwelling as a self-contained unit. Compliant outdoor living space could, theoretically, be provided at ground level. Consequently, this rule is also not triggered.

The following table summarises the rules and conditions considered to be relevant to this application and whether the proposal complies with each of these criteria.

Rule/Condition		Compliance
Rule 11.2.2.1 – Rules for Subdivision in the High Density Residential Zone		
11.2.2.1 (a)	Minimum size of allotment – no minimum size No minimum allotment size is required for any resulting allotment where there is a land use consent application accompanied for any non-compliances associated with the proposed dwelling units that will be determined concurrently with the subdivision application.	Complies – The proposal includes a Land Use consent application for non-compliances associated with dwelling whereby there is no requirement for meeting the minimum allotment size standard. Lot 1: 866m ² & Lot 2: 290m ² .
11.2.2.1 (a)	Minimum frontage – 3m For rear allotments the 3m frontage may be satisfied through a registered Right of Way outside the title (outside legal boundaries of the allotment.)	Complies – Lot 1: Will have a 19.12m frontage and Lot 2: Will have a 5.26m frontage.
11.2.2.1 (b) (i)	Access – Compliance with Chapter 14A	Complies – See below assessment.
11.2.2.1 (b) (ii)	Service Lanes, Private Ways, Pedestrian Accessways and Walkways – Compliance with Chapter 14A	Complies – See below assessment.
11.2.2.1 (b)(iv)	Stormwater	Can comply – A condition will be imposed for this.
11.2.2.1 (b)(v)	Wastewater	Can comply – A condition will be imposed for this.
11.2.2.1 (b)(vi)	Water supply	Can comply – A condition will be imposed for this.
11.2.2.1 (b)(vii)	Telecommunications & Electricity	Can comply – A condition will be imposed for this.

11.2.2.1 (f)(i)	Financial contributions in Chapter 12	Can comply – A condition will be imposed for this.
11.2.2.1 (e)	Earthworks	Complies
11.2.5(c)	Any subdivision that creates building platforms within the Stream Corridor of the Flood Hazard Overlay is a non-complying activity.	Complies – no building platform is proposed within the area mapped as stream corridor, only decking area.
Rule 4G 4.2 – Development Standards in the High Density Residential Zone		
4G 4.2.1 (a)	Up to three dwellings per site	Complies – Each lot will have a singular dwelling.
4G 4.2.2 (a)	Maximum building coverage – 50%	Complies – Lot 1: 28% & Lot 2: 32% Overall building coverage prior to subdivision certification will be 28%.
4G 4.2.3	Maximum building height – 22m	Complies – The existing building on Lot 1 is single storey in nature and the proposed building on Lot 2 will be 8.2m.
4G 4.2.4 (a)	Height in Relation to Boundary – from side and rear boundaries 4m + 60°	Complies – The existing building on Lot 1 and the proposed dwelling on Lot 2 will not breach the height in relation to boundary requirements.
4G 4.2.5 (a)	Minimum yards: Front Yard 1.5m All other yards 1m	Does not comply – the roof over the carport structure is located 0m from the front site boundary.
4G 4.2.7 (a)	Permeable surface – minimum 30%	Complies – Lot 1: 43% & Lot 2: 50%.
4G 4.2.8 (a)	Outdoor living space – Minimum area of 20m ² Minimum dimension of 3m	Complies – The proposed dwelling will be provided with complying outdoor living space.
4G 4.2.11 (a)	Demolition	Complies – Demolition is a permitted activity.
4G 4.2.12 (a)	Stormwater retention	Complies – The proposed dwelling will be provided with a 2,000L stormwater tank.
4G 4.2.13 (a)	Outlook space (per unit) Principal living room: 4m x 4m All other habitable rooms 1m x 1m	Complies – The proposed dwelling on Lot 2 will have complying outlook space.
4G 4.2.14 (a)	Residential units facing the street must have a minimum of 20% glazing in the street-facing façade.	Complies – Lot 1 is a rear lot & Lot 2: 21%
4G 4.2.15	Landscaped Area – minimum of 20%	Complies – Lot 1: 53% & Lot 2: 52%
4G 4.3 (a)	General rules in Chapter 14	Complies
Chapter 14 – General Rules		
14H 2.3.1	New residential units within the inundation are of the Flood Hazard Overlay	Complies – the WWL recommended floor level is 5.5m ASL. The architectural plans show the dwelling as being sited with a ground level 400m in exceedance of what is required.
14H 2.5.1	New Residential Units within the Stream Corridor	Complies
14I 2.1.1 (a)	The natural ground level may not be altered by more than 1.2m, measured vertically.	Complies
14I 2.1.1 (b)	Maximum volume of 50m ³ (solid measure) per site.	Complies

The proposal requires resource consent for the following District Plan non-compliances:

- Rule 11.2.2(a): Subdivision in the High-Density Residential activity area is a controlled activity.
- Rule 4G 4.2.5(b): Construction of a building within the front yard setback is a restricted discretionary activity.

Overall Application Status

I consider the subdivision component of this proposal to be **controlled** and the land use component of this proposal to be **restricted discretionary**.

Public and limited notification is precluded for subdivision consent, as a controlled activity, per Rules 11.2.2.1(a) and 17.2.1 of the District Plan. Public and limited notification is also precluded under 4G 4.2.5(b) where the setback non-compliance is in relation to the front yard, which is the case for this activity.

Assessment matters

The relevant matters of control for subdivision consent are as follows –

- The design and layout of the subdivision, including the size, shape and position of any lot, any roads or the diversion or alteration to any existing roads, access, passing bays, parking and manoeuvring standards, and any necessary easements;
- The provision of servicing, including water supply, waste water systems, stormwater control and disposal, roads, access, street lighting, telephone and electricity;
- Management of construction effects, including traffic movements, hours of operation and sediment control;
- Provision of esplanade reserves, esplanade strips and access strips;
- Site contamination remediation measures and works;
- Protection of significant sites, including natural, cultural and archaeological sites;
- Avoidance or mitigation of any natural hazard risk in accordance with Policy 11.1.3;
- The design and layout of the subdivision where any lot may affect the safe and effective operation and maintenance of and access to regionally significant network utilities (excluding the National Grid) located on or in proximity to the site;
- The outcome of consultation with the owner and operator of regionally significant network utilities (excluding the National Grid) located on or in proximity to the site; and
- Those matters described in Section 108 and 220 of the Resource Management Act 1991.

The relevant matters of discretion for the land use consent are as follows –

- The planned urban built form for the zone, including a requirement to enable buildings of at least 6-storeys
- Dominance, privacy, and shading effects on adjoining sites
- Streetscape and visual amenity effects

National Environmental Standards

The proposal does not require assessment under any National Environmental Standards.

4. PERMITTED BASELINE

A permitted baseline establishes what activities can be undertaken on a site as of a right in accordance with relevant provisions of the District Plan, without the need for resource consent. The permitted baseline allows a consent authority to disregard environmental effects that are the same as could arise from a permitted development. The District Plan does not permit any subdivision which creates new allotments. Therefore, there is no relevant permitted baseline for the assessment of the subdivision component of this application.

With regards to land use, the permitted baseline for this site includes:

- Up to three dwellings per site;
- Any residential unit sited outside of the mapped stream corridor onsite;
- Any residential unit featuring floor levels above the 1% AEP mapped flood depth.
- Maximum site coverage (50%);
- Maximum building height (22m);
- Height in relation to boundary that is 4m + 60° from any side and rear boundaries, and
- Minimum of 1.5m on the front yard boundary and 1m on all side and rear yard boundaries;
- Minimum permeable surface (30%);
- A minimum outdoor area of 20m² with a minimum dimension of 3m from each dwelling; or where provided in the form of a balcony is at least 8m² with a minimum 1.2m dimension; and
- Rainwater tank for each building sized according to the proposed roof area;
- 4m x 4m outlook space from each principal living room, and 1m x 1m from all other habitable rooms;
- 20% street facing building façade comprising windows;
- Minimum 20% of the overall development site comprising landscaped area; and
- Perimeter site fencing up to 2m in height;

Earthworks are permitted up to a volume of 50m³ per site to a maximum vertical alteration of 1.2m.

The above permitted baseline for land use consent is of high relevance to this application, noting that the dwelling onsite complies with all standards were the onsite carport not covered.

5. NOTIFICATION ASSESSMENT

Council must assess any resource consent application under section 95 of the Resource Management Act 1991 to determine whether a resource consent application should be notified. The Resource Management Act 1991 details a four-step process that must be followed, and triggers or precludes notification of applications in certain circumstances. The sections below follow the four-step process for public notification (under section 95A) and limited notification (under section 95E).

5.1 - PUBLIC NOTIFICATION STEPS – SECTION 95A

Pursuant to section 95A of the Resource Management Act, this section follows the 4 step process to determine if public notification is required.

Step 1 - Public notification is mandatory in certain circumstances

Public notification is mandatory in certain circumstances.

Has the applicant requested public notification?	No
Is public notification required under s95C?	No
Is the application made jointly with an application to exchange recreation reserve land under s15AA of the Reserves Act?	No

Public notification is not mandatory under step 1.

Step 2 - Public notification is precluded in certain circumstances

If public notification is not required under step 1 it may be precluded in certain circumstances (unless special circumstances apply under step 4).

Are all activities in the application subject to a rule in a Plan or National Environmental Standard precluding public notification?	Yes
Is the application for one or more of the following (but no other) activities? ▪ A controlled activity ▪ A boundary activity with a restricted discretionary, discretionary or non-complying activity status	Yes

Public notification is precluded under step 2 for both subdivision and land use consent, for the reasons detailed in Section 3 above.

Step 3 - Public notification is required in certain circumstances

Step 3 sets out criteria where public notification must be undertaken in certain circumstances. However as public notification is precluded under step 2, assessment under step 3 is not required.

Step 4 – Public notification is required in special circumstances

If public notification is not required under step 3 it may still be warranted where there are special circumstances.

Do special circumstances exist that warrant public notification?	No
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Special circumstances have been defined as circumstances that are unusual or exceptional, outside the common run of applications of this nature or circumstances which make notification desirable.

The proposal relates to a subdivision and associated land use on a site zoned for residential activity. In this instance, it is concluded that there is nothing exceptional about this application, and that the proposal has nothing out of the ordinary to suggest that public notification should occur.

On this basis, it is not considered necessary to publicly notify the application due to special circumstances.

Conclusion

Public notification is not required.

5.2 - LIMITED NOTIFICATION STEPS - SECTION 95B

As determined in section 5.1, public notification is not required. Pursuant to section 95B of the Resource Management Act, a 4-step process must therefore be followed to determine if limited notification is required.

Step 1 – Certain affected groups/persons must be notified

Limited notification is mandatory for certain groups/persons.

Are there affected customary rights groups?	No
Are there affected customary marine title groups (for accommodated activities)?	No
Is the proposal on or adjacent to, or may affect, land that is subject to a statutory acknowledgement and whether the person to whom the statutory acknowledgement is made affected under section 95E?	No

Limited notification is not required under step 1.

Step 2 – Limited notification is precluded in certain circumstances

Limited notification to any other persons not referenced in step 1 is precluded in certain circumstances (unless special circumstances apply under step 4).

Are all activities in the application subject to a rule in a Plan or National Environmental Standard precluding limited notification?	Yes
Is the application for the following, but no other activity: ▪ A controlled activity (other than a subdivision) under the District Plan	No

Limited notification is precluded under step 2 for both subdivision and land use consent, for the reasons detailed in Section 3 above.

Step 3 – Certain other persons must be notified

Step 3 sets out criteria where limited notification must be undertaken in certain circumstances. However as limited notification is precluded under step 2, assessment under step 3 is not required.

Step 4 – Limited notification is required under special circumstances

If limited notification is not required under step 3, limited notification may still be warranted where there are special circumstances.

Do special circumstances exist that warrant notification of any persons to whom limited notification would otherwise be precluded?	No
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For the reasons outlined under step 4 in section 5.1 above I do not consider there to be any special circumstances that warrant limited notification of this proposal.

Conclusion

Limited notification is not required.

5.3 - NOTIFICATION DECISION

In accordance with the notification steps identified in section 5.1 and 5.2 the application shall proceed on a non-notified basis.

6. DETERMINING THE APPLICATION

Section 104 requires, when considering a resource consent application, that Council must, subject to Part 2, have regard to any actual or potential effects on the environment; any measure agreed or proposed by the applicant for the purpose of ensuring positive effects on the environment to offset or compensate for any negative effects; any relevant provisions of a National Environmental Standard; other regulations; a National Policy Statement; a New Zealand Coastal Policy Statement; a Regional Policy Statement or proposed Regional Policy Statement; a plan or proposed plan; and any other matter the consent authority considers relevant and reasonably necessary to determine the application.

6.1 - ASSESSMENT OF ACTUAL OR POTENTIAL EFFECTS ON THE ENVIRONMENT UNDER S104(1)(A)

Subdivision consent assessment matters

The design and layout of the subdivision, including the size, shape and position of any lot, any roads or the diversion or alteration to any existing roads, access, passing bays, parking and manoeuvring standards, and any necessary easements.

The allotment design is compliant with frontage requirements, and the allotment area is suitably sized to accommodate the existing and proposed dwelling, as well as onsite parking and servicing requirements.

The provision of servicing, including water supply, wastewater systems, stormwater control and disposal, roads, access, street lighting, telephone and electricity.

Council's Development Engineer has assessed the proposal and confirmed it can be serviced in accordance with all relevant standards and codes, subject to the recommended conditions below.

Management of construction effects, including traffic movements, hours of operation and sediment control.

Construction effects will be generally in accordance with the permitted baseline, noting earthworks are within permitted levels and the proposal will result in two dwellings onsite (where three could technically be enabled).

Provision of esplanade reserves, esplanade strips and access strips.

There is no watercourse spanning a minimum 3m stream width through the site, meaning there is no requirement to provide for an esplanade strip or reserve.

Site contamination remediation measures and works; Protection of significant sites, including natural, cultural and archaeological sites.

The site is not contaminated, nor does it contain any significant sites.

Avoidance or mitigation of any natural hazard risk in accordance with Policy 11.1.3.

The applicant has submitted a flood modelling assessment which confirms that the flood waters affecting the site will not be unnecessarily displaced beyond the application site as a result of the earthworks and new dwelling onsite. This has been reviewed by Wellington Water Limited and Council's Development Engineer and they have both confirmed the findings of the model to be viable and methodology to be sound. On this basis, it is confirmed that the development and subdivision will not result in the conveyance of the stream corridor onsite being diverted or displaced into adjacent properties. Natural hazard effects are acceptable.

The design and layout of the subdivision where any lot may affect the safe and effective operation and maintenance of and access to regionally significant network utilities (excluding the National Grid) located on or in proximity to the site; The outcome of consultation with the owner and operator of regionally significant network utilities (excluding the National Grid) located on or in proximity to the site.

Not applicable to the site.

Those matters described in Section 108 and 220 of the Resource Management Act 1991.

These have been discussed throughout this decision report, and are deemed acceptable. Conditions (where in scope) have been recommended and will ensure all effects from the proposal are acceptable.

Land use consent assessment matters

The relevant matters of discretion for the land use consent are as follows –

- The planned urban built form for the zone, including a requirement to enable buildings of at least 6-storeys
- Dominance, privacy, and shading effects on adjoining sites
- Streetscape and visual amenity effects

I note that the carport is an open structure (i.e. walls not enclosed), and is sized for a single vehicle, reducing any potential dominance and amenity effects. The structure is to be used for transient purposes only, and features no spaces which will be utilised for living or recreation, meaning privacy effects will be acceptable. The structure is substantially smaller in scale and potential bulk than what is anticipated as the planned urban built for this zone. All effects from the setback non-compliance will be acceptable.

Conclusion

I consider the actual or potential effects on the environment to be acceptable and less than minor for the reasons outlined above.

6.2 - ASSESSMENT OF THE RELEVANT PROVISIONS OF THE DISTRICT PLAN UNDER S104(1)(B)

The District Plan has a number of objectives and policies that require considering in assessing an application. The relevant objectives and policies “as a whole” must be considered. The following are most relevant for this application:

Chapter 4G High Density Residential Area

Objective 4G 2.1 A well-functioning urban environment that enables all people and communities to provide for their social, economic, and cultural wellbeing, and for their health and safety, now and into the future.

Objective 4G 2.3 The High Density Residential Area provides for a variety of housing types and sizes that respond to—

- i. housing needs and demand; and*
- ii. the neighbourhood's planned urban built character, including six-storey buildings.*

Objective 4G 2.5 Built development is of high quality and provides

- i. appropriate onsite amenity for residents*
- ii. appropriate residential amenity for adjoining sites, and*
- iii. a high level of amenity for the street*

Objective 4G 2.6 Built development is adequately serviced by network infrastructure or addresses any infrastructure constraints.

Policy 4G 3.4 Provide for developments not meeting permitted activity status, while encouraging high-quality developments.

Policy 4G 3.5 Enable housing to be designed to meet the day-to-day needs of residents

Policy 4G 3.6 Require built development to provide occupants with adequate opportunities for outdoor living through having usable and accessible on-site private outdoor living space, or through access to appropriate communal or nearby open space of comparable utility.

Policy 4G 3.7 Encourage development to contribute to an attractive setting for occupants and the surrounding area, which can be achieved through:

- i. Landscaped areas that contribute to amenity*
- ii. Adequate outlook areas from habitable rooms, and*
- iii. Other means that would adequately mitigate a lack of landscaping or outdoor area.*

Policy 4G 3.8 Manage the effects of built development on adjoining sites and the street by controlling height, bulk and form of built development.

Policy 4G 3.14 Require development to be stormwater neutral.

The development provides a high level of onsite amenity with compliant outdoor living area and compliant landscaped area, onsite permeability, and building coverage. The development will not compromise the anticipated character of the surrounding environment.

The development is wholly residential and is exemplary of infill housing in an established suburb close to essential amenities. As such, it facilitates a compact, sustainable urban form and will help to diversify the range of housing choices available in the District.

In considering the comments above in addition to the assessments found at Section 6.1 of this report, the proposal is considered to be consistent with the objectives and policies relating to the High Density Residential Activity Area.

Chapter 11 Subdivision

Objective 11.1.1 To ensure that land which is subdivided can be used for the proposed use or development.

Policies 11.1.1(b) To provide flexibility in lot size, shape and frontage within Commercial, Mixed Use, General Medium Density Residential and Medium High Density Residential Activity Areas to enable diversity of commercial and residential development size and density.

Objective 11.1.2 To ensure that utilities provided to service the subdivision protect the environment and that there are no adverse effects on the health and safety of residents and occupiers.

Policies 11.1.2(a) To ensure that utilities provided comply with specified performance standards relating to such matters as access, street lighting, stormwater, water supply, wastewater, gas, telephone, electricity and earthworks.

The development provides lots that are of suitable size and shape to accommodate their residential use without compromising amenity values or character of the surrounding environment. They can be appropriately serviced in terms of wastewater, water, stormwater, power and telecommunications. Both lots have direct street frontages and vehicular access.

It is considered that the proposed development is consistent with the above objectives and policies.

Conclusion

I consider that the proposal will not be contrary to the objectives and policies of the District Plan as identified above.

6.3 - ASSESSMENT OF THE RELEVANT PROVISIONS OF OTHER STATUTORY PLANNING DOCUMENTS UNDER S104(1)(B)

I consider that there are no other relevant provisions of national environmental standard, other regulations, national policy statement, New Zealand Coastal Policy Statement or regional policy statement or proposed regional policy statement that regard must be had.

6.4 – PURSUANT TO S104(1)(C) ARE THERE ANY OTHER MATTERS RELEVANT AND REASONABLY NECESSARY TO DETERMINE THE APPLICATION?

I consider there are no other matters relevant and reasonably necessary to determine the application.

6.5 - PART 2 OF THE RESOURCE MANAGEMENT ACT

I consider the proposal meets Part 2 matters of the Resource Management Act 1991.

6.6 - IN ACCORDANCE WITH S106 A CONSENT AUTHORITY MAY REFUSE SUBDIVISION CONSENT IN CERTAIN CIRCUMSTANCES

A consent authority may refuse subdivision consent or may grant a subdivision consent subject to conditions if it considers that there is significant risk from natural hazards or sufficient provision has not been made for legal and physical access to each allotment to be created by the subdivision.

Each lot is to be serviced by drive-on access and has a compliant frontage to the street. The applicant has successfully demonstrated that neither lot will be subject to significant risk from the onsite flood hazards.

There is hence no reason to refuse consent under s106.

6.7 - SUBSTANTIVE DECISION

In respect of **subdivision consent**, in accordance with section 104A, after considering an application for resource consent for a controlled activity, a consent authority must grant the resource consent, unless it has insufficient information to determine whether or not the activity is a controlled activity.

As sufficient information has been provided to determine the activity is a controlled activity the resource consent is granted under s104A.

I impose the following conditions under s108 and s220 for those matters over which control is reserved in national environmental standards or other regulations; or over which it has reserved its control in its plan or proposed plan.

In respect of **land use consent**, in accordance with section 104C, I have considered those matters over which discretion is restricted in a national environmental standard or other regulations or plan or proposed plan and have decided to grant the application subject to conditions under s108 relating to those matters over which discretion is restricted.

7. CONDITIONS OF RESOURCE CONSENT

In accordance with s108 and s220 of the Resource Management Act, resource consent has been granted subject to the following conditions:

The following conditions apply to both **subdivision** and **land use consent**:

1. That the proposal is carried out substantially in accordance with the information and approved plans submitted with the application and held on file at Council. Approved plans include:
 - a. Scheme Plan, Drawing No. 4703SCH, Sheet 1, prepared by Lucas Land Surveys Ltd and dated 12/23.

- b. Architectural Plans – 8 Willoughby Street (Rev. A), Sheets C-010, 201, 202, 210, 240, 300, 301, 400, 401, prepared by a.k.a Architecture and dated 03/08/2024.

Note: This condition addresses an essential administrative matter.

2. That the consent holder advises Council (enforcement@huttcity.govt.nz) at least two working days before any work starts on site; and that the consent holder also supplies the name, phone number and address of the main contractor and, if applicable, the same details for the earthworks company.

Important notes:

- When given notice of a start date, a compliance officer will suggest an on-site meeting to run through a checklist of things to make sure the project runs as smoothly as possible. This service is included in the resource consent application fee. Using it could avoid difficulties later on. Please note that additional monitoring visits will be charged at \$255 per hour.
- Notification of work commencing is separate to arranging building inspections.

Note: This condition addresses an essential administrative matter

3. Following construction of the carport on Lot 2, the consent holder shall submit photographic evidence to Council's Resource Consents and Compliance Manager (via enforcement@huttcity.govt.nz) that the existing vehicle crossing aligns with the width of the carport and is suitable for access and egress as intended. If the existing crossing is not confirmed as suitable by Council, prior to occupation of the dwelling on Lot 2, the consent holder shall widen the crossing on Lot 2 in accordance with the Plans approved per Condition 1, and HCC Standard drawing CM1005-93R.

The following conditions apply to **subdivision consent** only:

Construction Management

4. That the consent holder ensures vehicles and machinery leaving the site do not drop dirt or other material on roads or otherwise damage road surfaces; and that if such spills or damage happen, the consent holder cleans or repairs roads to their original condition, avoiding discharge into any stream, stormwater system or open drainage channel in the process. (The term "road" includes footpaths, vehicle crossings and berms.)

Advice note:

- **The consent holder is advised to get any consent necessary from Greater Wellington Regional Council for any works within the bed (or within 5m of the bed) of a stream before starting that work.**
- The consent holder is advised that the District Plan requires all earthworks undertaken (including those associated with trenching and servicing) adhere to Greater Wellington Regional Council's *Erosion and Sediment Control Guidelines for the Wellington Region*, and *Small Earthworks Erosion and Sediment Control for Small Sites*.

- To give effect to the above District Plan requirement, the consent holder is advised of their obligation to undertake earthworks in a manner that:
 - o avoids sediment entering streams or drainage systems; and
 - o stabilises, covers, and/or seals (via planting, paving, or other surfacing) areas of exposed earth as soon as practicable; and
 - o prevents dust blowing beyond site boundaries to the extent that it does not cause nuisance and/or hazard; and
 - o ensures vehicles and machinery leaving the site do not drop dirt or other material on roads or otherwise damage road surfaces; and
 - o features appropriate erosion and sediment control measures onsite to ensure compliance with the District Plan.
- The consent holder is advised that the District Plan requires all construction works to be undertaken to comply with NZS 6803:1999 Acoustics - Construction noise. Practicably, to ensure compliance with this requirement of the Plan, machinery operating hours, including machinery start-up times, should be limited to between 7:30am and 6pm Monday to Saturday, with no work on Sundays or public holidays.

5. That the consent holder informs the Council's Maintenance and Renewals Manager (Colin Lunn - Colin.Lunn@huttcity.govt.nz) 10 days prior to working close to the existing street tree outside the adjacent property when extending the sewer main.

6. The consent holder appoints a suitably qualified arborist to supervise all proposed civil works within the dripline of existing trees in order to avoid detrimental effects to the street tree. The details of the appointed arborist (including name, qualifications, experience and contact details) are to be submitted to Council's Maintenance and Renewals Manager for certification that the appointed arborist has the appropriate skills and experience prior to any construction works starting onsite.

Advice note:

- It is recommended that the consent holder contact the Contracts Manager at an early stage to discuss the approval for working around the existing street and any construction work that will occur near the street trees.

7. No roots (within the construction zone) over 35mm in width are to be cut without supervision by the arborist appointed per the condition above.

Advice note:

- Specific backfill requirements may apply.
- The installation of a tree protection zone (TPZ) (at least 1.8 metres in height) around the stem circumference of the tree. The footpath egress is to remain open for pedestrians, where appropriate unless alternate traffic control measures for pedestrians are in place. The TPZ is to be checked regularly to ensure it remains in good condition and upright throughout the demolition and construction phases.
- No machinery, fuel, or construction materials are to be stored within the TPZ at any time.

- Any excavation carried out around the tree root zone is to be supervised by a qualified and approved HCC arborist.
- Any excavation within the dripline of the tree is to be undertaken with an air spade to minimise damage to tree roots. Roots under 35mm can be trimmed with a sharp saw on-site. Root pruning over 35mm must be carried out by an approved HCC arborist if considered appropriate.
- Any approved trimming of branches is to be carried out by an approved HCC arborist and meet arboriculture best practice.
- Costs associated with the above is to be at the developers cost.

Access

8. That the consent holder gives 7-days written notice to the adjoining owner (12 Willoughby Cr.) before undertaking any work that will interrupt pedestrian or vehicle access to their property (e.g. the sewer main extension).
9. That the consent holder applies for a Corridor Access Request (CAR) from Hutt City Council's roading and traffic department prior to works or machinery obstructing the legal road or pedestrian footpath at any point during works.

Three Waters

10. That the consent holder installs the reticulation as necessary and connects 100mm DN sewer, 100mm DN stormwater, and minimum 20mm DN water service leads to the public mains (or to the road kerb or direct to the stream in the case of stormwater) for lot 2 together with a new 20mm DN water connection to lot 1 (and adjust any existing services if necessary) in accordance with the plans approved per Condition 46 [EAP condition].

Advice note:

- The consent holder is advised that the design and construction of all water, stormwater and sewer reticulation services is assessed in the context of the 'Regional Standard for Water Services', the 'Regional Specification for Water Services' and the 'Approved Products Register', including all associated amendments. Copies of the latest version of these documents are available on the following website: <https://wellingtonwater.co.nz/contractors/technical-information>.
- It is now Council policy that only water laterals of polyethylene material can be utilised for a new dwelling or new vacant lot. All non-conforming laterals, including the tobies in the case of water, are to be renewed and sealed at the main if not replaced in the same position.
- The consent holder must apply for new water connections at the customer services counter of Council Building, 30 Laings Road, Lower Hutt. These applications are processed by the Water Connections Team at Wellington Water Limited. Wellington Water Ltd. may impose special requirements or conditions for new connections depending on, among other things, the existing reticulation system's condition and

layout, flow rates, pressure zones and proposed future work. It is important the consent holder makes an application early in the design or construction phase.

11. The consent holder ensures that the development is designed and built to be stormwater neutral so that the stormwater runoff from the fully developed site is no more than existed prior to the development for both a 10 year and 100-year rainfall event. As such, the installation of an appropriately sized (based on the house roof area) detention tank on lot 2 is undertaken at the time of building. The tank sizing and installation is to be in accordance with the Wellington Water's guidelines: ***Managing Stormwater Runoff – The use of approved solutions for hydraulic neutrality***, which can be obtained from the following website: <https://www.wellingtonwater.co.nz/resources/developing/stormwater-neutrality-and-wastewater-control/> .

In accordance with section 221 of the Resource Management Act 1991, a consent notice shall be placed on the record of title of lots 2 informing future owners of this requirement and of any maintenance requirements of the stormwater system.

12. That the consent holder submits a copy of the approved water connection application form (signed by Wellington Water Ltd.) to Council when applying for the section 224(c) certification.
13. That the consent holder severs all abandoned cross-boundary services, including any water and stormwater pipes. Abandoned pipes within the property are to be sealed at the junction with the "live" pipe and at all ends (including where the line is broken through). In addition, where abandoned pipes have the potential to act as a cross-boundary field drain they are to be sealed at the boundaries. Abandoned property laterals (connections from the main or kerb) are to be severed and sealed at the main or kerb. The location of sealing of abandoned lines shall be clearly indicated on the final as-built plans.

Engineering Approval

14. That, prior to the commencement of physical works, the consent holder submits engineering plans for the construction work authorised under this consent, to Council's Resource Consents and Compliance Manager via subdivision@huttcity.govt.nz for approval of the detailed design; that the plans provide information, including:
- a) the three waters infrastructure servicing, with details on but not limited to –
 - i. materials
 - ii. the size, type and class of pipes
 - iii. pipe gradients
 - iv. invert levels including at the point of connection with the public mains
 - v. pipe cover
 - vi. trench profile
 - vii. service clearance dimensions
 - viii. final design surface levels

- b) Confirmation of the existing public service details (location and invert levels) and consideration of possible clashes of pipe grades.
- c) Construction details and design levels of the proposed private way.

All construction work must be carried out in accordance with the engineering plans certified under this condition.

Advice note:

- This condition is necessary (even for minor works) as the engineering approval letter will list further engineering requirements in regard to Corridor Access Requests, pipe materials, inspections, as-built information, CCTV etc.
 - Engineering approval of the proposed services and access up to the individual lot boundaries is **completely separate** from any approval given under building consent and must be requested prior to installation, irrespective of any building consent being issued.
 - To avoid any potential conflict or further amendments to the servicing and engineering design of the proposal it is strongly recommended that the consent holder applies for, and attains, Engineering Approval prior to the submission of any building consents for the approved development.
 - Council accepts no responsibility for any physical work required upon processing of application for section 224(c) certification where engineering plan(s) was not submitted by the consent holder and approved by Council's Resource Consents and Compliance Manager.
 - Where there are discrepancies in information, the most recently dated Council stamped plans will take precedence.
15. That the consent holder appoints a suitably qualified and experienced person to carry out the design and supervision of construction work, as well as certification upon completion, as provided for by clause 1.7.1 of NZS 4404:2010. The consent holder shall submit the name and contact details of the appointed representative to the Resource Consents and Compliance Manager for record-keeping before or at the time of submitting engineering plans; notice can be emailed to subdivision@huttcity.govt.nz.
16. The certification of subdivision works, undertaken by the person appointed per the condition above, must include confirmation that the materials, installation and testing meet the relevant Council codes and standards. Written certification must be submitted to Council via subdivision@huttcity.govt.nz at time of application for section 24(c) certification.
17. That the consent holder appoints a suitably qualified contractor or contractors to complete the works to the approved design; and that the consent holder submits to Council subdivision engineer for approval the name, contact details and experience of the contractor(s) at the time of submitting engineering plans for approval or at least a minimum of 7 days in advance of commencing the construction works. The approved contractor(s) must give a minimum of 48 hours' notice to Council subdivision engineer before starting work.

Power and Telecommunications

18. That the consent holder provides separate underground telecommunication and electrical services to lot 2 in accordance with the specifications and requirements of the relevant authority.
19. That the consent holder provides Council's Resource Consents and Compliance Manager with written confirmation from Chorus (or the equivalent network supplier) and Wellington Electricity Lines Ltd that they are satisfied the supply of their utilities for the new lot meets their requirements.

Advice Note:

- The existing over-head power wires to the house on lot 1 can remain, with the proviso that an easement is created over the short section where they cross over lot 2.
- The telecommunication service to the existing house on lot 1 appears to be underground. There is a duct attached to the downstream side of the bridge which may be either power to the gate or telecom. Whichever, it is to be confirmed that telecom and and/or power to the gate are within lot 1.

Certification and Easements

20. That the consent holder provides Council with written confirmation from a surveyor or suitably qualified engineer that all existing services have been adjusted so they are contained within the lot or are protected by an appropriate easement **and that the ends of all abandoned lines have been sealed in accordance with council requirements, or alternatively that the consent holder provides Council with written confirmation from a surveyor or suitably qualified engineer that no such adjustments and sealing are necessary.**
21. That the consent holder provides Council the as-built plan, certified by a surveyor or engineer, showing the location of all service connections and new work within private property, (including abandoned lines), relative to the lot boundaries.

Consent Notices

22. That, in accordance with section 221 of the Resource Management Act 1991, Council registers a consent notice on the record of title of the allotments specified below, specifying ongoing requirements in relation to this consent. Consent notices shall be registered to manage the following aspects:
 - a. Lot 2 – stating that a stormwater detention tank is to be installed at time of building to achieve stormwater neutrality and that the owners are responsible for any maintenance requirements.

23. That the consent holder provides a benchmark in the form of a new survey peg or other permanent mark so that the lot 1 minimum floor level can be easily determined in the future; and that the consent holder records this benchmark and the known reduced level (1953 Wellington City Datum) on the as-built plans.

24. That, at the time of applying for section 224(c) certification, the consent holder provides a schedule of assets detailing each item to be transferred to Council ownership as part of the subdivision process; and that the consent holder supplies a full description of the item, material type, size, length, area, volume, et cetera, following the format set out in Council form

RAS-FORM-014.

For this development, the following will apply:

- The 150mm sewer main and manhole, **but not individual lateral**.

25. That the consent holder sets out the value of services to be taken over by Council to enable the creation of a buyer-created tax invoice, with the details provided to be in accordance with Council buyer-created tax invoice form RAS-FORM-015.

Processing Planner:



Alicia Todd
Consultant Resource Consents Planner

Peer reviewer with delegated authority:

Baylee O'Sullivan
Resource Consents Lead

Application lodged: 8 March 2024

Application processing commenced (fee paid): 13 March 2024

Application approved: 26 August 2024

No of working days taken to process the application: 25

Section 92(1) further information request: 09.04.24 – 13.08.24

Section 37A(4)(b)(ii): 5 days

8. NOTES:

- The subdivision resource consent is subject to payment of a development contribution fee. Payment of this fee is required before receiving section 224(c) certification.

Dev. Con. Calc.

Current Price Index: 1629 GST rate: 15.00%

RESET

Residential

	Fee per lot	Total fee
Number of additional lots	1	
Transport	☒ 2,522.74	2,522.74
Water	☒ 8,112.93	8,112.93
Wastewater	☒ 4,030.11	4,030.11
Stormwater	☒ 415.30	415.30
Total	15,081.07	15,081.07
Total fee		\$15,081.07
GST		\$2,262.16
Total contribution payable		\$17,343.24

Catchment

☐ Western Hills
☒ Valley Floor
☐ Stokes Valley
☐ Wainuiomata
☐ Eastbourne
☐ Rural

- In accordance with section 357 of the Resource Management Act 1991, the consent holder is able to object to the conditions of the consent. The consent holder must submit reasons in writing to Council within 15 working days of the date of this decision.
- In accordance with section 120 of the Resource Management Act 1991, the applicant and consent holder on the application or review of consent conditions may appeal to the Environment Court against the whole or any part of this decision by the consent authority.
- The consent lapses, in accordance with section 125 of the Resource Management Act 1991, if the proposal is not given effect to within five years.
- The consent applies to the application as approved by Council. The consent holder should notify Council if there are changes to any part of the plans. Council may require that the consent holder submits a new resource consent application.
- The proposal has been assessed against the requirements of the city's District Plan. Bylaws may apply to the proposal that may require separate approval from Council before starting any site works. See huttcity.govt.nz for a full list of bylaws.
- The proposal has not been checked for compliance with the Building Act 2004. No associated building work should start without first getting a building consent.
- The consent is not a licence to create adverse effects such as unwarranted dust, noise or disruption. It does not change the legal duty to avoid, remedy or minimise such effects. Council may enforce the provisions of the Resource Management Act 1991 if the consent holder fails to meet this obligation.
- Failure to comply with an abatement notice may result in Council imposing an infringement fine or initiating prosecution.
- Advice note from Heritage New Zealand: Any disturbance of land or damage or destruction of any building or structure associated with human activity prior to 1900, may require an archaeological authority from Heritage New Zealand under the Heritage New Zealand Pouhere Taonga Act 2014. Please contact Heritage New Zealand for further information.
- Before commencement of any work within the legal road corridor, including the laying of services, application is to be made for a Corridor Access Request (CAR). A CAR request can be made through contacting BeforeUdig either on their website: beforeudig.co.nz or

0800 248 344. Work must not proceed within the road reserve until the CAR has been approved, including the approved traffic management plan if required.

- Constructing, modifying or repairing a vehicle crossing requires separate Council approval, in addition to the approved resource consent. The vehicle crossing is to be constructed in accordance with Council's standards and codes. For more information contact the Transport Division via (04) 570 6881 or click the following link:
huttcity.govt.nz/Services/Roads-and-parking/Vehicle-crossings/

HUTT CITY COUNCIL
CONSENT NOTICE PURSUANT TO SECTION 221
OF THE RESOURCE MANAGEMENT ACT 1991

IN THE MATTER of Lots 1 and 2 DP 610356

AND

IN THE MATTER of Subdivision Consent (RM240061) pursuant to sections 104, 108, 220 and 221 of the Resource Management Act 1991.

Pursuant to sections 104, 108, 220 and 221 of the Resource Management Act 1991 the Hutt City Council, by resolution passed under delegated authority on 28 August 2025, imposed the following conditions on the subdivision consent for Lots 1 and 2 being a subdivision of Lots 7 and 8 DP 10974.

The owners and occupiers of Lot 2 note and comply with the following requirements:

In respect to Lot 2 on the plan

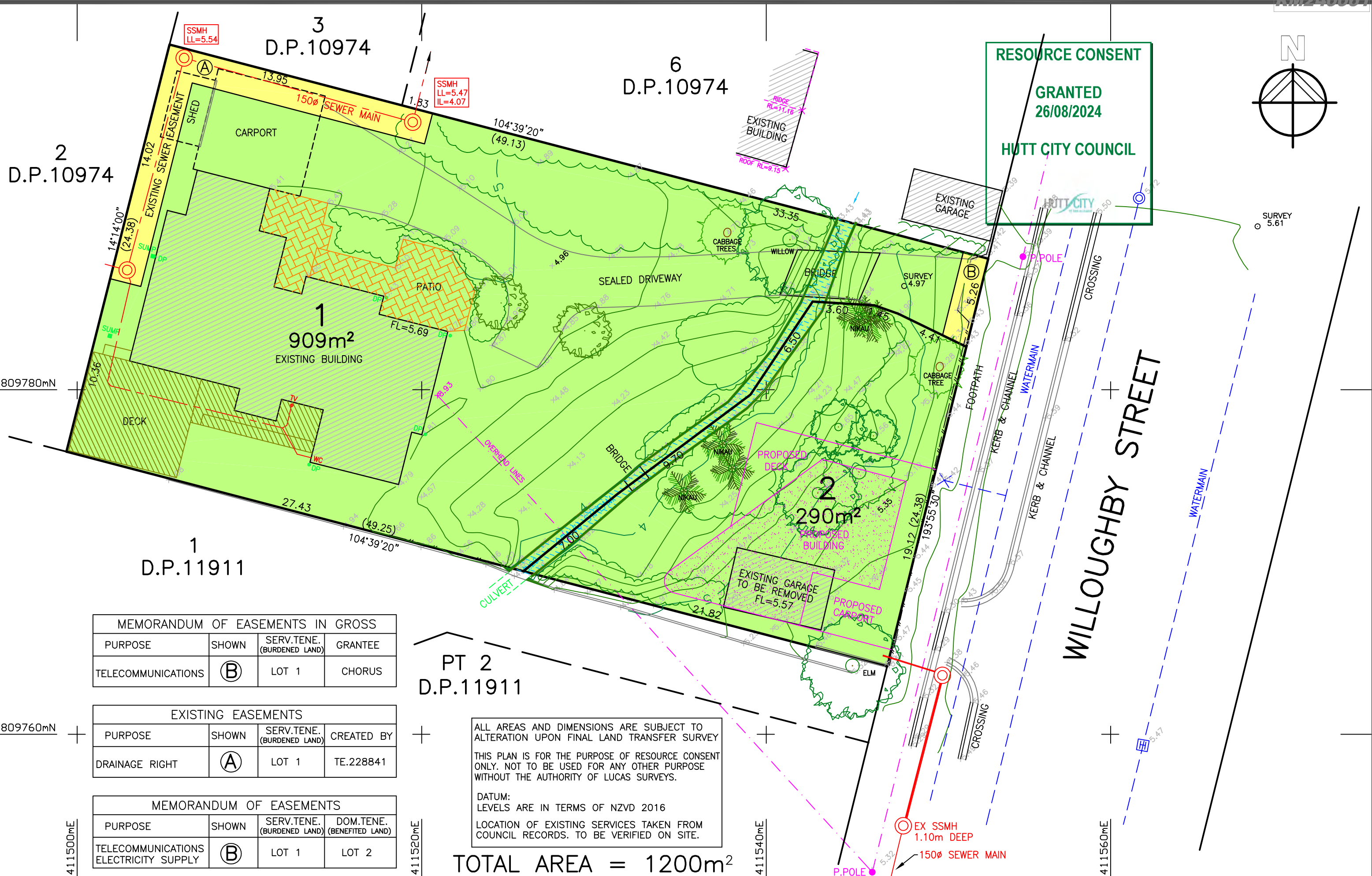
1. The owners of Lot 2 must install stormwater detention tanks (sized according to roof area) at the time of building in accordance with the HCC Standard Plan LD1002-R02. The property owners are responsible for the operation, maintenance and renewal of the detention system at all times in accordance with the document titled "Operation and Maintenance Guides" and in accordance with the Wellington Water document 'Managing Stormwater Runoff- The use of rain tanks for hydraulic neutrality; Version 5, which details the size of the tank, orifice size, discharge outlet and maintenance requirements. These documents are held on Hutt City Council file reference RM240061.

For and on behalf of the Hutt City Council

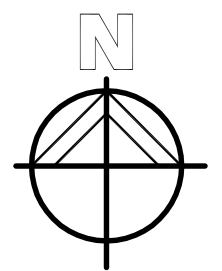
Authorised Officer

A handwritten signature in black ink that reads "VBashman". The signature is written in a cursive, flowing style.

Vincent Ashman
Senior Resource Consents Planner



RESOURCE CONSENT
GRANTED
26/08/2024
HUTT CITY COUNCIL



MEMORANDUM OF EASEMENTS IN GROSS			
PURPOSE	SHOWN	SERV.TENE. (BURDENED LAND)	GRANTEE
TELECOMMUNICATIONS	(B)	LOT 1	CHORUS

EXISTING EASEMENTS			
PURPOSE	SHOWN	SERV.TENE. (BURDENED LAND)	CREATED BY
DRAINAGE RIGHT	(A)	LOT 1	TE.228841

MEMORANDUM OF EASEMENTS			
PURPOSE	SHOWN	SERV.TENE. (BURDENED LAND)	DOM.TENE. (BENEFITED LAND)
TELECOMMUNICATIONS ELECTRICITY SUPPLY	(B)	LOT 1	LOT 2

PT 2
D.P.11911

ALL AREAS AND DIMENSIONS ARE SUBJECT TO ALTERATION UPON FINAL LAND TRANSFER SURVEY

THIS PLAN IS FOR THE PURPOSE OF RESOURCE CONSENT ONLY. NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE AUTHORITY OF LUCAS SURVEYS.

DATUM:
LEVELS ARE IN TERMS OF NZVD 2016

LOCATION OF EXISTING SERVICES TAKEN FROM COUNCIL RECORDS. TO BE VERIFIED ON SITE.

TOTAL AREA = 1200m²

PROPOSED SUBDIVISION OF LOTS 7 & 8 D.P.10974
8-10 WILLOUGHBY STREET, WOBURN, LOWER HUTT
PREPARED FOR : R.H. & V.F. COLLINGE



m: 0274 443 657
t: 04 566 0607
e: lucasurv@xtra.co.nz

28 Knights Road
P.O. Box 31-155
Lower Hutt

SCALE 1:200
DATE 12/23
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DRAWING NUMBER
4703SCH
SHEET 1 OF 1 SHEETS

ENVIRONMENTAL HEALTH

HEALTH ACT 1956 NOTICES

Council has issued no notices on the property under the provisions of the Health Act 1956.

NOISE CONTROL

Council has no record of having issued an abatement notice on the owner or occupant of the property for unreasonable noise under the provisions of section 322(1)(c) of the Resource Management Act 1991.

LIQUOR LICENSING AND HEALTH REGISTRATIONS

Neither the Lower Hutt District Licensing Agency, or Alcohol, Regulatory and Licensing Authority has issued an alcohol licence for these premises.

Contacts	Position	Phone
Environmental health matters	Environmental Health Officer	04 570 6666
Trade waste matters	Trade Waste Officer	04 570 6666

ROAD AND TRAFFIC

ENCROACHMENTS

Council records show there is no road reserve encroachment licence relating to the property.

PLANNED LONG TERM ROAD WORKS

The council's long-term community plan does not list any road projects in the immediate area of the property.

Council's Long Term Plan includes the potential construction of a new East – West connection across the Hutt Valley. There is a comprehensive investigation, design, consultation and consenting process to be navigated before the alignment is determined. It is only after this work that council can identify the areas and roading networks potentially impacted.

ROAD RESERVE GARDENS

1. Authorised Road Reserve Gardens

Where a property owner has obtained formal approval from Hutt City Council to install and maintain a garden within the road reserve (the land between the private property boundary and the formed edge of the roadway), the ongoing responsibility for maintaining the garden rests with the current property owner. This responsibility continues with any subsequent property owner(s) in the event of a change of ownership.

Approval is granted on the condition that the garden is maintained to a standard that is safe, tidy, and does not obstruct pedestrian or vehicle access, visibility, or infrastructure.

2. Unauthorised Road Reserve Gardens - where officer consider the unauthorised gardens may remain

Where a property owner has planted a garden within the road reserve without prior approval from Hutt City Council, the responsibility for ongoing maintenance remains with the property owner. This responsibility also passes to new owners if the property is sold.

Should future owners not wish to assume maintenance responsibilities, they are required to reinstate the road reserve area to grass or an approved standard at their own cost.

3. Clarification of Responsibility

Property owners are encouraged to contact the Transport Maintenance and Renewals Team at Hutt City Council to confirm whether the area in question is the responsibility of the Council or the adjoining landowner, and to discuss approval requirements or reinstatement processes if applicable.

For enquiries, please contact: contact@huttcity.govt.nz

4. Restoration of Road Reserve Gardens Following Underground Service Works

When underground services are installed or maintained, any road reserve areas of private or public gardens that are impacted by the works will be reinstated to grass only. This includes the removal or disturbance of existing garden beds, plants, mulch, decorative features, or other landscaping elements, which will not be restored to their original condition. Instead, affected areas will be reseeded or covered with turf to establish a uniform grass surface.

ISOLATION STRIPS

Council records do not show any isolation strips barring access to a legal road.

VEHICLE CROSSINGS

Council records show that vehicle crossing(s) to the property are properly located and meet council construction standards.

Contacts	Position	Phone
Road and traffic	Road and Traffic Asset Management Officer	04 570 6666

ARCHIVES

SEARCH METHODOLOGY

Council carries out searches of property-related files using the current street address, current and previous legal description (DP number) and any other search terms it can identify, such as owner or business names. Searches may exclude older files which have a greater likelihood of not recording the street addresses or legal descriptions.

In compiling your LIM document, the archives files may have been condensed to minimise the size of the document. If you want to view the complete, high resolution scan of the archive file it is available through our [website](#).

If you want to obtain a complete copy of an archive file, please contact the Information Management Team at the email address below.

ARCHIVE FILE REFERENCES

The Information Management Team could find no records relating to the property.

Contacts	Email
Archive information	archives@huttcity.govt.nz

COMMUNITY SERVICES

LOCAL ELECTORAL AREA

The property is in the Central Ward.

RUBBISH AND RECYCLING

Tuesday is the rubbish collection day for the property.

Every residential property in Lower Hutt has been provided with a red rubbish bin, a yellow recycling bin and blue glass crate. Households can also opt into receiving a green garden waste bin. Please visit our website for more information. If you have any enquiries, please call 04 570 6666 or email binchanges@huttcity.govt.nz.

Find out more about our bins, and what goes into them, on our website [Too Good to Waste](#). Hutt City Council and councils in the Greater Wellington Region have partnered on a campaign to help support communities to reduce their waste. Please visit our joint council website and learn how to think differently about waste – from purchase, to storage and transport, to reuse and repurpose so that we can work towards living lives that are waste free.

POLICE

Phone 111 for emergencies or 105 for non-emergencies.

Lower Hutt Police (phone 04 560 2600) can connect callers to their local community constable, where available. For more information on local police, please click [here](#).

EXPLORE LOWER HUTT

This property is in the Hutt Valley, with forested mountains, river valleys, rugged coastline and natural surrounds resulting in plenty of options to explore. Wander to the highest waterfall, go midnight kiwi listening and connect with history. Here are the roots of New Zealand's first European settlement where they were welcomed by Te Āti Awa, the place you now call home. For more ideas on how to spend your weekends by attending events or uncovering your big backyard, head to <https://www.wellingtonnz.com/visit/hutt-valley>

REPORT A PROBLEM

If you've spotted any issues or problems with any of council's services, tell us about it using our Report a Problem [portal](#).

COMMUNITY SUPPORT

Council supports communities by providing advice, training and resources, and places for community groups to gather. We also work with others to make our communities safe. Find out how [here](#).

Contact Us

Phone	04 570 6666 or 0800 HUTT CITY
Calling from overseas	<u>0064 570 6666</u>
E-mail the LIM team	<u>Lim.reports@huttcity.govt.nz</u>
Feedback survey for the LIM team	<u>www.surveymonkey.com/r/LIMSURV</u>
E-mail Council	<u>contact@huttcity.govt.nz</u>
Website	<u>www.huttcity.govt.nz</u>
Report a Problem	<u>https://maps.huttcity.govt.nz/RAP/viewer/</u>
Physical address	Hutt City Council 30 Laings Road Lower Hutt 5010
Office hours	Weekdays 8am to 5pm Not open public holidays
Postal address	Hutt City Council Private Bag 31 912 Lower Hutt 5040
Facebook	<u>www.facebook.com/huttcitycouncil</u>
Twitter	<u>www.twitter.com/huttcitycouncil</u>