

Statement of Passing Over Information

This information has been supplied by the vendor or the vendor's agents. Professionals, Redcoats Limited is merely passing over this information as supplied or researched by us. We cannot guarantee its accuracy and reliability as we have not checked, audited, or reviewed the information and all intending purchasers are advised to conduct their own due diligence investigation into this information.

To the maximum extent permitted by law we do not accept any responsibility to any party for the accuracy or use of the information herein.



LAND INFORMATION MEMORANDUM

83 COAST ROAD WAINUIOMATA

Produced by Hutt City Council
02/09/2025

Reference: LIM251038

Nemausus Limited
12 Gregory Street
NAENAE 5011

Dear Nemausus Limited,

Land information memorandum for 83 Coast Road WAINUIOMATA 5014

Please find enclosed your land information memorandum (LIM).

The LIM contains information Hutt City Council holds on record about the property and is required to provide in accordance with the requirements of section 44A of the Local Government Official Information and Meetings Act 1987, together with information it considers is relevant.

This LIM Report is an accurate representation of the information held on file and has been provided in good faith. It is not the result of any site visits. If you are unsure of what you are looking for, or how to read your LIM report, it is recommended you have your lawyer check it over with you.

While every care has been taken to ensure the information is correct, its accuracy cannot be guaranteed as third parties may have provided some of the details. Please also bear in mind the age of the building in assessing the comprehensiveness of this LIM. The older the building is, the greater the likelihood that alterations may have been made to it without the council having been informed, or that council's archives do not record the street address or legal description.

Hutt City Council accepts no liability for any errors in the report, in particular the exact location of property boundaries and private drains.

Other sources of information that may be of help include:

- Building inspectors: A building inspector can help to resolve questions about the building's structural soundness and the quality of workmanship. A register of independent building advisers can be found at the New Zealand Institute of Building Surveyors [website](#).
- Building consents and permits: More detailed information about building consents and building permits granted for work on the property can be viewed online for free using council's [Building Information Search](#) or at council's consents counter, 30 Laings Road, Lower Hutt.
- Council's plan for the city: The [Long Term Plan](#) outlines our priorities for the next 10 years, including what we plan to do. Council's [Annual Plan](#) is an operational look at the financial year ahead to ensure we're on track.
- The Proposed Lower Hutt District Plan was publicly notified on 6 February 2025. This is proposed to replace the current District Plan. The Proposed District Plan contains information, including new hazards and risks overlays, that may be relevant to this property. It is important to note that information from the Proposed District Plan has not been included in this LIM. Please refer to the District Plan section of this LIM for more information.
- Greater Wellington Regional Council: This council may hold information on the property. Ring 04 384 5708.
- Utilities: Electricity and gas companies may also hold information on the property.

If you have any questions, please refer to the relevant contact details found in each section of this report.

Yours sincerely,

Wendy Mncanca
LIM Officer

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OVERVIEW

PROPERTY ADDRESS

83 Coast Road WAINUIOMATA

LEGAL DESCRIPTION

LOT 81 DP 22539 WNA4/251

VALUATION NUMBER

1587067600

LAND AREA

837 m²





DEPOSITED PLAN

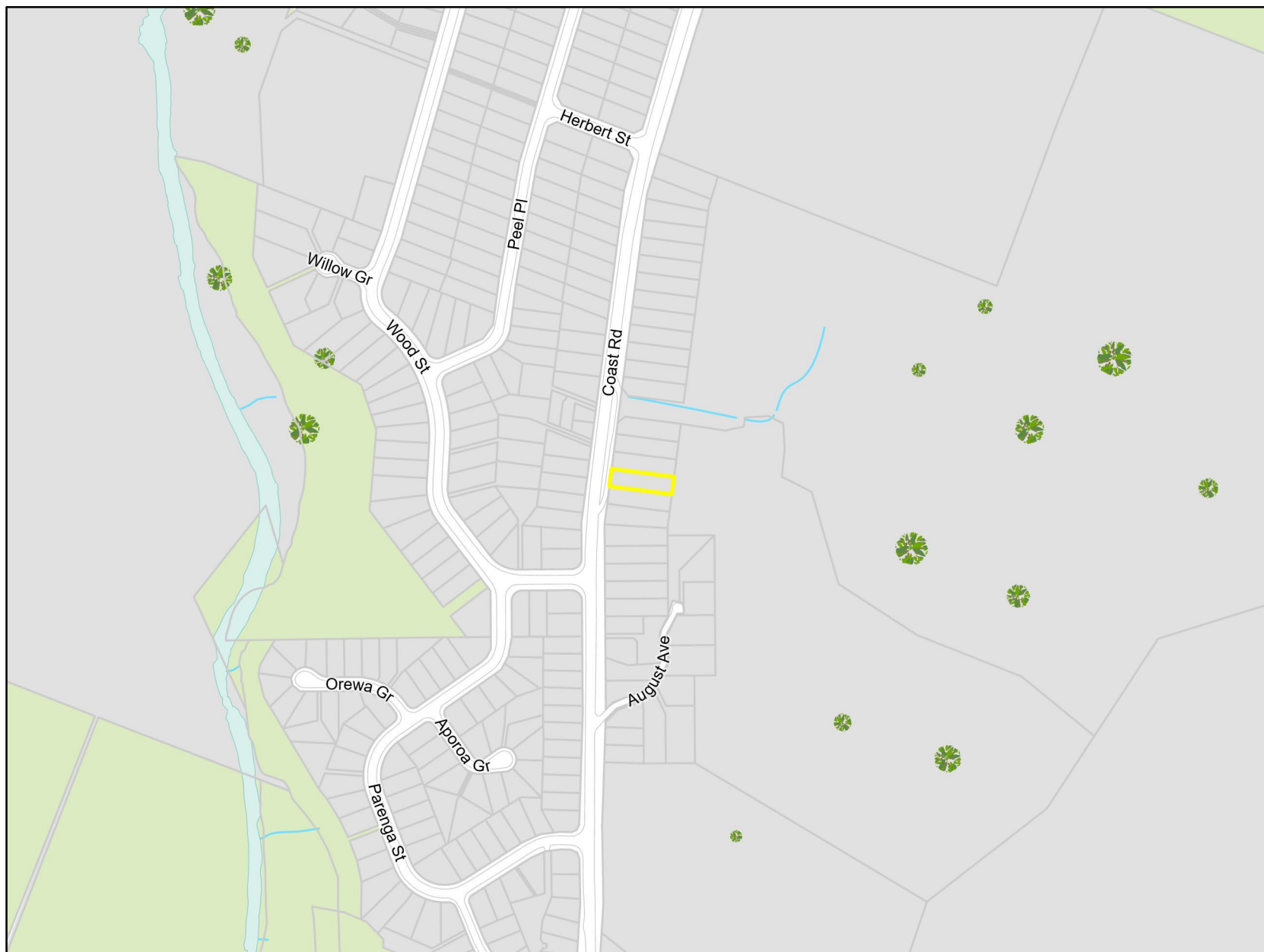
See the attached deposited plan

Contacts	Position	Phone
Deposited Plan	Engineering Records Officer	04 570 6666

PROPERTY DETAILS

Type	Description
Suburb	Wainuiomata
Ward	Wainuiomata Ward
Rubbish Collection Day	Friday
District Plan - Activity Area	Medium Density Residential
Tsunami Evacuation Zone	No Evacuation Tsunami Zone (Green Zone)
Exposure Zone (Sea spray)	NZS 3604:2011 - 4.2.3.2 Zone C: Medium
Wind Zone (Indicative only)	This land is in a MEDIUM wind zone in accordance with NZS 3604:2011.
Geological and Nuclear Sciences 1:50,000 Soil Type	Floodplain gravels. Medium grained. Thin.

-  LIM Property
-  Properties
-  Reserve
-  Waterbody
-  Streams and Rivers



LOCALITY MAP

Scale: 1:5,000



- LIM Property
- Contours
- Properties
- Easements



2025 AERIAL PHOTOGRAPH

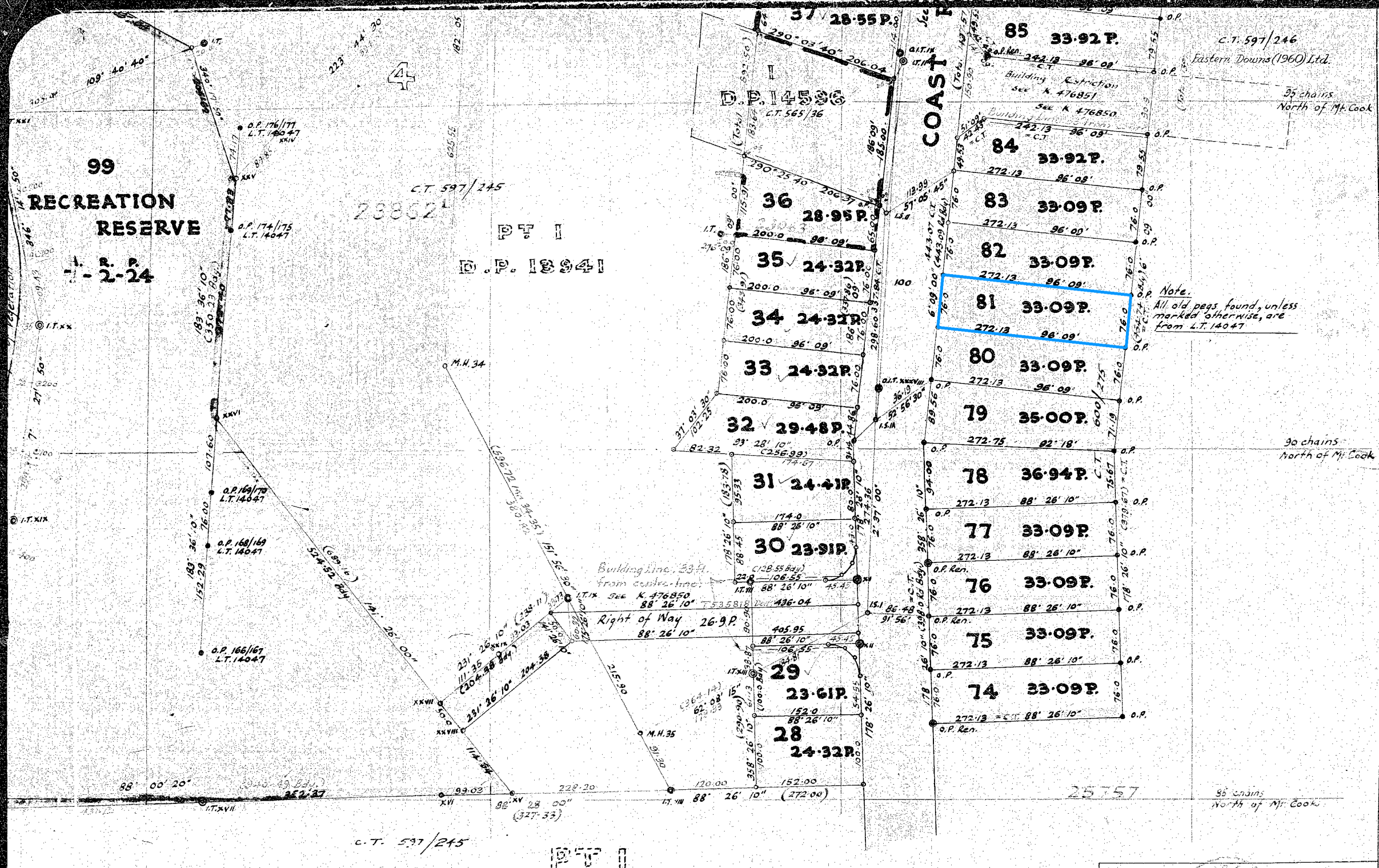
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Aerial photography flown in Jan-Mar 2021 and produced by AAM NZ Ltd for Hutt City Council and GWRC under the Creative Commons New Zealand Attribution v3.0 license. <http://creativecommons.org/licenses/by/3.0/nz/>

Deposited Plan





**PLAN OF SUBDIVISION OF PT SECS. 3 & 4 WAINUIOMATA DISTRICT
AND PT LOT 1 D.P. 13941 BEING PT SEC. 4 WAINUIOMATA DISTRICT.**

Comprised in C.T. 597/245 Pt C.T. 600/275
K. XVI BELMONT SURVEY DIST. WELLINGTON LAND DIST. HUTT COUNTY COUNCIL.
SCALE: 1 CHAIN TO AN INCH. SURVEYED BY TRUEBRIDGE, CALLENDER, BEACH & CO AUGUST 1960.

Kenneth Frank Thorn of Wellington, Registered Surveyor and holder of an annual practising certificate, do solemnly and sincerely declare that this plan has been made from surveys executed by me, that both plan and survey are correct, and have been made in accordance with the regulations under the Surveyors Act 1938 and I make this solemn declaration, conscientiously believing the same to be true and by virtue of the Oaths and Declarations Act, 1957.

Declared at Wellington this 18th day of October 1960
for me

K. Thorn
Registered Surveyor

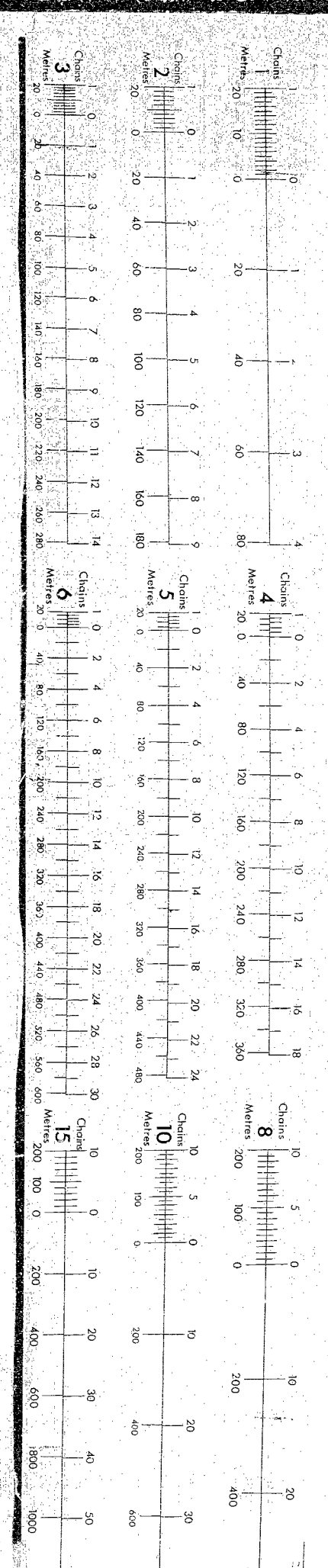
Solicitor

Approved

John A. ...
Director

Applicant or Registered Owner

F4



Current Record of Title



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy



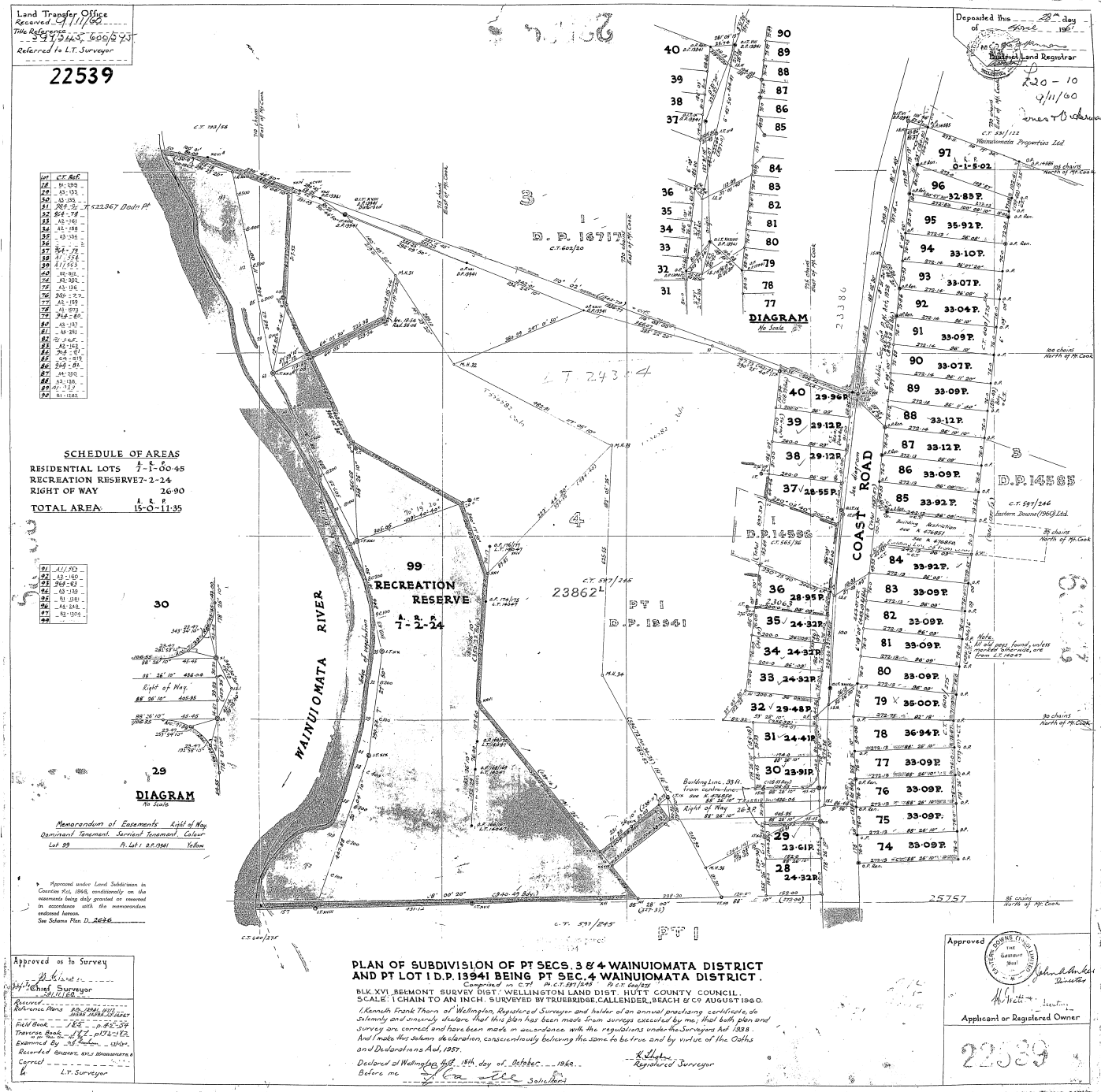

R.W. Muir
Registrar-General
of Land

Identifier **WNA4/251**
Land Registration District **Wellington**
Date Issued 07 November 1962

Prior References
WN600/275

Estate Fee Simple
Area 837 square metres more or less
Legal Description Lot 81 Deposited Plan 22539
Registered Owners
Nemausus Limited

Interests



RATES

The following rates are based on the capital value of the property at the start of the current financial year beginning 1 July 2025.

ANNUAL RATES

The general and targeted rates charged on a property during the rating year (1st July 2025 to 30th June 2026.)

Rates: \$4,558.30

RATES DUE AND PAYABLE

Any rates that are past the due date and remain unpaid.

Rates: \$0.00

CAPITAL VALUE

This value is used to calculate the general rates component of the property's annual rates. (It is a combination of the land value and the value of buildings and other improvements.)

Current: \$580,000.00

LAND VALUE

The land value is one component of the capital value.

Current: \$440,000.00

RATING CATEGORY

Residential - Dwelling houses.

WARM GREATER WELLINGTON HOME INSULATION SCHEME

Greater Wellington Regional Council (GWRC) offers the Warm Greater Wellington home insulation scheme by way of voluntary targeted rate to help fund the cost of home insulation. In other words, GWRC fund a specific activity (eg, insulation) on behalf of an individual ratepayer because the activity meets council policy objectives as well as benefits the ratepayer. While the scheme is currently on hold for new applications, please email warm@gw.govt.nz to check if the property has an existing Warm Wellington funding attached to it.

For information on how rates are calculated and how they are used, please visit our [website](#).

Contacts	Position	Phone
Rates details	Rates Officer	04 570 6666

BUILDING WORK

BUILDING PERMITS AND CONSENTS

The building card (also called “Building Permit Record” or “Drainage and Plumbing Register”), a copy of which is below, contains a list of all known building permits and building consents for the property up until the early 2000s, at which point the records were digitised. Borough councils may have issued some of these building permits before their amalgamation into Hutt City Council.

Note: Building consents and code compliance certificates came into existence with the passing of the Building Act 1991. Before then, councils issued only building permits. Building work carried out earlier than July 1, 1992 may quite legitimately have no code compliance certificate.

For further information and copies of pre-1991 permits that may not be included in this report but held on file, you can search online for free using council’s [Building Information Search](#).

Alternatively you can also order a copy of this information in electronic or hard copy format ([fees apply](#)):

- by phoning us on 04 570 6666/0800 HUTT CITY
- or sending an [email](#)
- or request in person from our team at the [council offices](#)

MATTERS RELATING TO THE WEATHERTIGHT HOMES RESOLUTION SERVICES ACT 2006

The Ministry of Business, Innovation and Employment has sent council no correspondence about the building(s) on the property as it relates to the Weathertight Homes Resolution Services Act 2006.

BUILDING WARRANTS OF FITNESS

No building warrant of fitness is needed for a single household residence unless it has a cable car. A building warrant of fitness is a statement from a building owner confirming that the specified system has been properly maintained.

If you’re unsure or require further information, please click [here](#) or contact the council’s building warrant of fitness officer on 04 570 6948.

FENCING OF SWIMMING POOLS

Residential pools are required by law to have physical barriers compliant with the pool safety provisions enacted by the Building Act 2004, regardless of whether there are young children living at the property. This requirement applies also to temporary pools and to small heated pools such as spa pools or hot tubs.

Please note that the Fencing of Swimming Pools Act 1987 was repealed on 1 January 2017 and replaced by provisions for fencing of pools in the Building Act 2004.

HEALTHY HOMES

HomeFit Certification:

New Zealand homes can be cold, draughty, expensive to heat and make us, our friends and our whānau sick.

HomeFit is an inspection-based assessment of the health, comfort, energy efficiency and safety of New Zealand homes. It covers a range of topics that a panel of experts believes to be essential for a home to be livable and provides an independent check as to whether the house meets the Healthy Homes Standards.

Check the [Homefit website](#) to do an online check and to find out how to get your home certified.

Rental Properties:

The healthy homes standards became law on 1 July 2019.

The healthy homes standards introduce specific and minimum standards for heating, insulation, ventilation, moisture ingress and drainage, and draught stopping in rental properties.

Landlords are responsible for maintaining and improving the quality of their rental properties. These standards will help ensure landlords have healthier, safer properties and lower maintenance costs for their investments.

The standards will also make it easier for tenants to keep their homes warm and dry. For more information on the criteria and deadlines of the standards, please visit the [Tenancy Services](#) website.

New Build:

Are you building a new home? Consider Homestar, a national rating tool that measures the health, warmth and efficiency of New Zealand houses. A home is rated on a scale from 6 to 10 and provides assurance that a house will be better quality - warmer, drier, healthier and cost less to run - than a typical new house built to building code. A 10 Homestar rating means you've built a world leading home. Check the [NZ Green Building Council](#) website for more information.

LEAD BASED PAINT

Lead based paint was widely used in and around New Zealand homes until the 1980s. It is particularly important to keep yourself safe when renovating and not to contaminate your home and garden. For information on managing lead based paint, please see Worksafe New Zealand's [website](#).

ASBESTOS

Most houses built between 1950 and 2000 are likely to contain asbestos in some form, which may be a health hazard if the asbestos fibres become airborne, for example if the material is damaged, sanded or drilled into. For more information, check out the Ministry of Health [website](#).

If you are intending on renovating a home potentially containing asbestos, this [Worksafe](#) website might be of some use to you.

TREATED TIMBER

Treated timber is timber that has been treated with chemicals to preserve its quality. It can be hazardous to health when exposed to the preservative in the wood, for example, when you are cutting the wood and creating dust.

For more information and precautions when handling treated timber visit this Ministry of Business, Innovation and Employment [website](#).

Contacts	Position	Phone
Building consents and permits	Duty Building Consent Officer	04 570 6666
Weathertight Homes Resolution Services Act	LIM Officer	04 570 6666
Building warrant of fitness	Building Warrant of Fitness Officer	04 570 6666
Private swimming pools and spas	Swimming Pool Officer	04 570 6666

Historic Building Card and Pre-1990 Building Permits Plans

38

40³ SHEET

25/09/2024

HUTT COUNTY COUNCIL

Valuation No.

Date Received :

Application for Building Permit

To : The Building Inspector,
P.O. Box 8012,
WELLINGTON.

TERRACRETE CONSTRUCTIONS LIMITED.

I (the undersigned), P.O. BOX 4, (Full Name)
of WAINUIOMATA, (Address)

ERECT
ADD-
ALTER-
REINSTATE

hereby make application for permission to Dwelling as
prescribed herein and set out in the plans and specifications attached hereto, in premises at :

No. 83 Coast Street or Road Wainuiomata Township

Lot No. 81 D.P. 22539 Riding

The owner of the premises is (Name)

..... (Address)

Previous owner { If Section has been recently transferred }

Estimated value of : Building only £ 2757 :
Plumbing and Drainage £ 3052 :

..... £ 295 :

Total £ 3052 :
£ 2757 :

Signature of Applicant John Baker (As Builder or Owner)

20-3-62 (Date)

Builder's Name and Address : { If not the applicant }

FOR OFFICE USE ONLY

Receipt No. 9410 Road Deposit No. A/c. No.

Fees :

Building Permit £ 13.10

Kerb Crossing £ : :

Road Deposit £ : :

£ 13.10

Date

Permit No. 5513

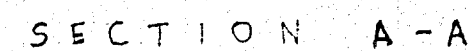
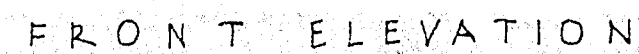
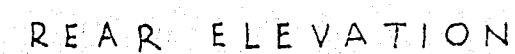
Date Issued

TOWN PLANNING DISTRICT
Conforms / Non-Conforming.

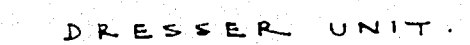
Operative
Undisclosed

Checked by District Engineer. (Date) (Initials)

Remarks :



SCALE: $\frac{1}{8}"$ TO 1'0".

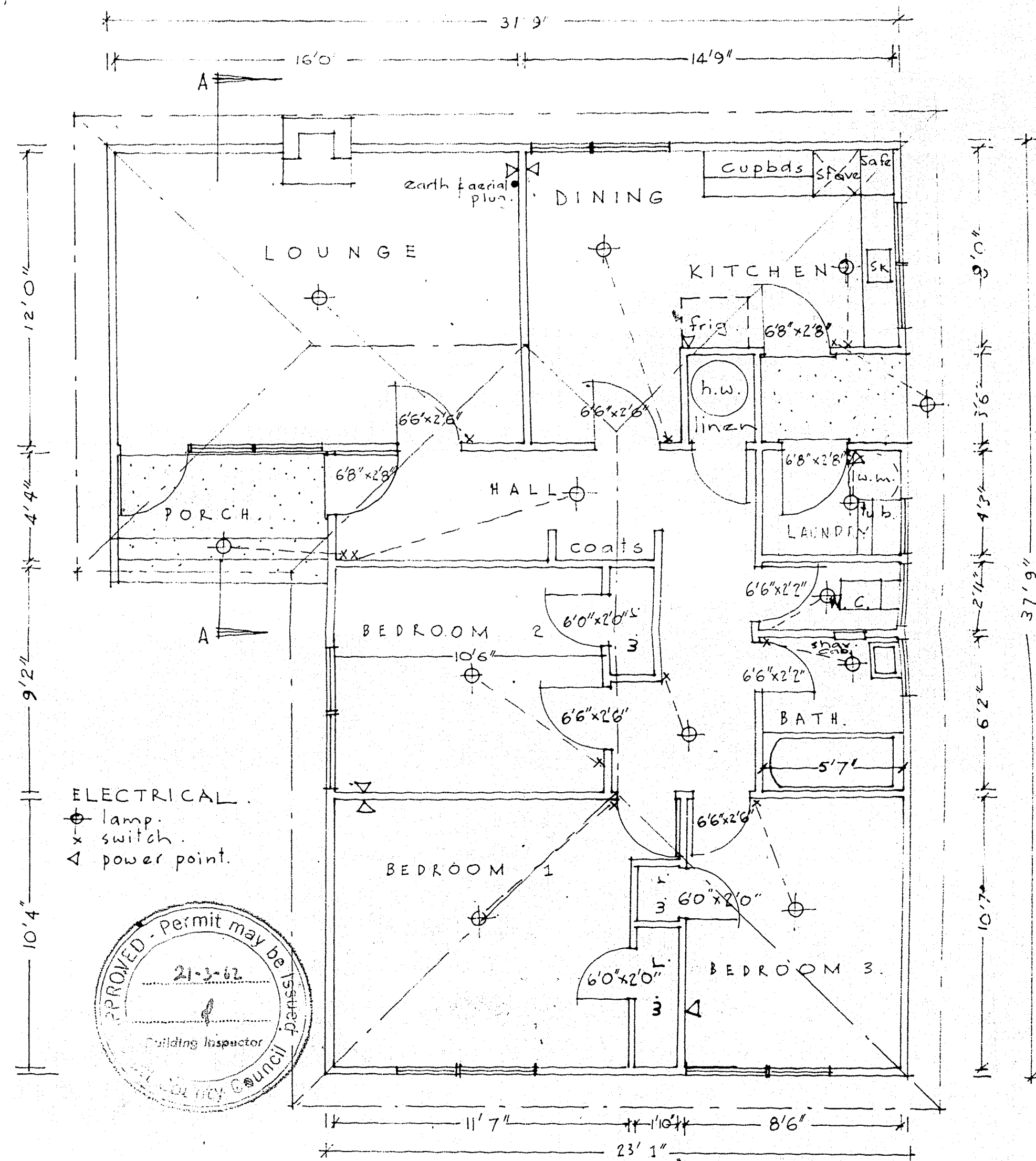


SCALE: $\frac{1}{4}"$ TO $1'0"$

P R O P O S E D R E S I D E N C E

L0T 81 D.P. 22539

COAST ROAD
WAINIOMATA



SCALE : $\frac{1}{4}"$ TO $1'0"$

FLOOR PLAN

Nº 8 Reversed.

HUTT COUNTY COUNCIL

Valuation No.

Date Received: 18-11-76

Application for Building Permit

To: The Building Inspector,
P.O. Box 43041,
WAINUIOMATA.

I (the undersigned), FREDERICK JAMES CHERRY (Full Name)
of 83 COAST RD WAINUIOMATA (Address)

Phone 4162

ERECT
ADD
ALTER
REINSTATE

hereby make application for permission to GARAGE
with a floor area of 290 sq. ft. as prescribed herein and set out in the plans and specifications attached hereto, in premises at:

No. 83 COAST RD Street or Road WAINUIOMATA Township

Lot No. 81 D.P. 22539 Riding

The owner of the premises is F.J. CHERRY (Name)

83 COAST RD WAINUIOMATA (Address)

Previous owner { If Section has been recently transferred }

Estimated value of: Building only \$ 1400:
Plumbing and Drainage \$:
Total \$ 1400 : 00

Signature of Applicant F.J. Cherry (As Builder or Owner) 18.11.76 (Date)

Builder's Name and Address: { If not the applicant }

FOR OFFICE USE ONLY

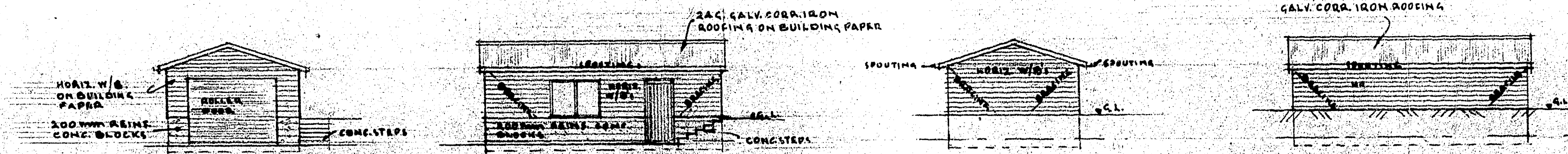
Fees	Account No.	Receipt No.	Permit No.	Date Issued
Building \$ <u>7 : 00</u>	<u>1553</u>	<u>44896</u>	<u>44667</u>	<u>6.12.76</u>
Kerb Crossing \$:				
Road Deposit \$:				
Building Research \$:				
<u>\$ 7 : 00</u>				

TOWN PLANNING DISTRICT
Conforms/Non-Conforming.

Checked by District Engineer. (Date) (Initials)

Remarks: Garage floor to check sewer inspections.

NOTE: THE CONTRACTOR TO CHECK ALL DIMENSIONS ON THE JOB



FRONT ELEVATION

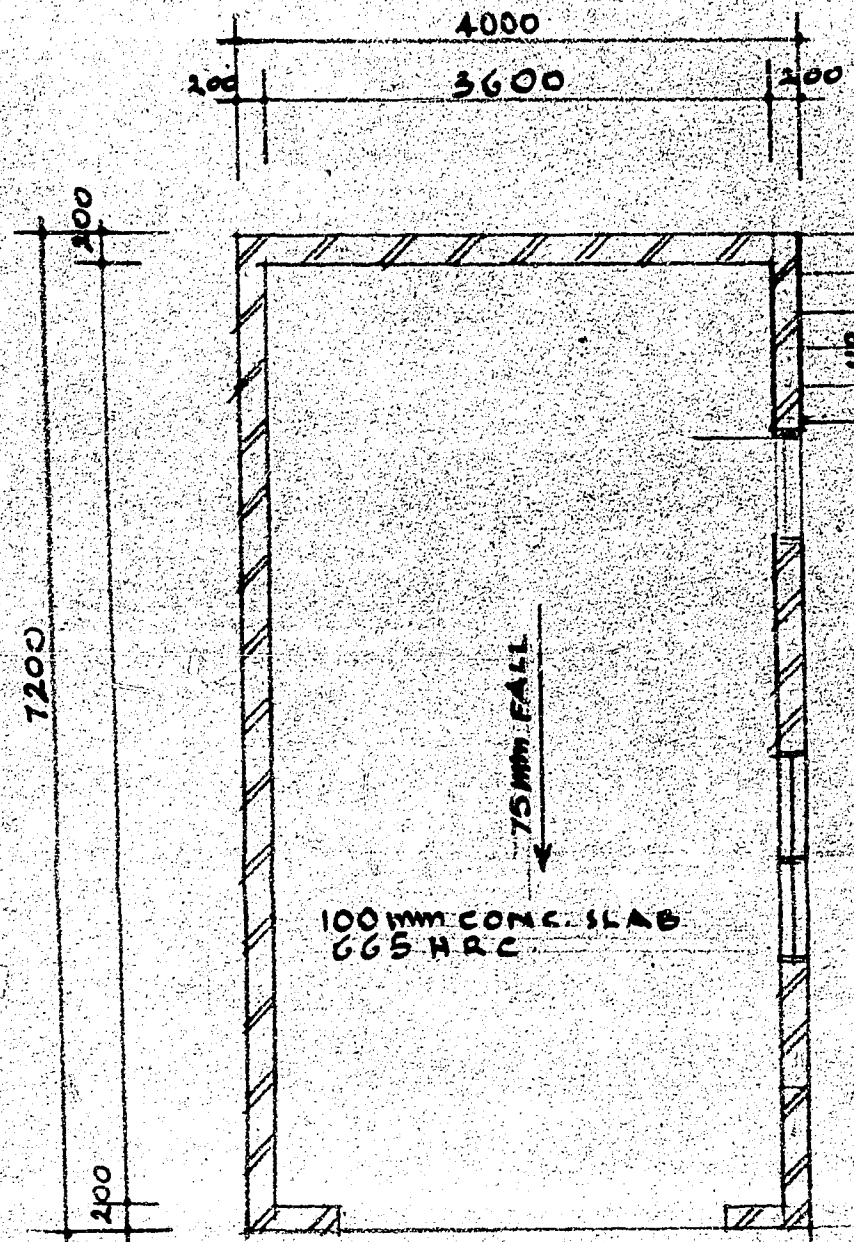
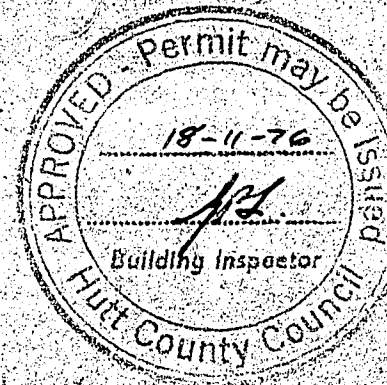
SIDE ELEVATION

1:100

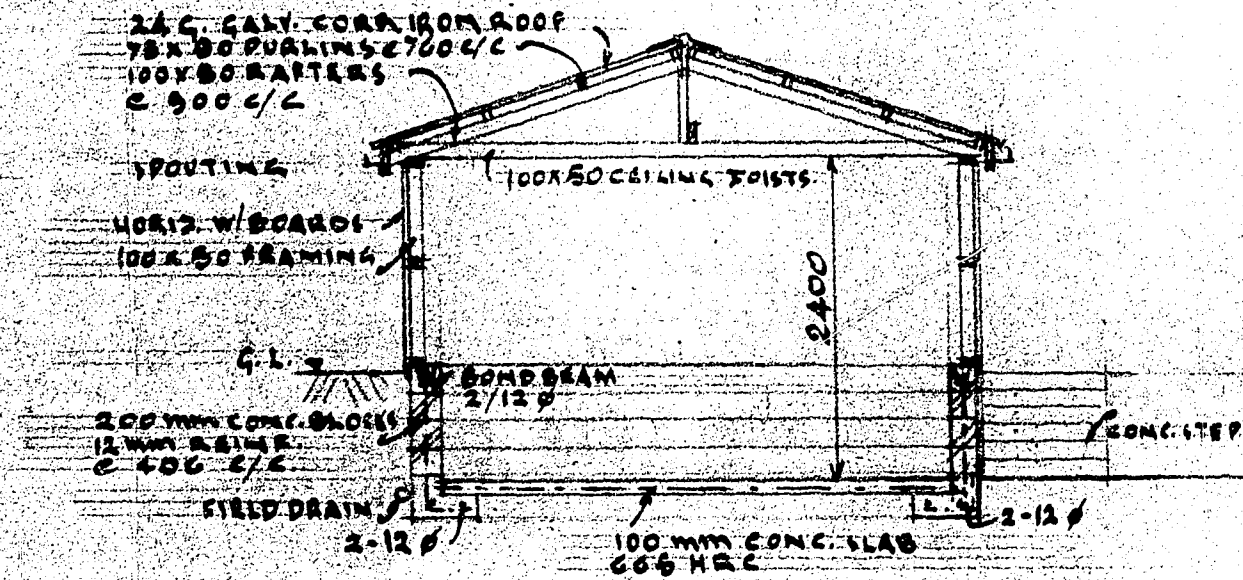
REAR ELEVATION

SIDE ELEVATION

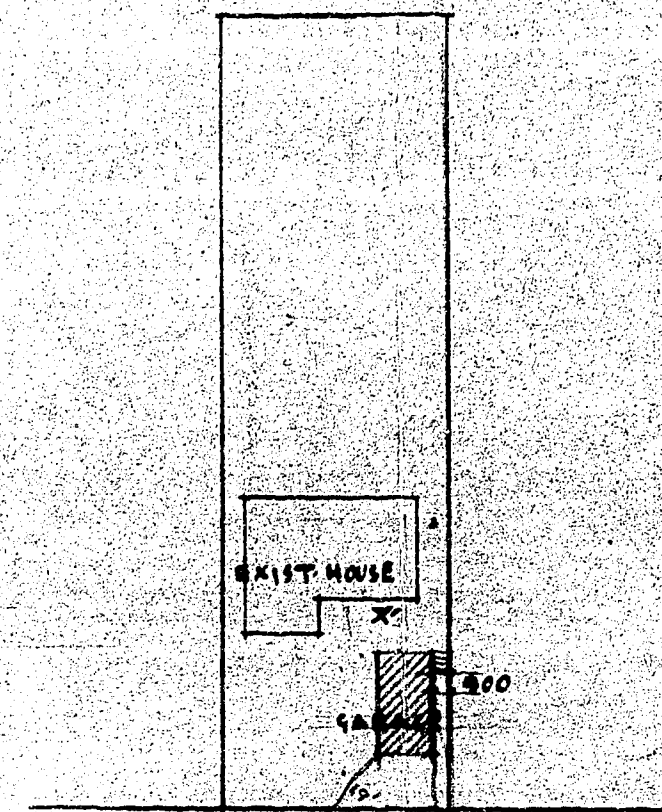
This Building requires
Foundation Inspection ☒
Sub-floor Inspection ☐
Siding Inspection ☐
4 hours' notice, please.



FLOOR PLAN 1:50



SECTION A-A 1:50



COAST ROAD
SITE PLAN
1:500

SPECIFICATION

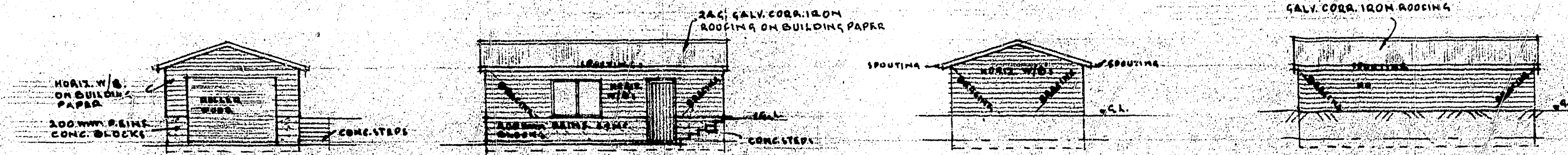
ALL WORK TO COMPLY WITH BUILDING BY LAWS AND BE SUBJECT TO THE REQUIREMENTS OF THE LOCAL BUILDING INSPECTOR
- CONCRETE TO BE 1:2:4 MIN. ORDINARY 2000 LB.
- ROOF JOISTS TO BE NO. 1 GRADE TREATED PINUS AND TO BE 100X50 C 500 C/C
- PURLINS TO BE 75X50 C 500 C/C
- ROOFING TO BE 24G GALV CORR IRON CORR 1200
- TIMBER FRAMING 100X50 NO. 1 GRADE TREATED PINUS
- CONC. BLOCKS 200MM REINS WITH 12MM REINS C 400 C/C
- BOND BEAM WITH 2-12 Ø
- STORM WATER TO BE TAKEN TO STREET CHANNEL

SCALE AS SHOWN

GARAGE FOR Mr. & Mrs. F. CHERRY 83 COAST ROAD WAINUIOMATA

WELLINGTON, OCT. 1976

NOTE: THE CONTRACTOR TO CHECK ALL DIMENSIONS ON THE JOB



FRONT ELEVATION

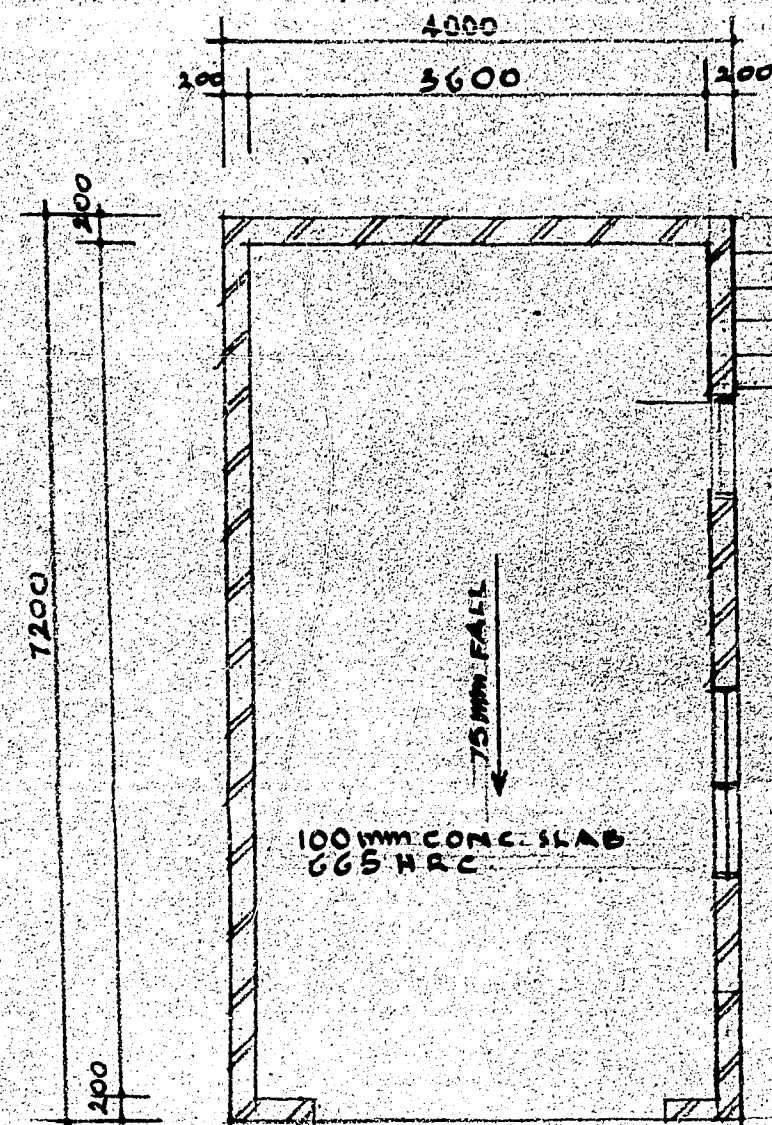
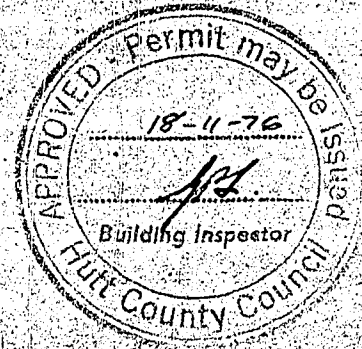
SIDE ELEVATION

1:100

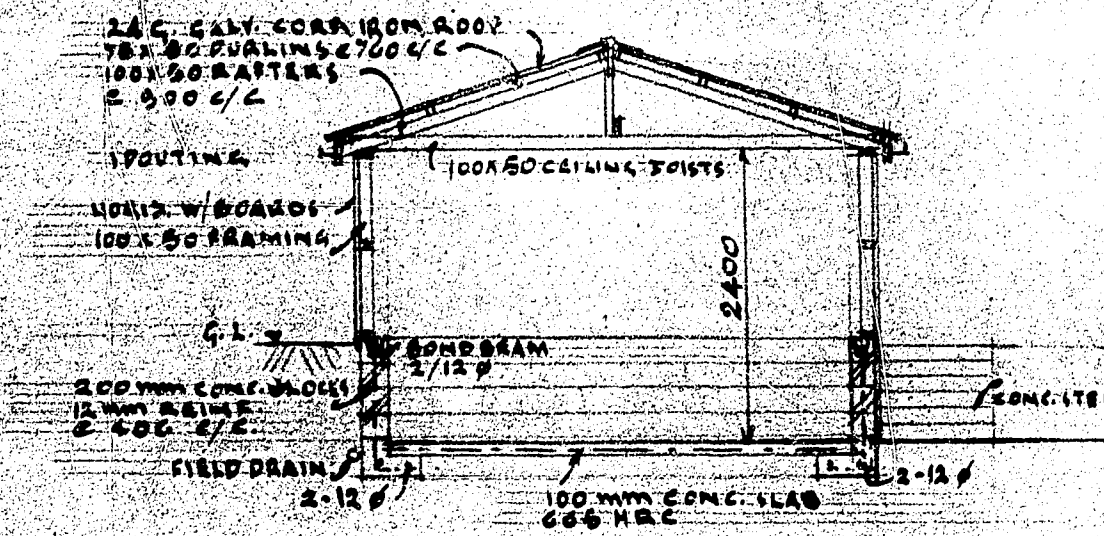
REAR ELEVATION

SIDE ELEVATION

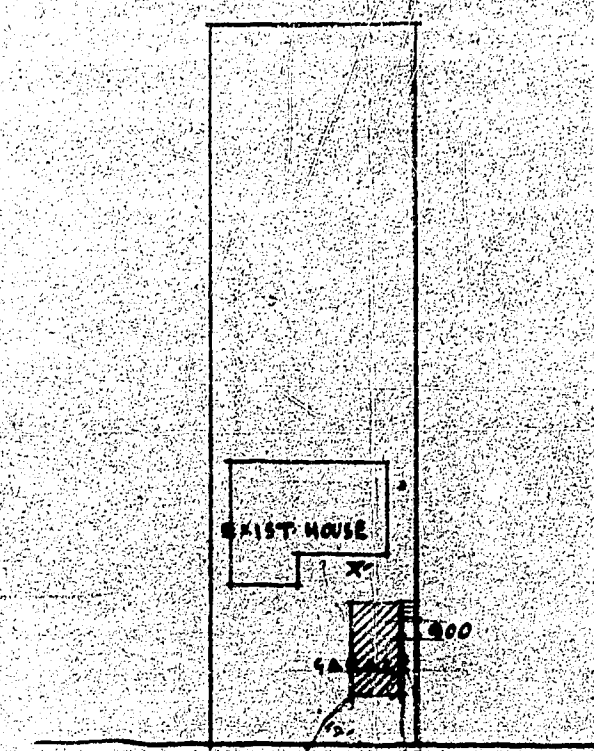
This building requires
Foundation Inspection ☒
Sub-floor Inspection ☐
Siding Inspection ☐
4 hours' notice, please.



FLOOR PLAN 1:50



SECTION A-A 1:50



COAST ROAD
SITE PLAN
1:500

SPECIFICATION:

ALL WORK TO COMPLY WITH BUILDING BY LAWS AND BE SUBJECT TO THE REQUIREMENTS OF THE LOCAL BUILDING INSPECTOR.
- CONCRETE TO BE 1-2-4 MIX.
- ORDINARY 2000 LB.
- ROOF JOISTS TO BE NO. 1 GRADE TREATED PINUS AND TO BE 100X50 C 500 C/C.
- PURLINS TO BE 75X50 C 700 C/C.
- ROOFING TO BE 24G GALV. LONG RUN CORR. IRON.
- TIMBER FRAMING 100X50 NO. 1 GRADE TREATED PINUS.
- CONC. BLOCKS 200MM REIN. WITH 12MM REBAR C 400 C/C.
- BOND BEAM WITH 2/12.
- STORM WATER TO BE TAKEN TO STREET CHANNEL.

SCALE AS SHOWN

GARAGE FOR MR. & MRS. F. CHERRY 83 COAST ROAD WAINUIOMATA

WELLINGTON: OCT. 1976

HUTT COUNTY COUNCIL

Valuation No.

Date Received: 27-9-77

Application for Building Permit

To: The Building Inspector,
P.O. Box 43041,
WAINUIOMATA.

I (the undersigned), FREDRICK JAMES CHERRY (Full Name)
of 83 COAST RD WAINUIOMATA (Address)

Phone 4162

hereby make application for permission to ~~ERECT~~
~~ADD~~
~~ALTER~~
~~REINSTATE~~ Extend Sq. to Porch.
with a floor area of 112 sq. ft. as prescribed herein and set out in the plans and specifications attached hereto, in premises at:

No. 83 COAST RD Street or Road WAINUIOMATA Township

Lot No. 81 D.P. 22539 Riding

The owner of the premises is FREDRICK JAMES CHERRY (Name)
83 COAST RD WAINUIOMATA (Address)

Previous owner { If Section has been recently transferred }

Estimated value of: Building only \$ 3500 :
Plumbing and Drainage EX \$:
Total \$:

Signature of Applicant F. J. Cherry (As Builder or Owner) 27-9-77 (Date)

Builder's Name and Address: { If not the applicant }

FOR OFFICE USE ONLY

Fees	Account No.	Receipt No.	Permit No.	Date Issued
Building \$ <u>28:00</u>	<u>3381</u>	<u>70865</u>	<u>138072</u>	<u>28-10-77</u>
Kerb Crossing \$:				
Road Deposit \$:				
Building Research \$ <u>2:00</u>	<u>1697</u>	<u>70866</u>		
\$ <u>30:00</u>				

TOWN PLANNING DISTRICT
Conforms/Non-Conforming.

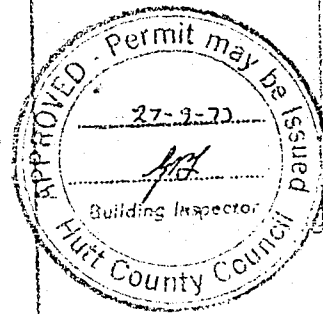
27/9/77

Operative
Undisclosed

Checked by District Engineer. (Date) (Initials)

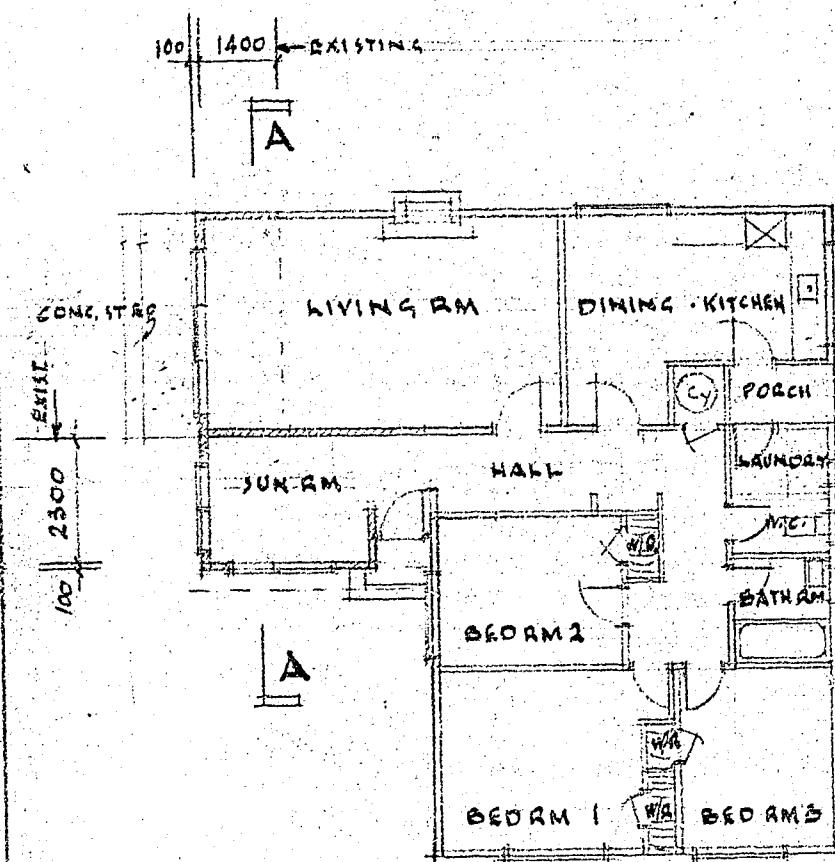
Remarks:

NOTE THE CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE JOB

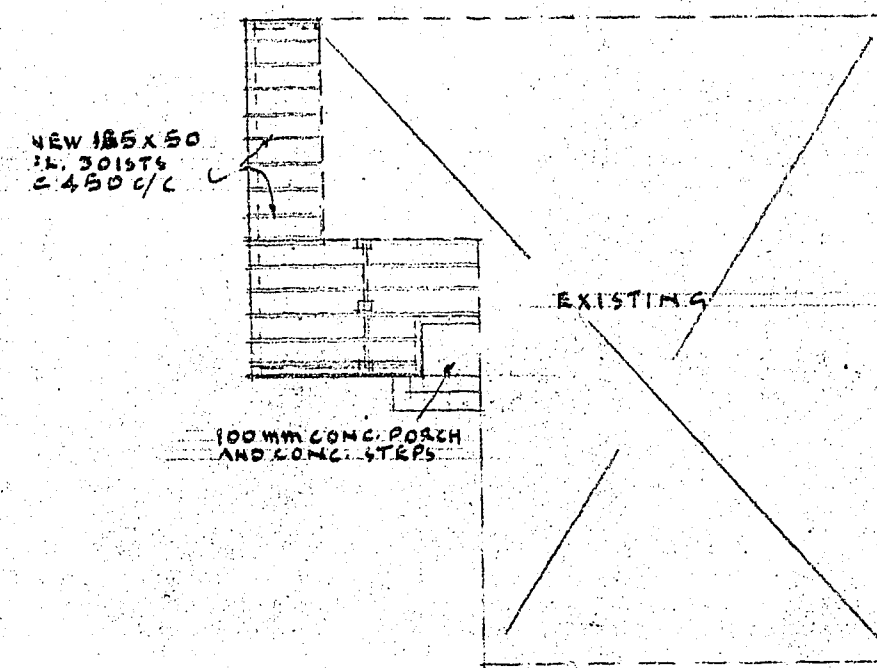
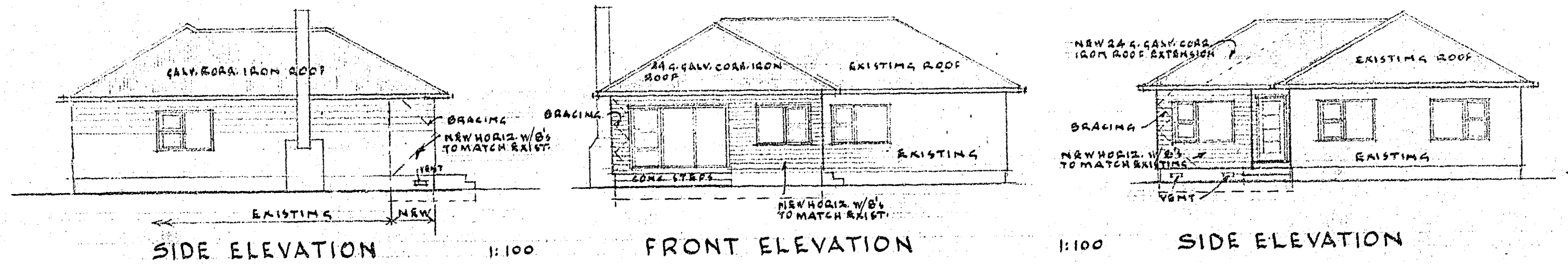


This building requires:
Foundation Inspection
Sub-floor Inspection
Pre-lining Inspection
24 hours' notice, please.

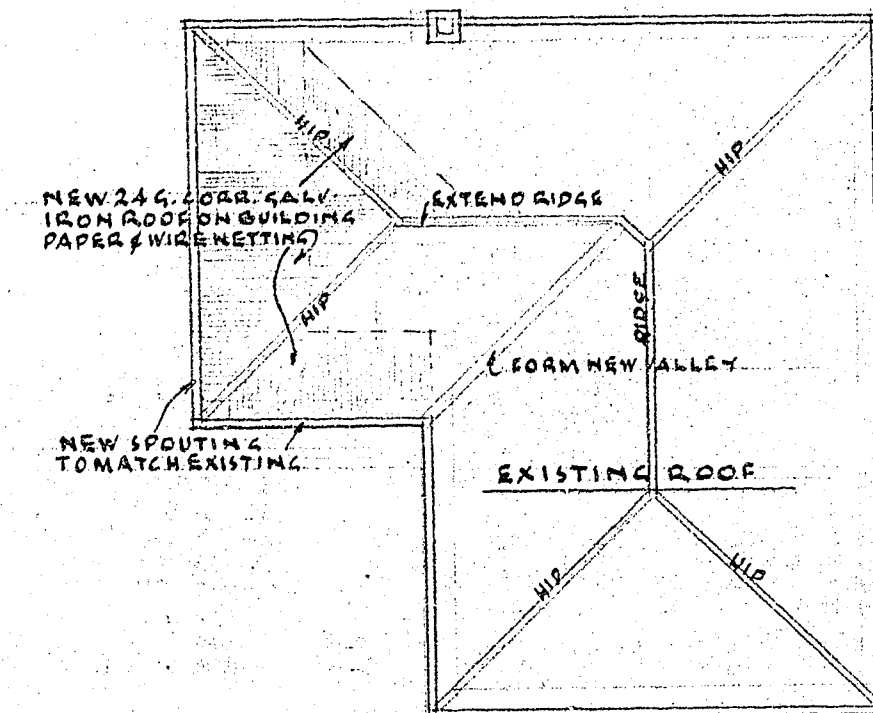
EXISTING FLOOR PLAN 1:100



NEW FLOOR PLAN 1:100

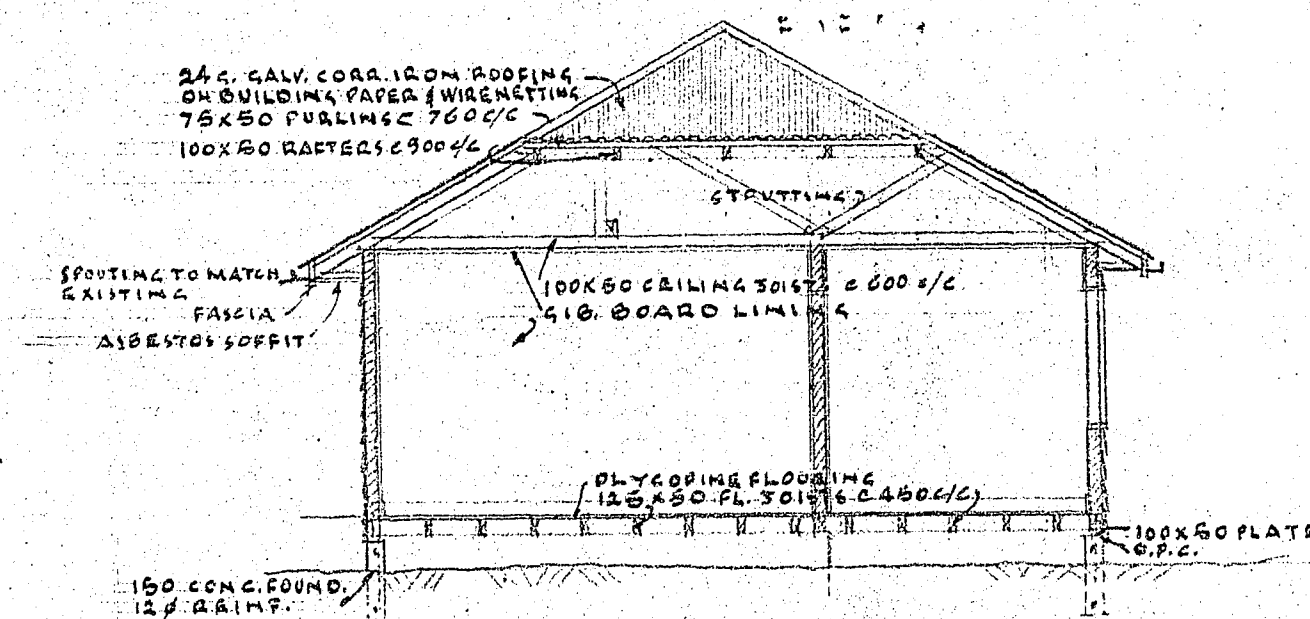


FOUNDATION PLAN 1:100

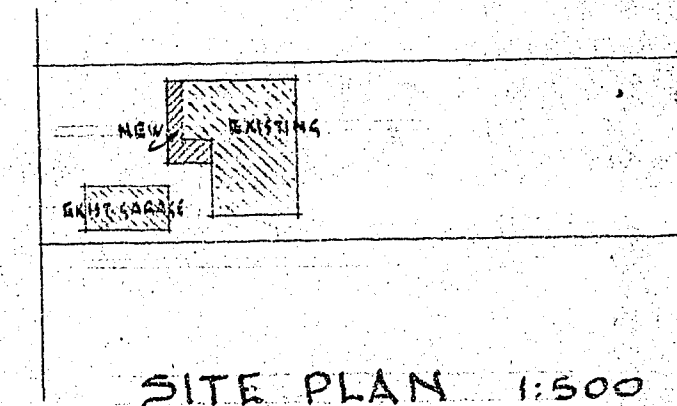


ROOF PLAN 1:100

SPECIFICATION:
ALL WORK TO COMPLY WITH BUILDING BY LAWS AND BE SUBJECT TO THE REQUIREMENTS OF THE LOCAL BUILDING INSPECTOR.
CONCRETE TO BE 1-2-4 MIX ORDINARY 2000 LB.
ROOFING TO BE 24G. GALV. IRON
PURLINS TO BE 75x50 @ 760 c/c
RAFTERS TO BE 100x50 @ 900 c/c
TIMBER FRAMING 100x50 H. 1 GRADE TREATED PINUS
FLOORING PLYCOPINE FLOORING GRADE
FLOOR JOISTS 125x50 @ 450 c/c
STORMWATER TO BE CONNECTED TO EXISTING STORMWATER



SECTION A-A 1:50



SITE PLAN 1:500

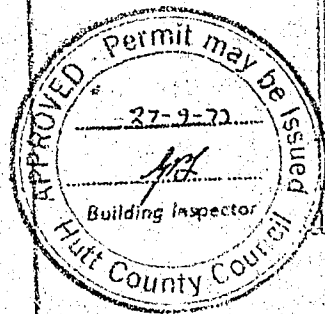
TONY MASO
125 MAKARA RD
K.A. ROAD
T-766888

ADDITION TO RESIDENCE FC, Mr. & Mrs. F. CHERRY 83 COAST ROAD WAINUIOMATA

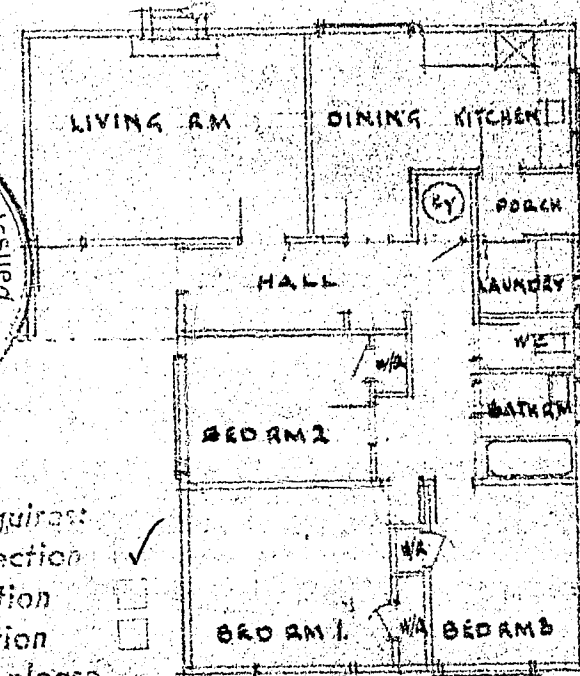
SCALE: AS SHOWN

WELLINGTON: SEPT 1977

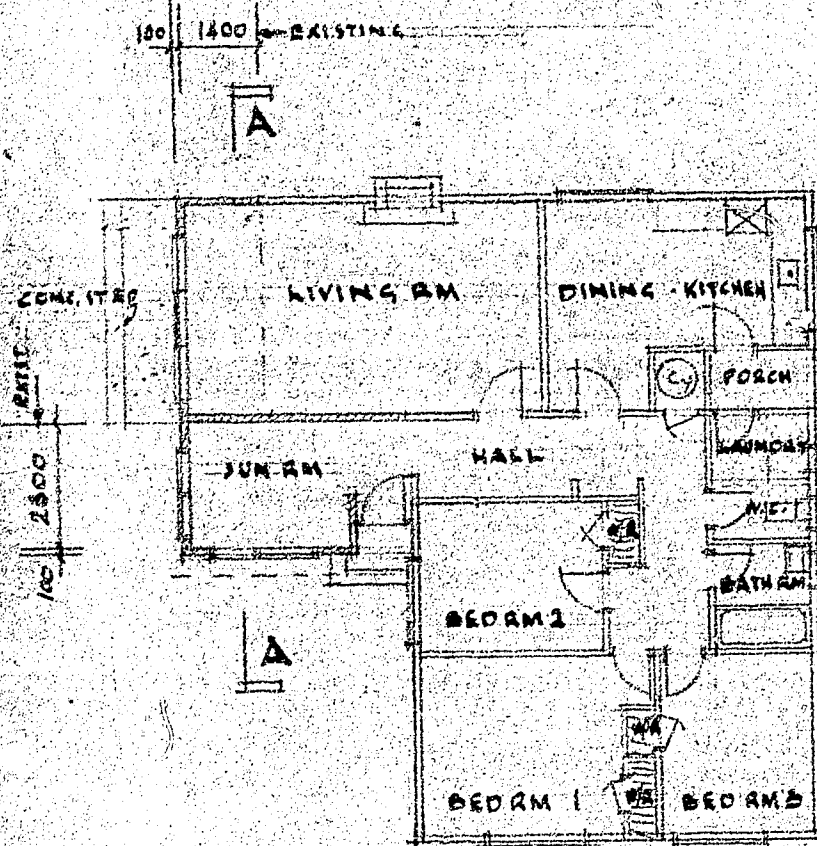
NOTE THE CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE JOB



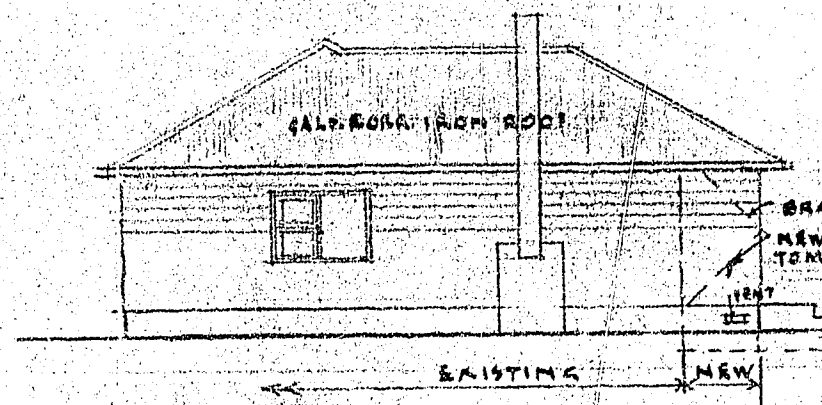
This building requires:
 Foundation Inspection ☒
 Sub-floor Inspection ☐
 Prelining Inspection ☐
 24 hours' notice, please.



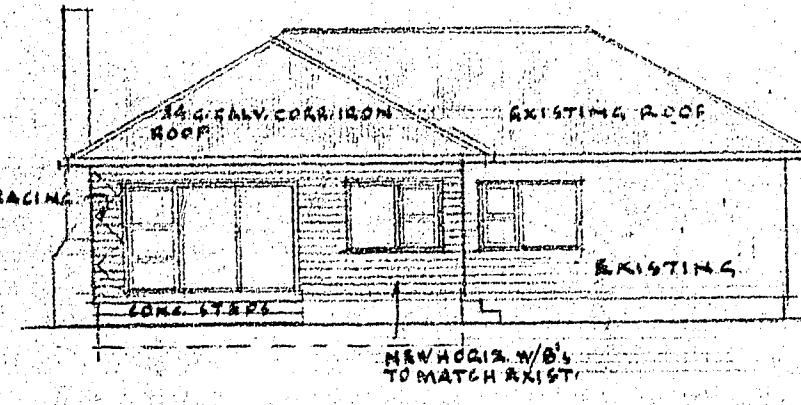
EXISTING FLOOR PLAN 1:100



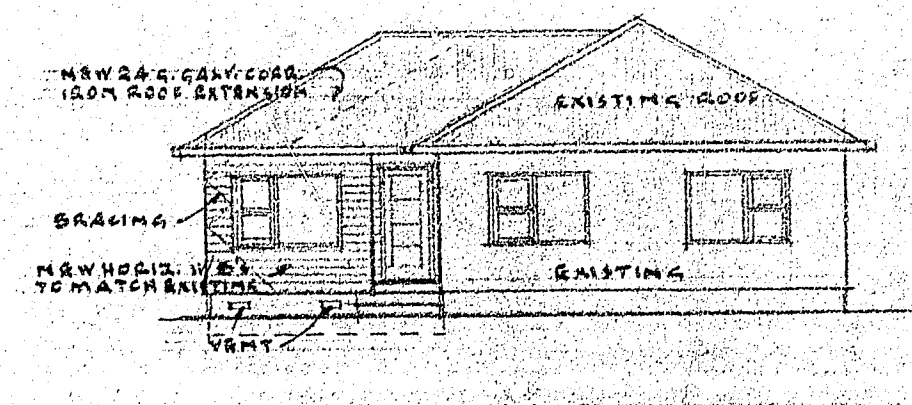
NEW FLOOR PLAN 1:100



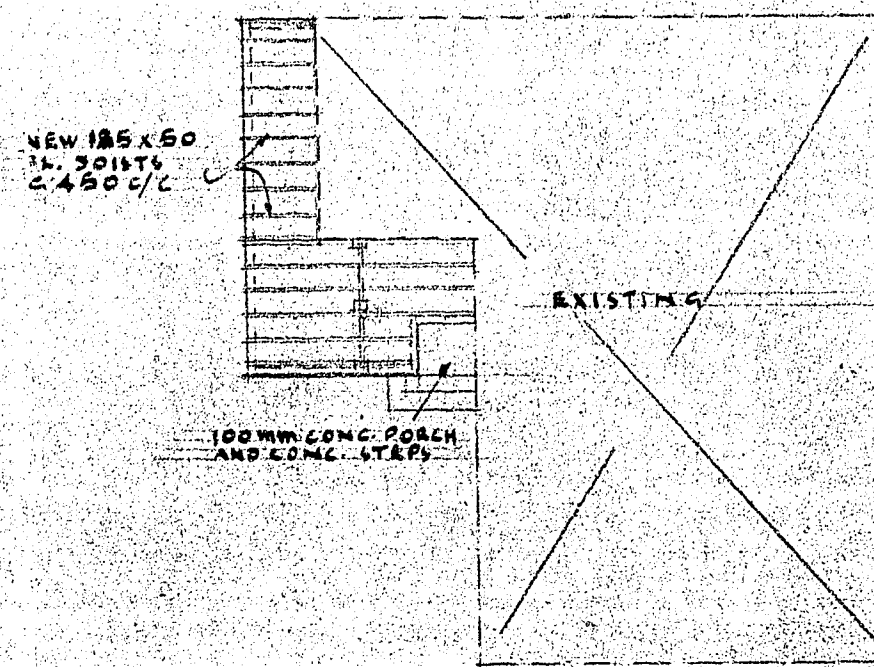
SIDE ELEVATION 1:100



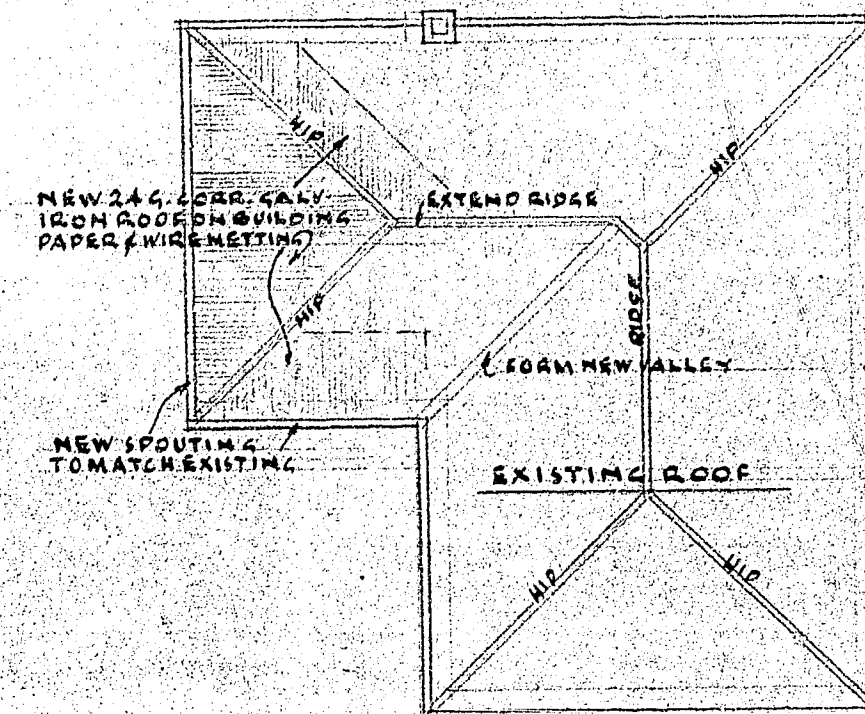
FRONT ELEVATION 1:100



SIDE ELEVATION 1:100

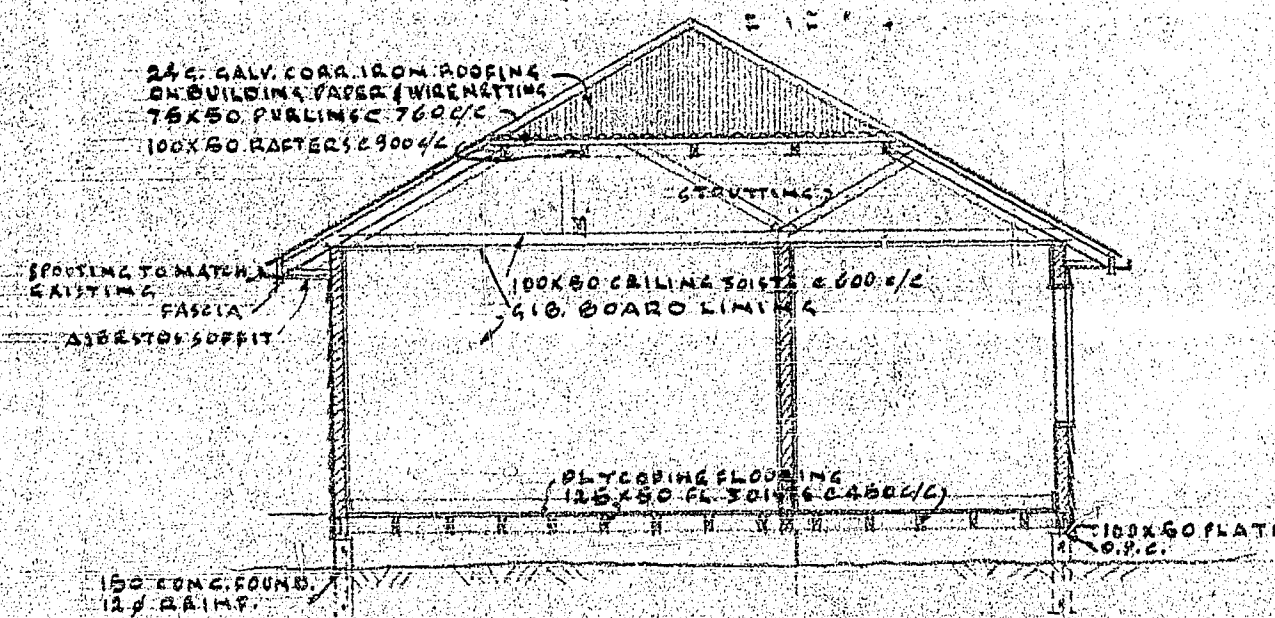


FOUNDATION PLAN 1:100

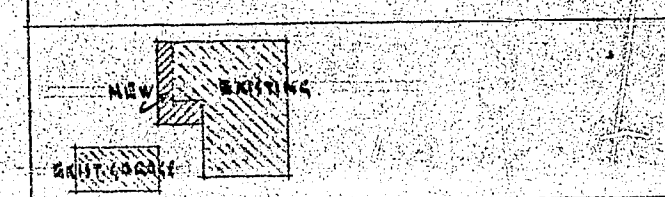


ROOF PLAN 1:100

SPECIFICATION:
 ALL WORK TO COMPLY WITH BUILDING BY LAWS AND BE SUBJECT TO THE REQUIREMENTS OF THE LOCAL BUILDING INSPECTOR
 CONCRETE TO BE 1:2:4 MIX ORDINARY 2000 LB
 ROOFING TO BE 24 G. GALV. CORR. 180M ROOF EXTENSION
 PURLINS TO BE 75X50 @ 760 C/C
 RAFTERS TO BE 100X50 @ 900 C/C
 TIMBER FRAMING 100X50 N. 1
 GRADE TREATED PINUS
 FLOORING PLYCOPIRE FLOORING GRADE
 FLOOR JOISTS 125X50 @ 450 C/C
 STORMWATER TO BE CONNECTED TO EXISTING STORMWATER



SECTION A-A 1:50



SITE PLAN 1:500

TONY MAC
 123 MAKARA RD
 KAPORI
 T. 755.888

ADDITION TO RESIDENCE FOR Mr. & Mrs. F. CHERRY 83 COAST ROAD WAINUIOMATA

SCALE AS SHOWN

WELLINGTON: SEPT 1977

HUTT COUNTY COUNCIL

Valuation No. 15870 676 00

Date Received:

Application for Building Permit

To: The Building Inspector,
P.O. Box 43041,
WAINUIOMATA.

I (the undersigned), Frederick Texor (Full Name)
of 83 Coast Road Wainuiomata (Address)

ERECT
ADD
ALTER

Phone 643 201 H
648 199 W.

hereby make application for permission to **REINSTATE** mapart for Bely Stave
with a floor area of sq. ft. as prescribed herein and set out in the plans and specifications attached
hereto, in premises at:

No. 83 Coast Road Street or Road Wainuiomata Township

Lot No. 81 D.P. 22539 Riding

The owner of the premises is Frederick & Linda Texor (Name)

83 Coast Road Wainuiomata (Address)

Previous owner { If Section has been recently transferred } F Cherry

Estimated value of: Building only \$ 700 : -
Plumbing and Drainage \$
Total \$ 700 : -

Signature of Applicant [Signature] (As Builder or Owner) 6.7.82 (Date)

Builder's Name and Address: { If not the applicant } As Above.

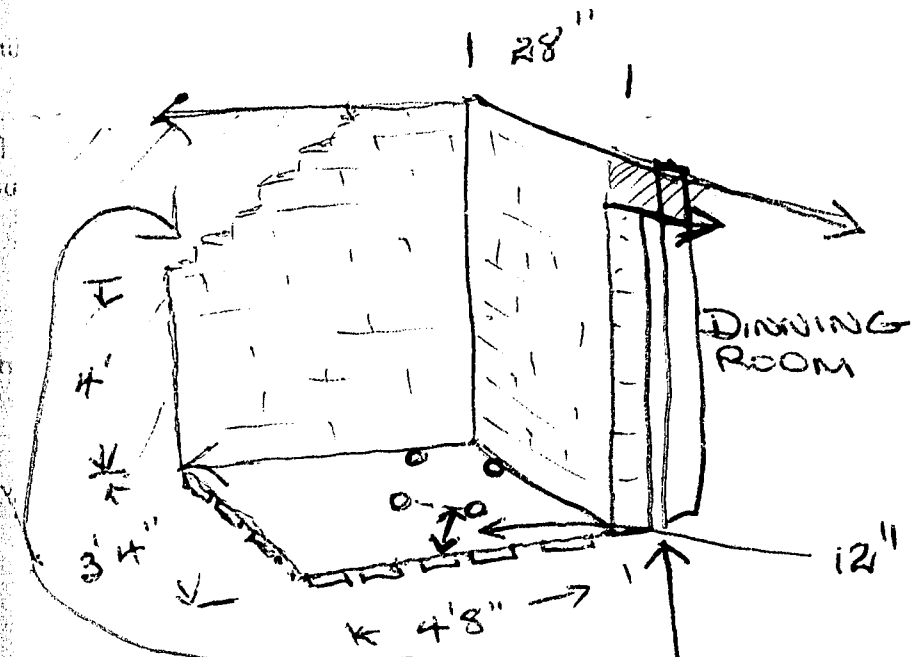
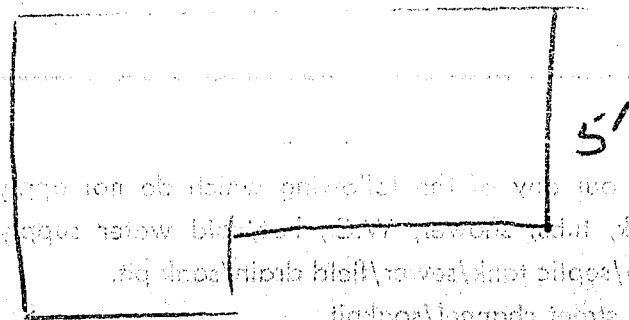
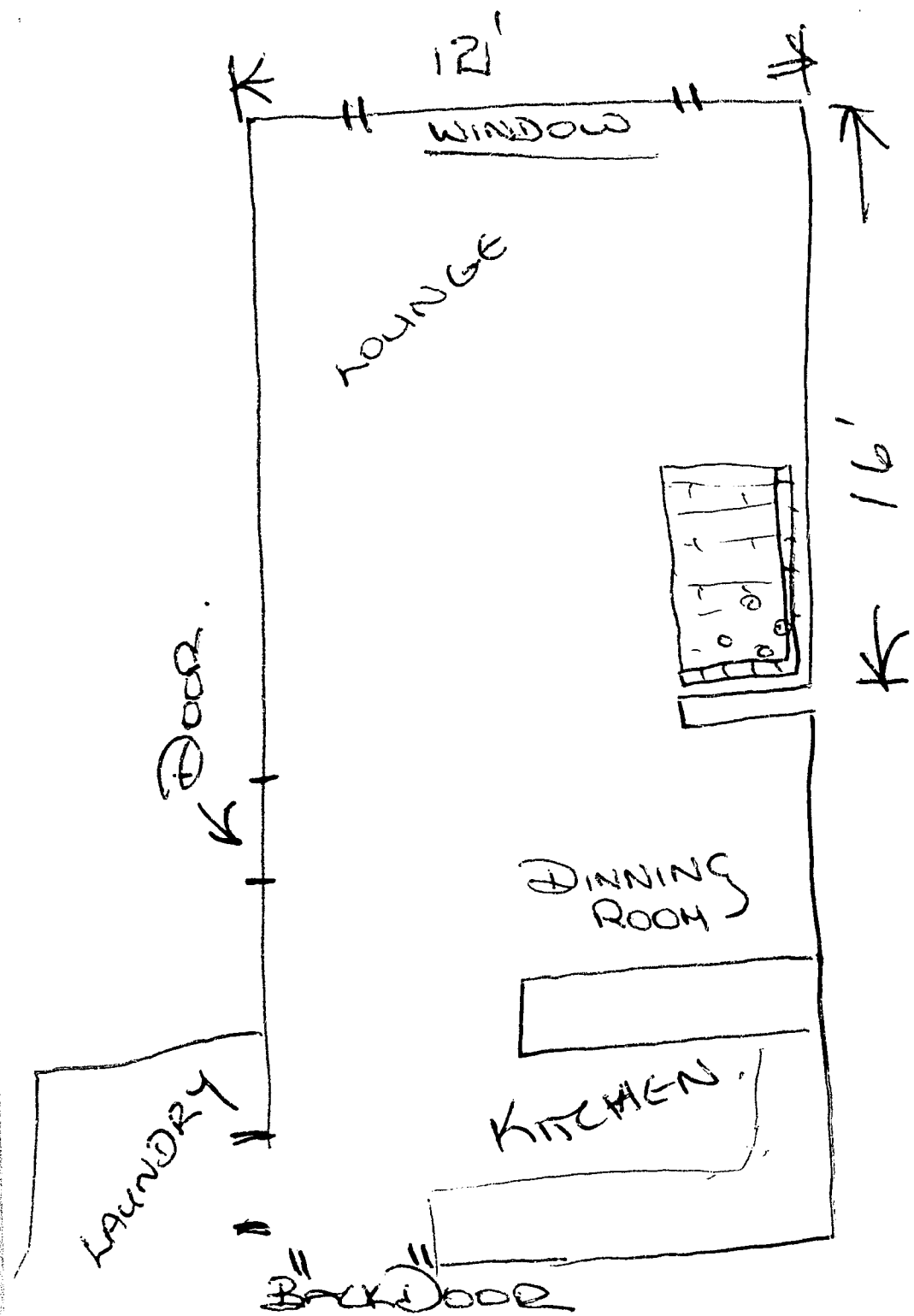
FOR OFFICE USE ONLY

Fees	Account No.	Receipt No.	Permit No.	Date Issued
Building \$ <u>12 : -</u>	<u>6962</u>	<u>141388</u>	<u>22502</u>	<u>20.7.82</u>
Kerb Crossing \$:				
Road Deposit \$:				
Building Research \$:				
<u>\$ 12 : -</u>	<u>Paid</u>			

TOWN PLANNING DISTRICT Operative
Conforms/Non-Conforming. Undisclosed

Checked by District Engineer. (Date) (Initials)

Remarks:

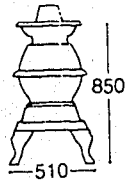

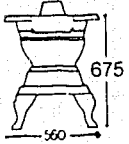


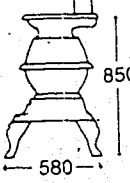


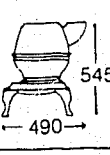



THICKNESS OF SOLID BRICK + MORTAR
HARTH 2 1/2"

1" AIR GAP RETAINING BRACKETS
TO ALL STUDS EVERY FOURTH
LAYER OF BRICKS

All Flue Kits \$163.00.

Stove dimensions

Physical Dimensions (mm)	Pittsburgh	Klondike	Fatso	Yukon	Oregon
Front View					
Side View					
Shipping Weight (kg)	71	44	69	37	48
Shipping Dimensions (mm)	W 495 D 460 H 800 .18m ³	W 480 D 380 H 650 .119m ³	W 570 D 515 H 615 .18m ³	W 435 D 380 H 500 .083m ³	W 475 D 475 H 540 .122m ³
Flue Diameter (mm I.D.)	114	114	114	114	114
Minimum Wall clearances (mm)					
Concrete or Concrete Block	200	200	200	200	200
Cavity brick with no heat-sensitive material enclosed	150	150	150	150	150
Bricks against heat-sensitive materials					
— on edge	625	475	450	430	400
— on flat	500	380	360	345	320
Brick screens with specified air space and reflective barrier (Measured to outer face of brick screen)	150	150	150	150	150
Heat-sensitive walls	1,250	950	900	860	800

Clearance requirements to the side of the stove are taken to the nearest point at the belly of the stove. Clearances to the rear are measured from the back of the flue. Where a Yukon stove is fitted with a non-vertical flue outlet, the rear clearance is measured from the belly and 80mm should be added to the clearance figures above.

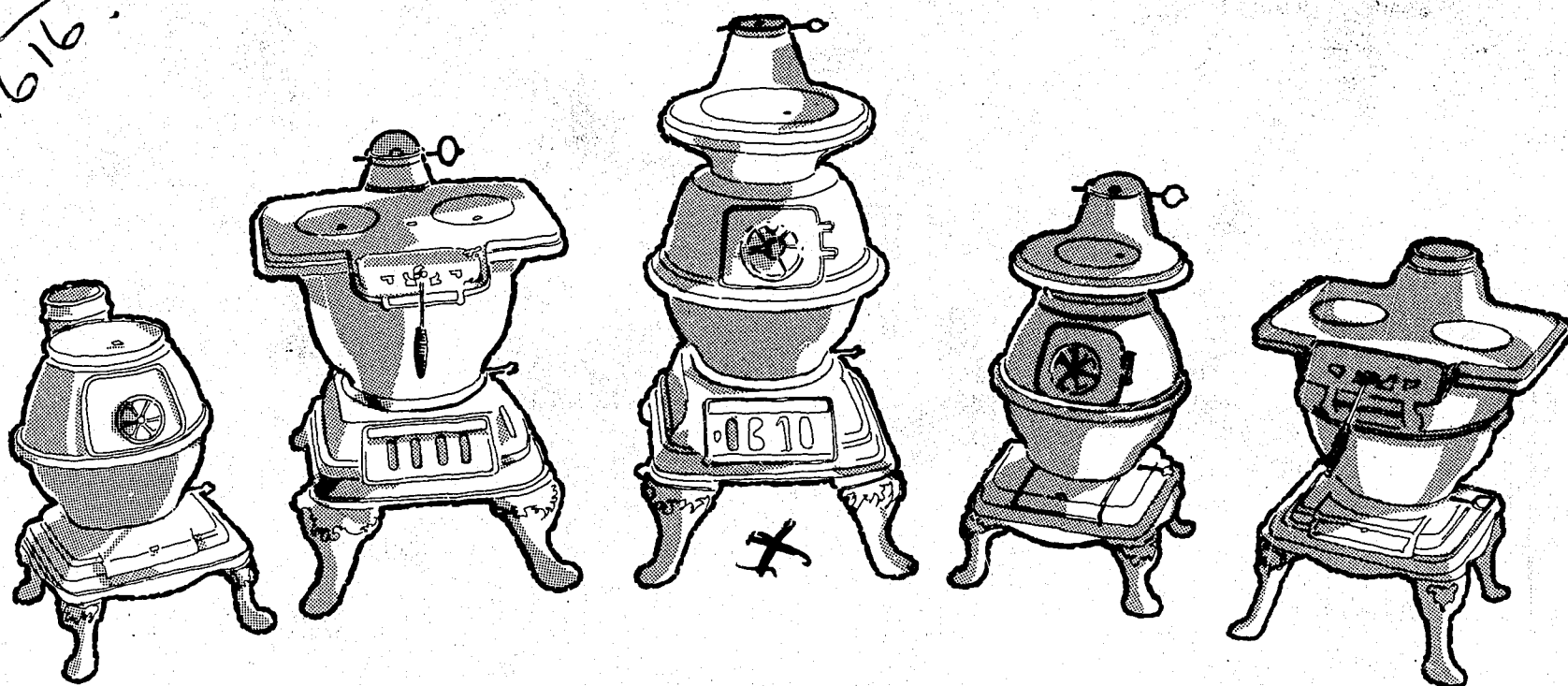
Where a Yukon installation requires a non-vertical flue outlet, please contact your Masport Pot Belly Stove stockist.

Specifications subject to change without notice.

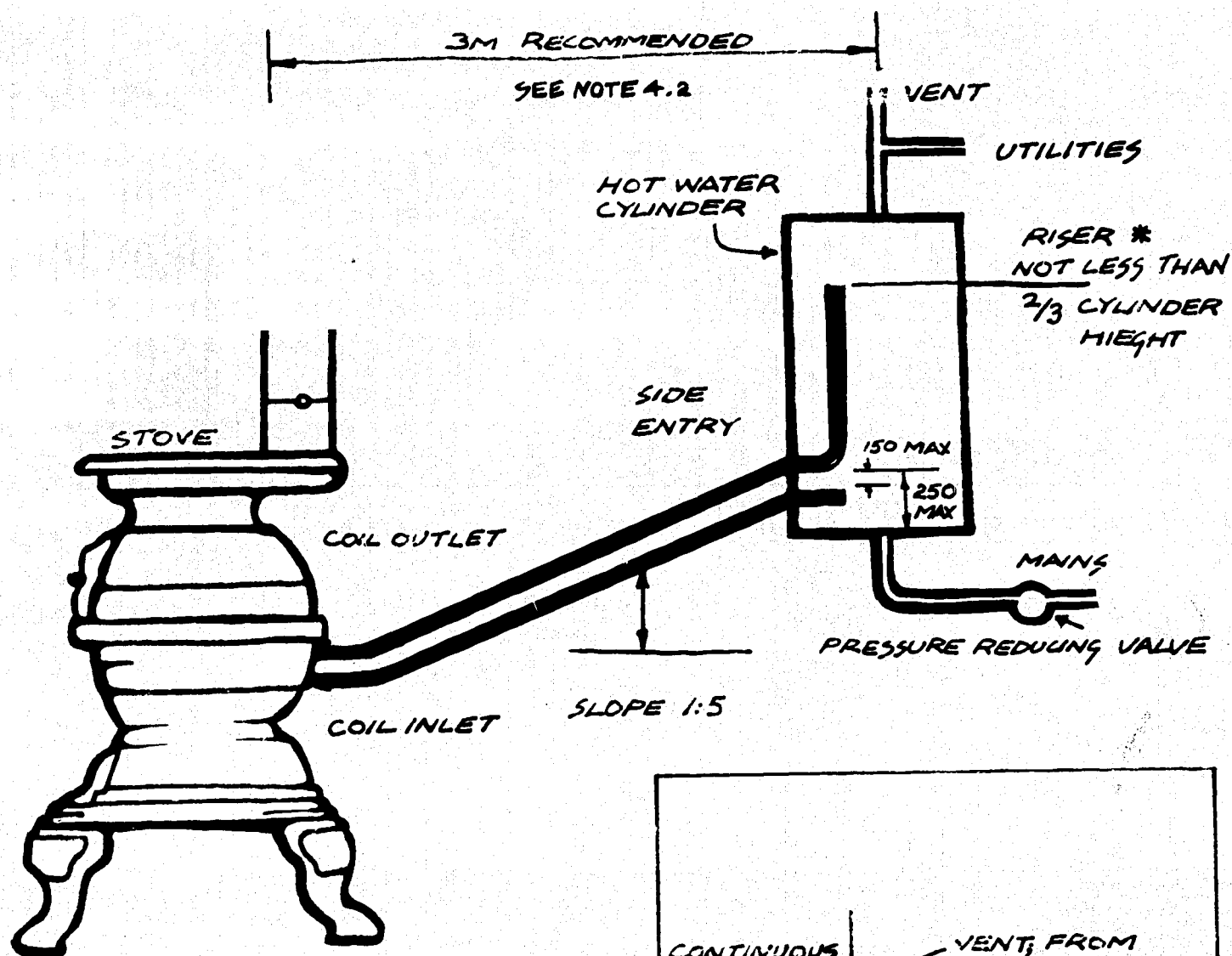
MASPORT POTBELLY STOVES

INSTALLATION INSTRUCTIONS

Jim Curtis
721.616



Masport[®]



*
NOTE: RISER INSIDE CYLINDER
ELIMINATES BACK CIRCULATION
THROUGH COLD STOVE AND
DEPOSITS HOT WATER AT THE
TOP FOR QUICK RECOVERY

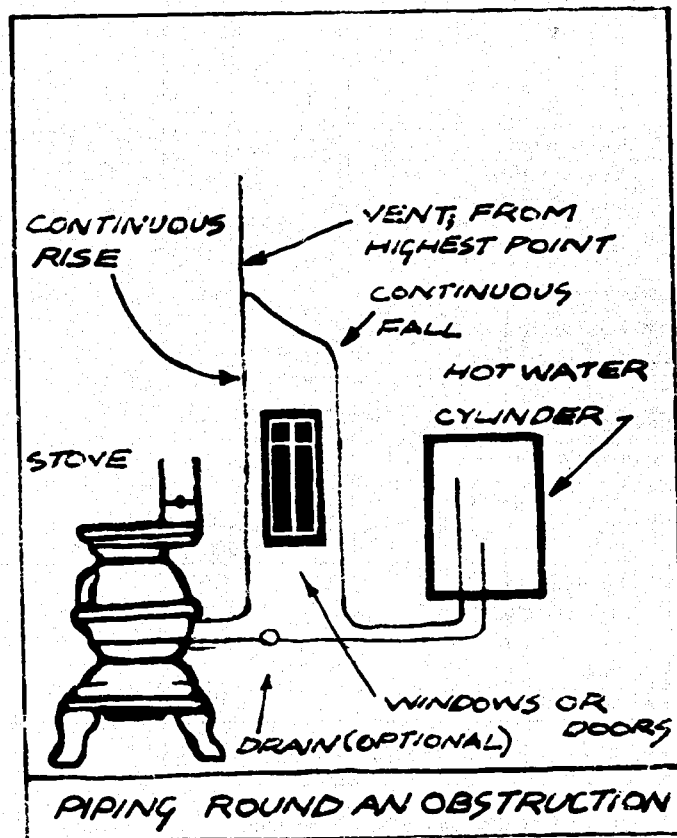


FIGURE 28

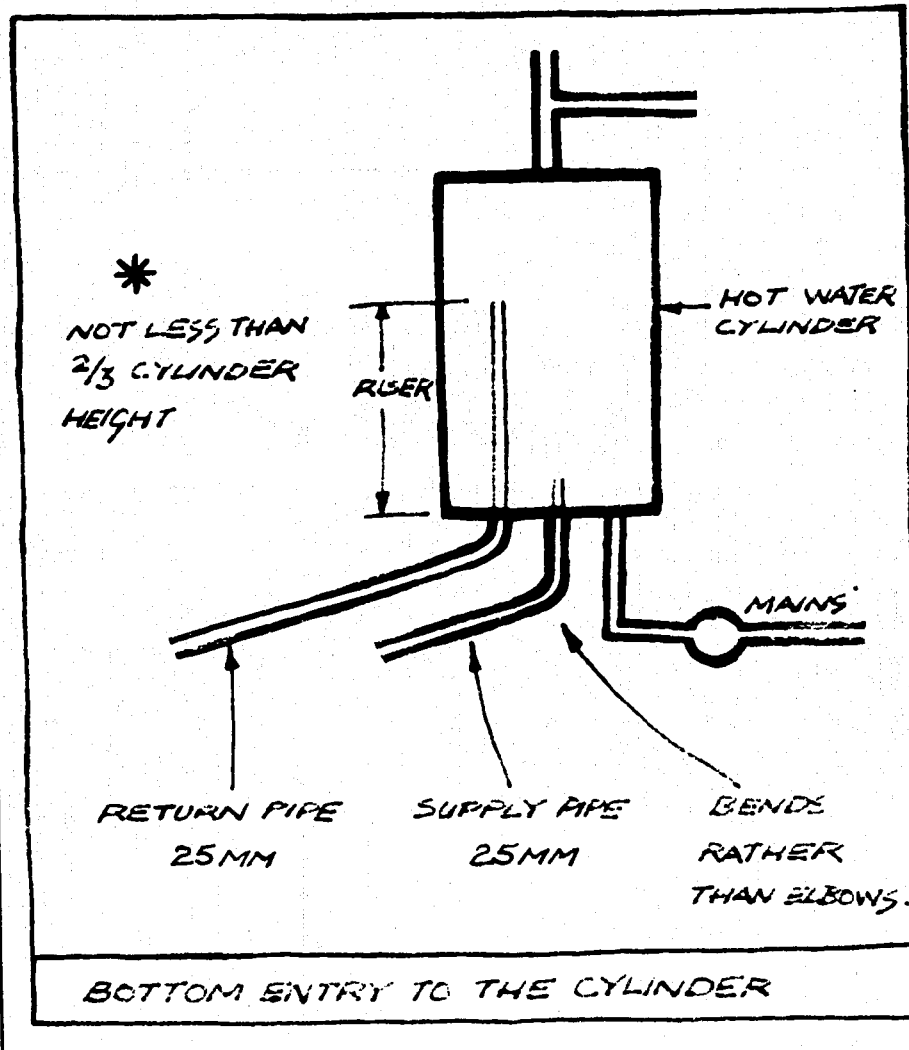


FIGURE 27

These diagrams are manufacturer's recommendations only and may not necessarily comply with Local Body requirements regarding water coil installations. Please check with your local authority before proceeding.

4. Installing a stove fitted with a water heating coil.

Plumbing work should meet the requirements of N.Z.S. 4603:1976 unless Local By-Laws rule otherwise, and it should be carried out by a qualified tradesman.

A stove fitted with a Coil should not be fired unless connected to the cylinder with water free to circulate. The external pipe connections are located at the rear of the stove: the outlet at the top, inlet at the bottom, Figure 28.

Check that the Water Heating Coil is correctly positioned inside the Stove. The Coil should rise steadily from the lower inlet to the top outlet without any down hill section which could cause an air-trap and give poor circulation.

Ideally, the following conditions should be fulfilled when connecting the Coil to a hot water cylinder, Figure 28.

The piping methods suggested are designed to prevent hot water circulating back through the stove when it is not in use. It will normally be necessary to modify an existing cylinder by adding an outlet leading to the Coil and providing an inlet with an internal riser. Alternatively, a new dual purpose cylinder may be installed.

4.1 The bottom of the cylinder should be above the outlet of the Coil. Some Electrical Authorities specify a minimum height difference. Check in your area.

The further the Stove is from the Cylinder the higher the cylinder should be above the coil. It is

recommended that the cylinder be 200 mm above the coil for every metre it is away from the stove.

4.2 The cylinder should be within three metres of the coil. The unit will operate at greater distances but the water circulation rate will be reduced as the length of pipe increases.

4.3 The pipe returning to the cylinder should not fall below the level of the coil outlet and should preferably rise continuously from the coil to the cylinder. Both pipes between the Coil and the cylinder should be lagged separately to minimise heat loss. They should not be run immediately adjacent to each other as this will minimise the heat differential and reduce the flow rate.

4.4 The changes in direction in pipes should be through bends rather than elbows to minimise frictional losses.

4.5 All pipe work between Coil and cylinder should be at least 25 mm diameter.

4.6 If the return pipe rises above the point of re-entry into the cylinder, a vent pipe must be provided at the highest point in the return pipe, Figure 29.

Note: Shut-off or non-return valves must not be fitted in the pipes between the cylinder and the Coil. A drain valve may be fitted at the low point in the system.

	PITTSBURGH mm	KLONDIKE mm	FATSO mm	YUKON mm	OREGON mm
a. Pipe Connections					
Height above					
hearth (i) inlet	445	335	445	285	335
(ii) outlet	495	435	495	385	435
b. Connection Thread	1" BSP	¾" BSP	1" BSP	¾" BSP.	¾" BSP

Masport Pot Belly Stoves Installation Instructions

For Pittsburgh, Klondike, Yukon, Fatso and Oregon Models

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These installation instructions are based on New Zealand Standard 7421:1972. The Insurance Council of New Zealand have confirmed their satisfaction that the Pittsburgh Stove meets insurance requirements when installed in accordance with these instructions. Since the Insurance Council no longer tests these appliances, the other stoves have been checked by an independent Telarc Registered Testing Laboratory which reported that they meet the requirements of N.Z.S. 7421:1972 when installed as follows.

We recommend that you check with your Building Inspector for Local Body requirements in your

district and that the installation of your Masport stove be carried out by a Craftsman plumber or other suitably qualified specialist. The use of components which are not genuine Masport parts could affect the performance of the stove and might nullify its compliance with the New Zealand Standard.

Note: For installation outside New Zealand please check Local Authority requirements. These instructions are Copyright to Mason and Porter and must not be reproduced in part or full without permission. December 1980.

Introduction

Pot Belly Stoves generate the bulk of their energy in the form of radiant heat and, ideally, should be placed in the centre of a room. However, if this is not possible, the position of the stove should be decided after considering the natural flow of air, space requiring heating, seating arrangements, roof construction, living areas and plumbing requirements if the stove is fitted with a water

heating coil. The use of a Pot Belly Stove in a room having an open fireplace is quite acceptable, although it is best sited away from the fireplace to achieve the best possible heat distribution.

Assembling the Stove.

In order to reduce cartage costs, the top half of the stove is in some cases rotated before shipping.

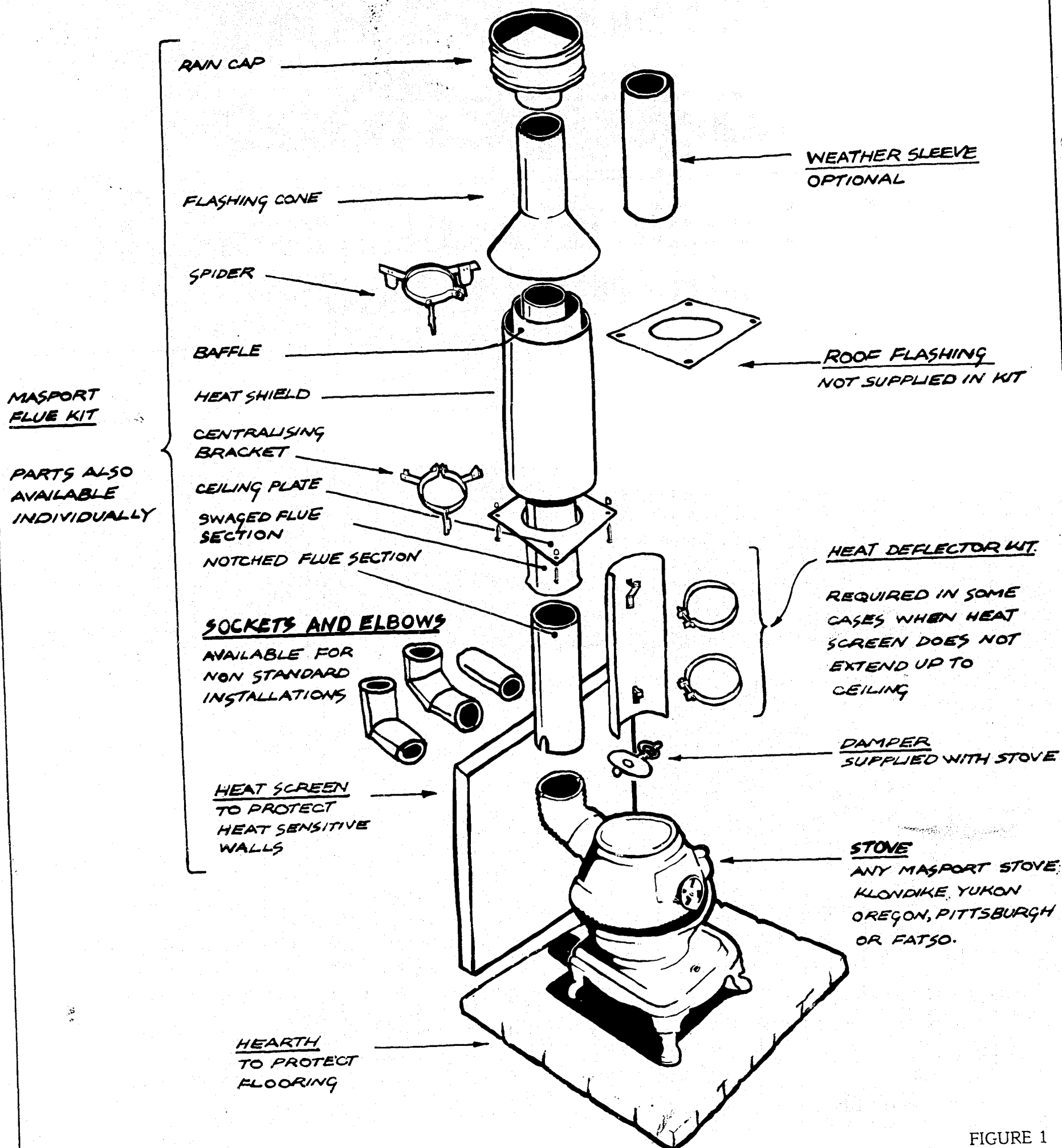


FIGURE 1

Assemble the Swaged Flue Sections, swaged end downward, in the chimney using sufficient lengths to ensure that the top will protrude at least 300 mm above the top of the chimney.

The flue may now be connected to the stove using a Notched Flue Section cut to the required length, and a stainless steel Elbow. The flue should be supported as described in Section 3.2.3.

Fabricate a chimney flashing sheet of galvanised steel with a hole which accepts the flue with an easy sliding fit. The hole should be flanged upward to stop water running down the chimney. Place a Flashing Cone over the flue and slide a Rain Cap into the top to rainproof and prevent downdraught.

3.2.2 Short Flue Installation:

The second installation method requires a register plate to be secured in the chimney at the roof of the fireplace opening; Figure 26. The flue is attached to the stove as in 3.2.1 above, and passes through a close fitting hole in the register plate, extending above it by at least 1200 mm.

The register plate must fit snugly against the masonry to prevent air loss up the chimney. It must have a removable cover or other means of allowing the chimney to be swept.

3.2.3 Supporting the Flue

It may be necessary, especially where a full height flue is used, to use some additional form of flue support. This may be done by fastening a bracket to the masonry, or by constructing a support or tripod which can stand in the fireplace, Figure 27.

A strap (Centralising Bracket) or similar may be clamped around the flue to transfer the weight of the flue to the support.

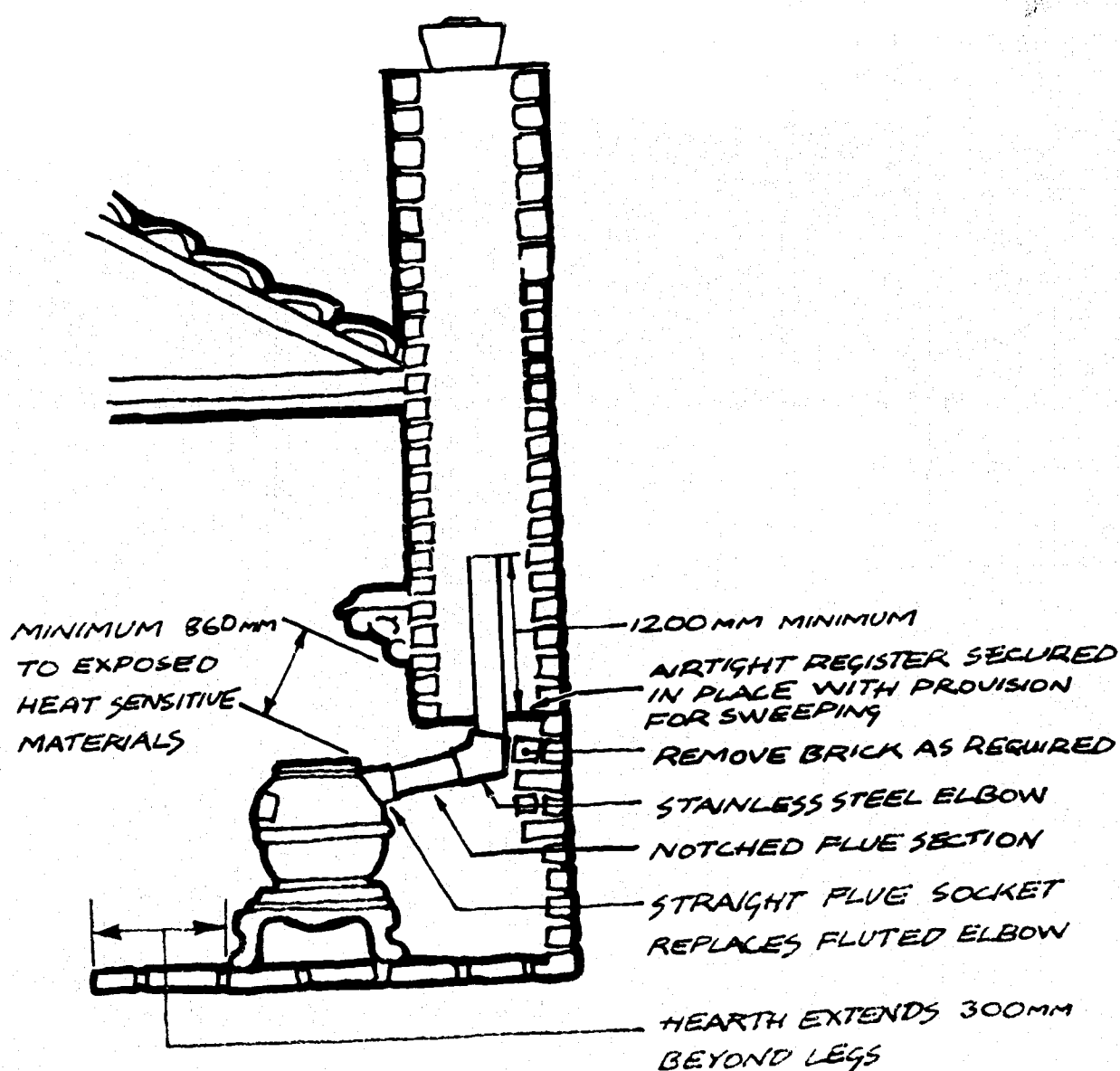
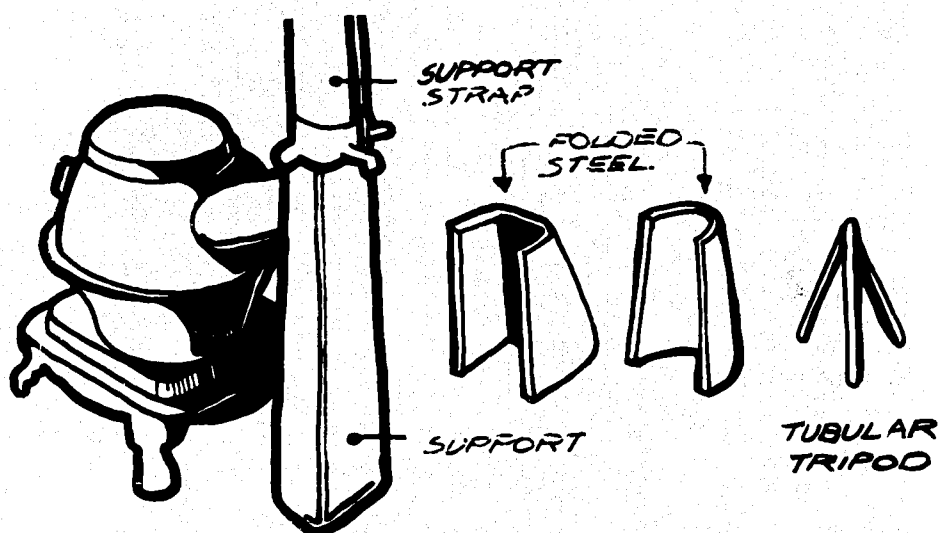


FIGURE 26

The top of the Heat Shield must be at least 400 mm above the roof as shown in Figure 14. If more than 400 mm of the Heat Shield protrudes above the roof, the Shield may, but need not, be trimmed. The Heat Shield should now be flashed to waterproof the joint.

2.1.3 Assemble the two Flue Sections and fit the notched Flue Section to the lower (swaged) end, Figure 15. All flue seams should be in line. The bottom flue is notched to accommodate the Damper.

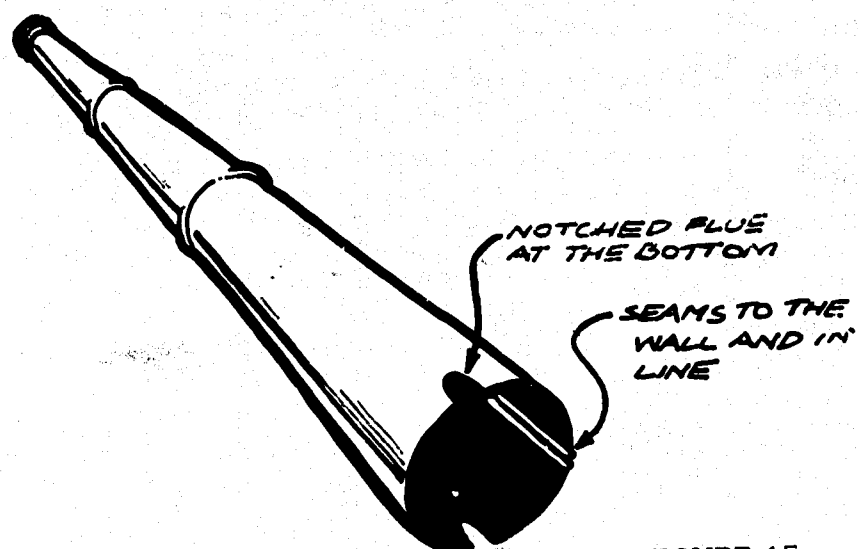


FIGURE 15

2.1.4 Clamp the Centralising Bracket with the lugs upwards, to the assembled Flue Sections so that the bottom of the bracket will be flush with the bottom of the Heat Shield when the flue is in place, Figure 16. Move the flue up and down to ensure that the Centralising Bracket is a free sliding fit within the Heat Shield. This is to accommodate expansion and contraction of the flue. If the bracket is tight, bend the ends of the arms slightly to achieve the desired fit.

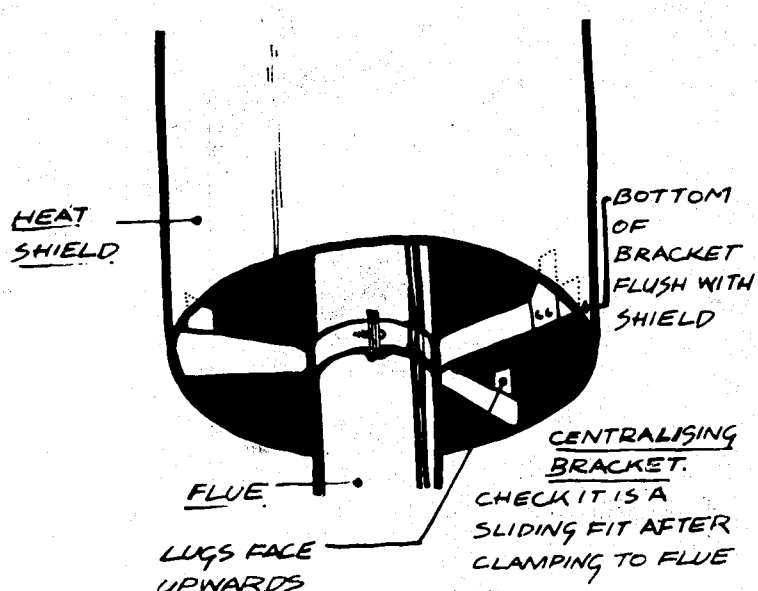


FIGURE 16

2.1.5 To ensure that the tops of the Baffle and Heat Shield are level with each other when finally installed, measure the length of the Heat Shield and subtract 19 mm (the height of the Centralising Bracket). Trim the Baffle to this dimension, Figure 17.

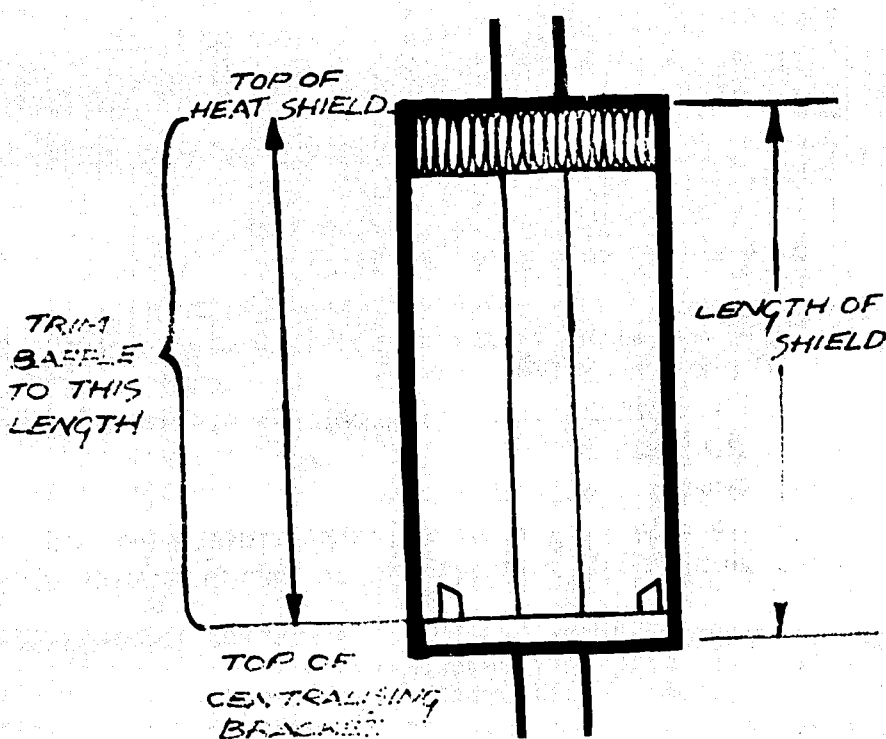


FIGURE 17

2.1.6 Ensure that the Damper is in position and place the Ceiling Plate, with the plastic coated side down over the flue outlet flange on the stove, Figure 18.

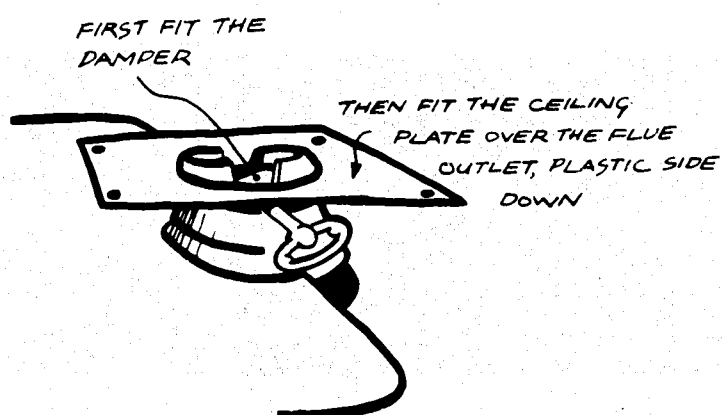


FIGURE 18

2.1.7 Insert the assembled flue upwards through the Heat Shield and fit the notched flue onto the outlet flange, making sure that the flue seam is towards the wall. Slide the Ceiling Plate up and screw it to the ceiling, using the spacers provided to keep the Ceiling Plate clear of the ceiling, Figure 19, making sure that the gap between the Ceiling Plate and flue is even all around. The protective plastic coating may now be peeled from the Ceiling Plate.

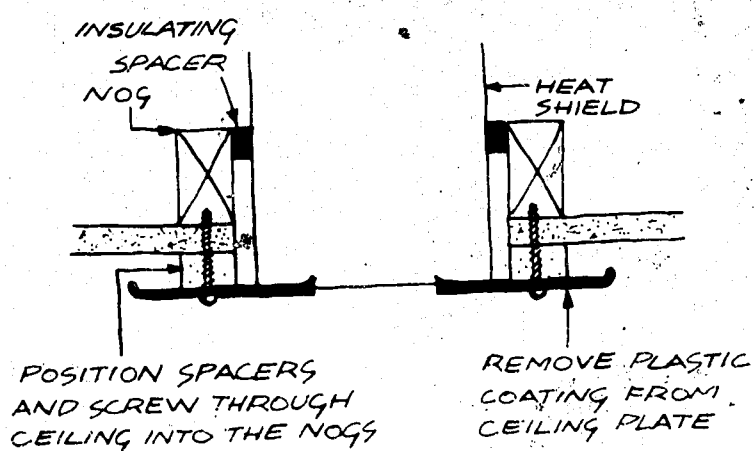


FIGURE 19

1.2.2 Single Heat Screen

This must be fastened to the wall on non-combustible insulating spacers so that there is an air space of not less than 25 mm between the screen and the wall, Figure 5. There must be a 25 mm gap along the top and bottom of the screen and the spacers must be arranged to permit free vertical air flow between the screen and the wall. The screen should be wide enough to extend at least 600 mm along the wall each side of the stove centreline. Where the stove is fitted in a corner, both walls need to be screened.

The screen must never be less than 1,200 mm high and such a screen is adequate on its own for wall distances not less than 850 mm. (Oregon 800 mm). If the distance is less than 850 mm (Oregon 800 mm) and the screen does not shield the full height of the wall, a flue heat deflector must be fitted, Figure 6.

NOTE: Minimum stove to wall distance when the heat screen is sheetmetal; 250 mm (All models).

If the screen material is 12 mm Harditherm, the distance may be reduced to 150 mm. (All models).

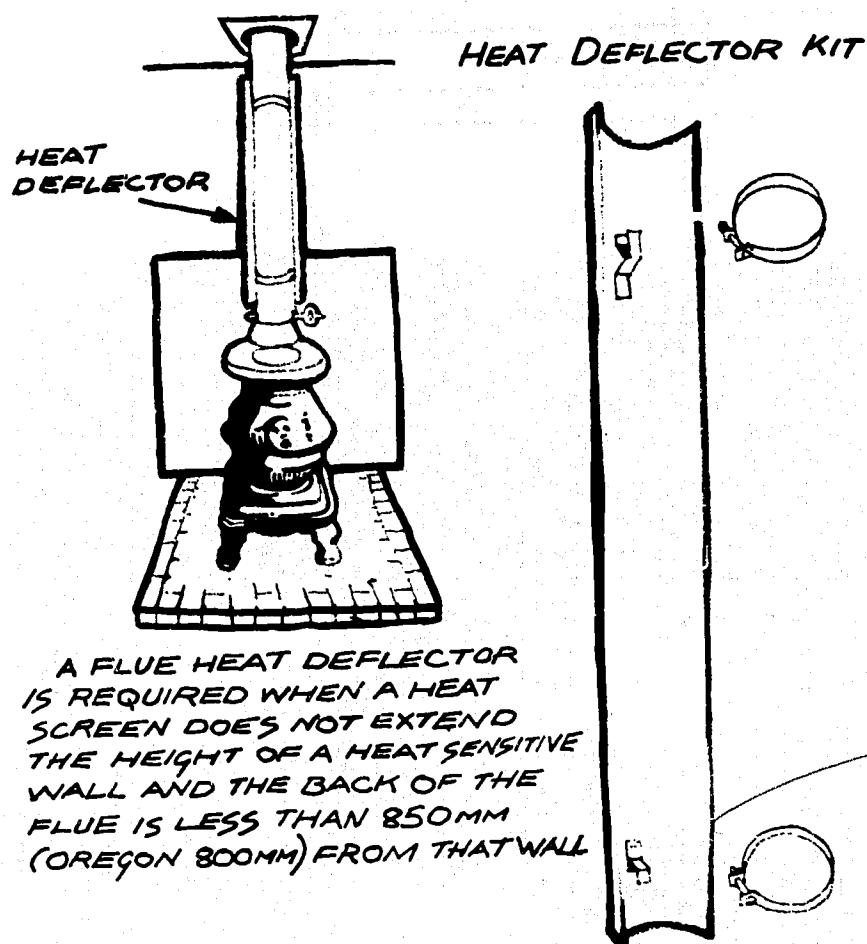


FIGURE 6

1.2.3 Double Heat Screen

The construction is similar to the single heat screen case (see 1.2.2) except that an extra sheetmetal screen is fixed mid-way in the air space, Figure 7. It must be the same size as the heat screen, and the two air spaces must each be not less than 12 mm. A suitable material for this air space divider is 0.5 mm galvanised steel. The spacers behind the double screen must be arranged to allow free air flow from the bottom intake slots to the outlet slots at the top. The width and height requirements for double screens are the same as for single screens, refer Figure 5. Again, if the flue to wall distance is less

than 850 mm (Oregon 800 mm) and the screen does not shield the full height of the wall, a flue heat deflector must be fitted, refer Figure 6.

Minimum stove to wall distance when a double sheetmetal heat screen is fitted, 150 mm, all models.

ALL PANELS (SCREENS) MUST BE OPEN TOP AND BOTTOM TO ALLOW FREE AIR FLOW

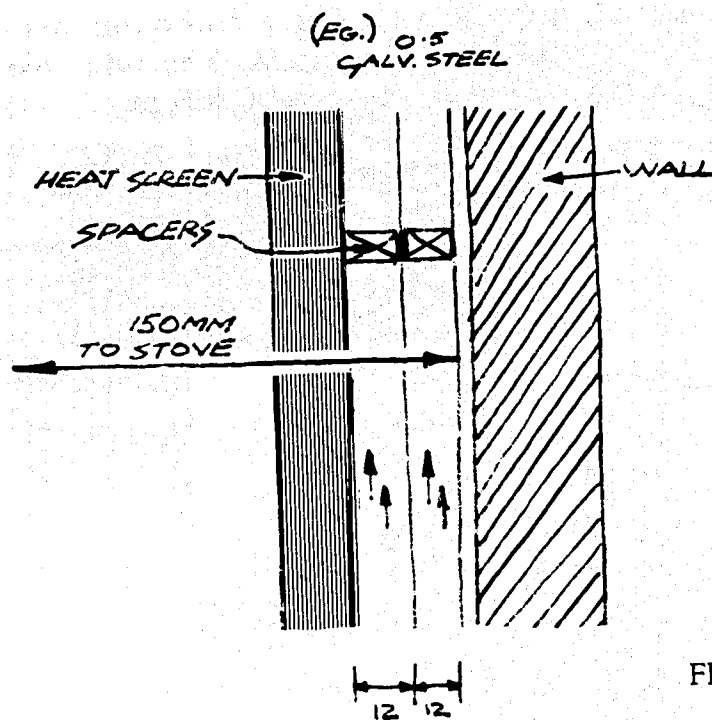


FIGURE 7

1.2.4 Brick Screens

Heat sensitive walls can be faced with brick provided that the bricks are laid flat and spaced not less than 25 mm from the wall, Figure 8. A layer of reflective building paper must be secured to the face of the wall (reflective side facing the bricks) in such a manner that it will not inhibit the air flow in the space. Alternatively, the building paper may be

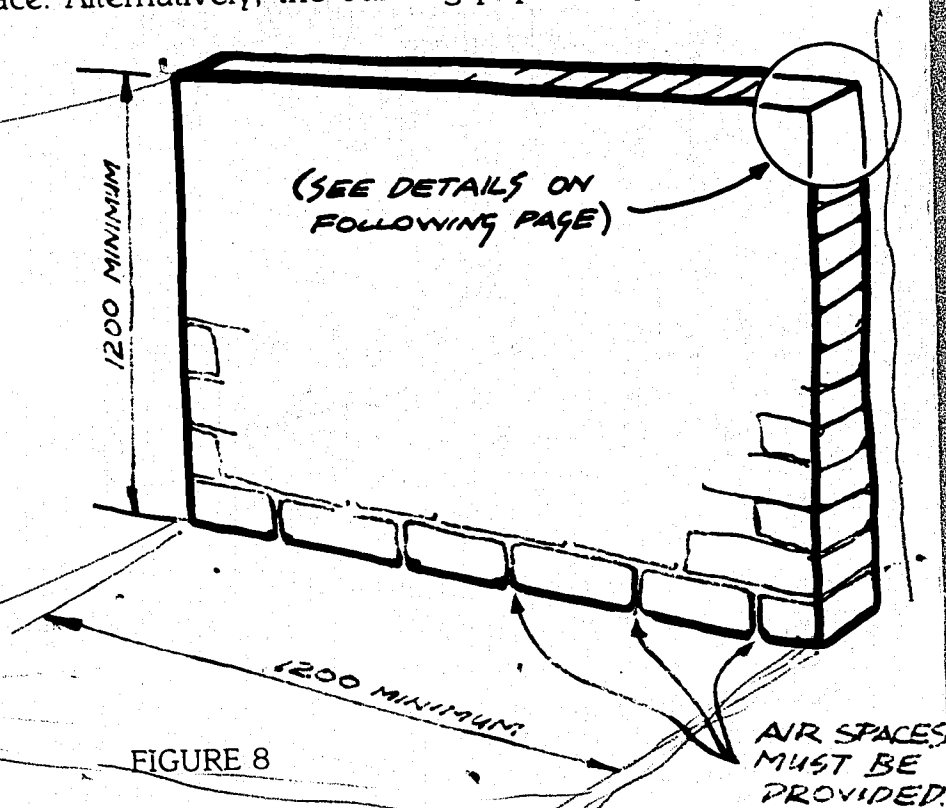


FIGURE 8

replaced by a sheetmetal air space divider as specified for a double heat screen, refer Figure 7. The top of the air space must be left open and gaps must be provided between the bricks in the bottom rows, to allow adequate air entry.

The brick facing must extend at least 600 mm each side of the stove centreline and should be at least 1200 mm high. If the flue to wall distance is less than 850 mm (Oregon 800 mm) and the brick screen does not shield the full height of the wall, a flue heat deflector must be fitted, refer Figure 6.

Minimum distance between stove and outer face of brick screen 150 mm, all Models. (This will give a minimum stove to wall distance of 285 mm.)

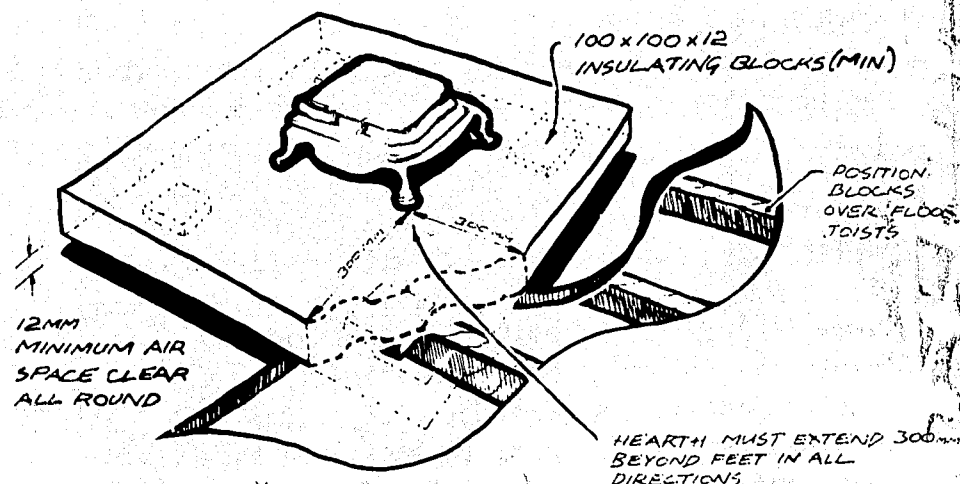


FIGURE 10

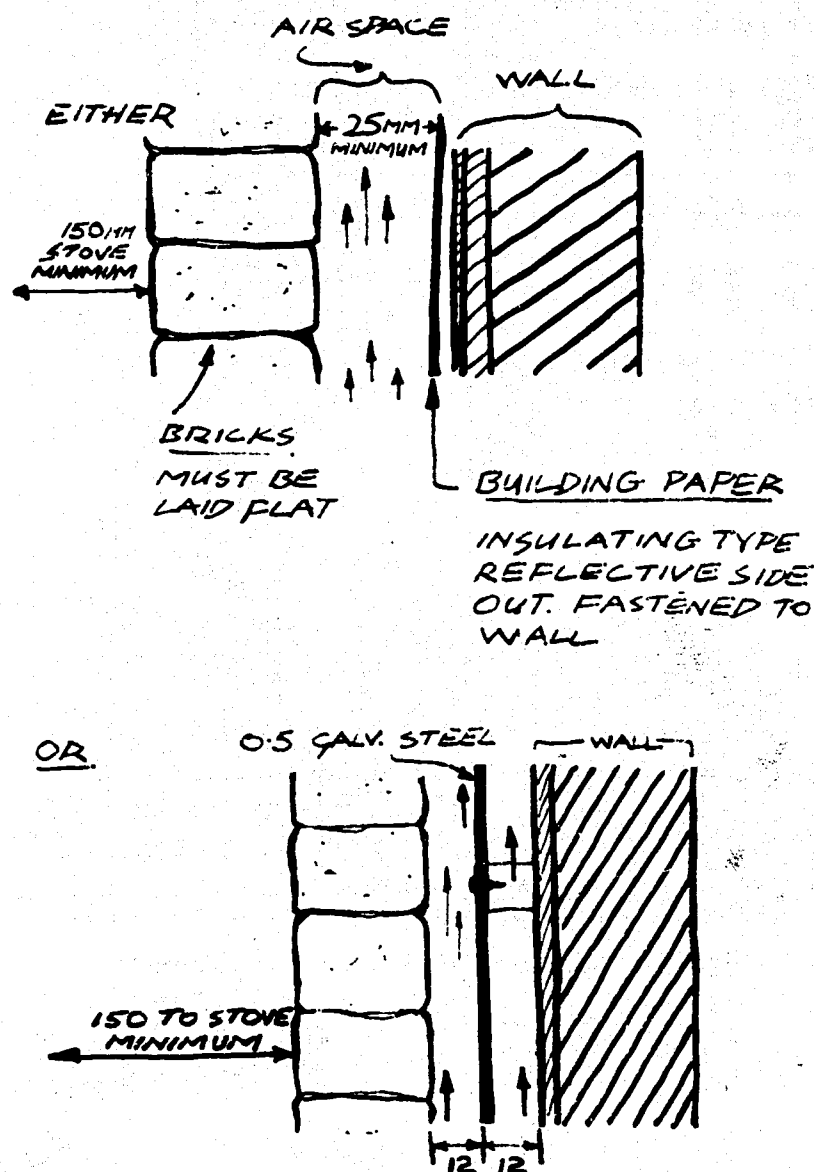


FIGURE 9

1.3 Protecting the floor

The Stove must stand on a fire-proof floor or hearth extending to the wall(s) or at least 300 mm beyond the feet in all directions, Figure 10. Hearths of solid material can conduct heat through to the floor and should be raised on insulating blocks to provide an air space beneath. This air space should be not less than 12 mm and the blocks (about 100 mm square) should be positioned directly over the floor joists. Access to the air space should be unobstructed to permit the free flow of air. As long as the air space is not impeded, the hearth may be installed as above directly onto existing carpet coverings.

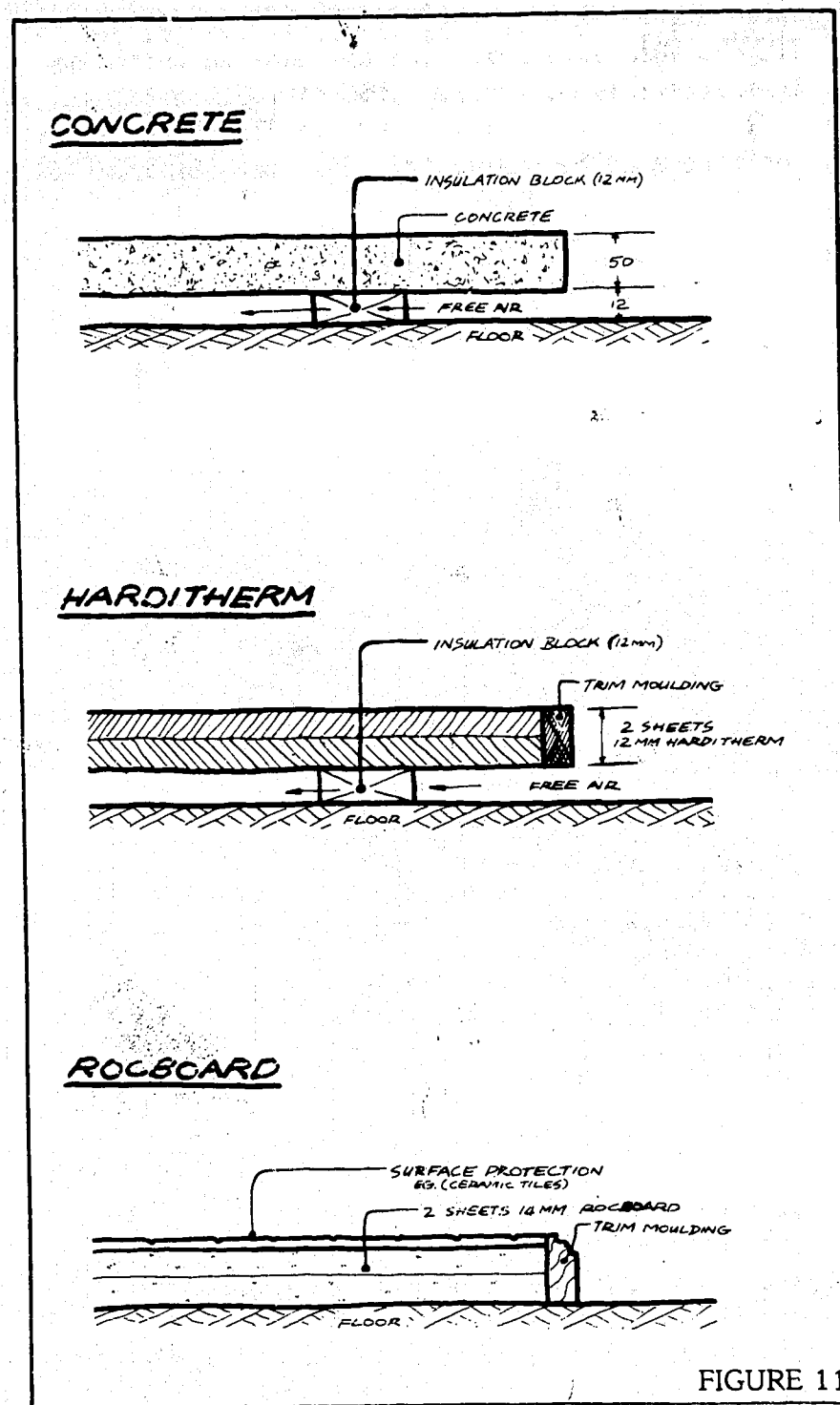


FIGURE 11

2. Installing the flue

Flue installations are covered in three sections: Section 2.1 covers installations where the stud height is 2400 mm and the roof pitch is low to normal. In these cases a standard Masport Flue Kit should be all that is required.

Section 2.2 deals with cases where extra components may be needed because:

- a) the stud height is greater than 2,400 mm;
- b) there is a high pitched roof and the standard flue would not project 600 mm above the ridge;
- c) the Heat Shield would not protrude 400 mm above the roof;
- d) the ceiling is sloping.

Section 3 explains the special requirements needed when fitting a Yukon stove into an existing fireplace.

2.1 Installations with the standard flue kit

2.1.1 Place the stove in position, satisfying all clearances noted in Section 1. Take care that the flue will not pass through ceiling joists, rafters, valleys or ridges. Drop a plumb bob from the ceiling to the centre of the flue outlet flange of the stove to locate the position where the flue will pass through the ceiling.

Cut a 275 mm square hole through the ceiling on this centre-line. Secure suitable nogs to the ceiling timbers forming a 275 mm square opening to which the bottom of the Heat Shield will be secured, Figure 13. Care should be taken that the hole is square and is no greater than 275 mm so that the Ceiling Plate will cover the opening.

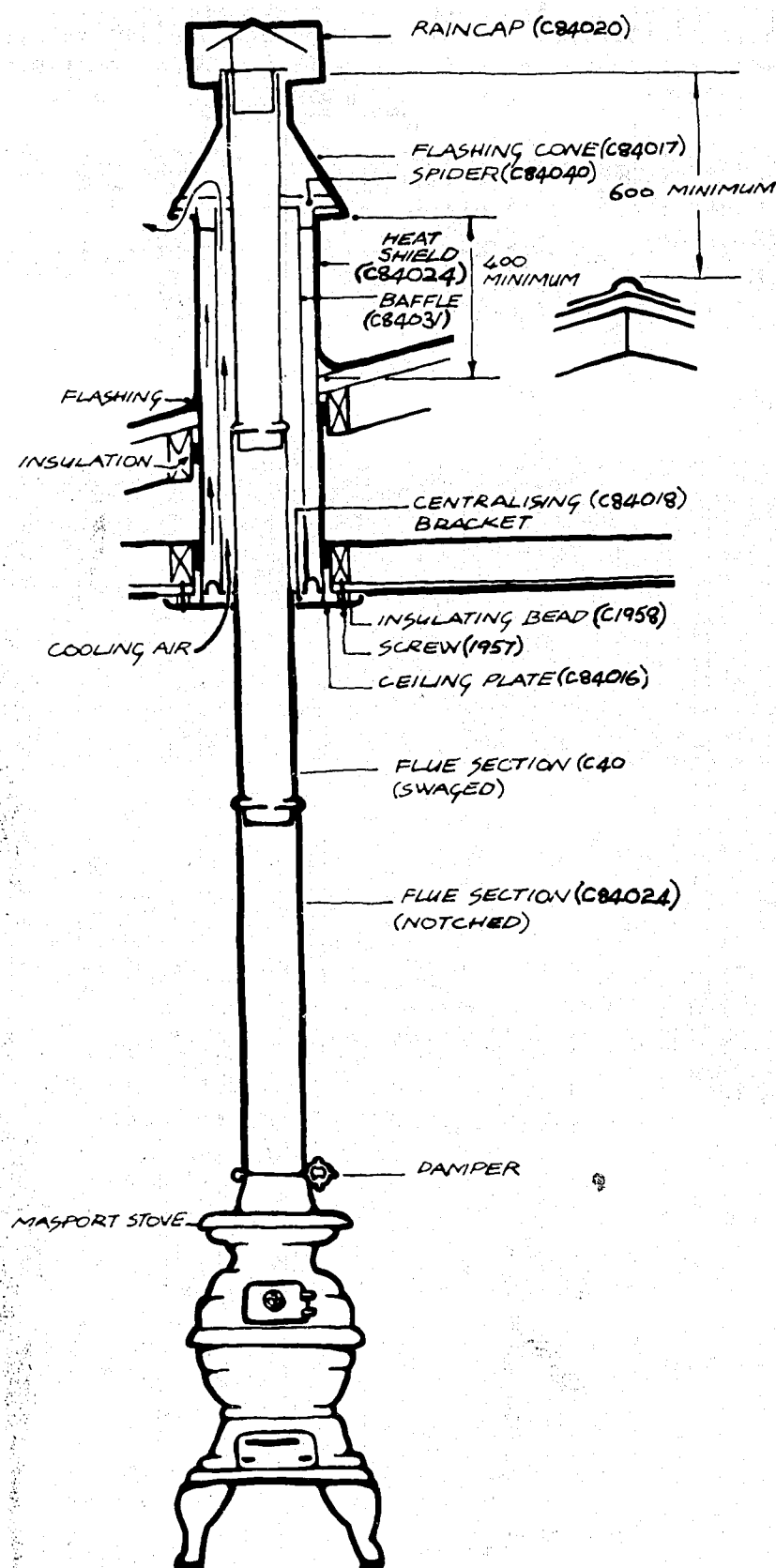


FIGURE 12

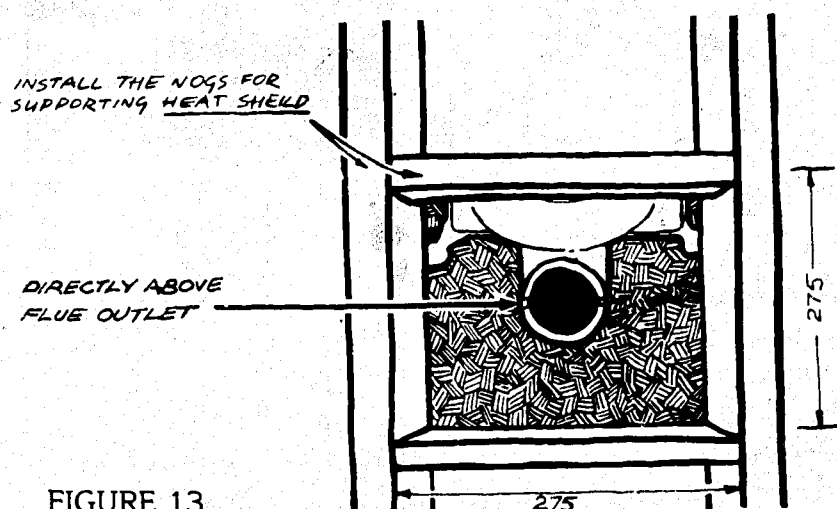


FIGURE 13

2.1.2 On the same centre-line cut a 250 mm diameter hole through the roof and secure suitable nogs to the roofing timbers forming a 275 mm square opening to which the top of Heat Shield may be secured. With the crinkled or swaged end uppermost and the lower end protruding 12 mm below the ceiling, nail or screw the Heat Shield in place using four 12 mm thick insulating spacers at each end, Figure 14.

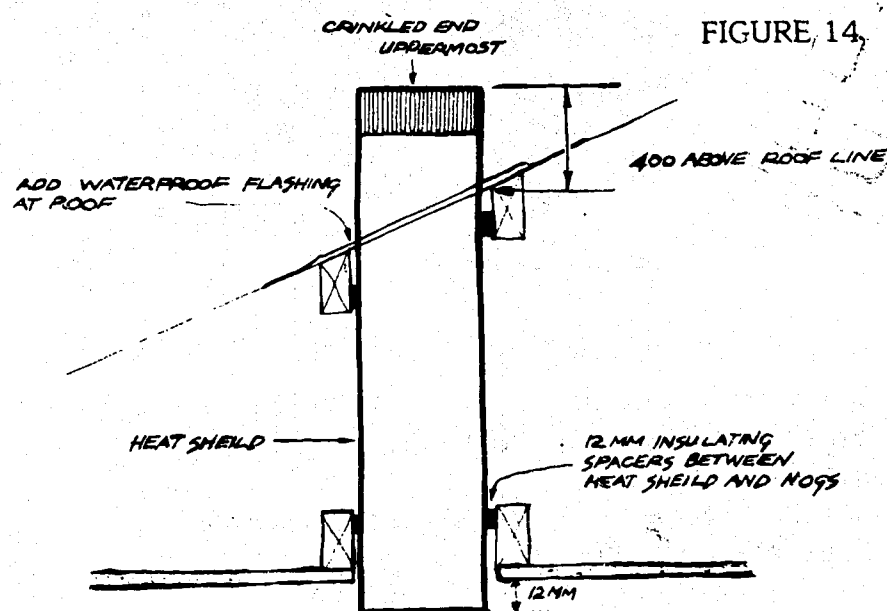


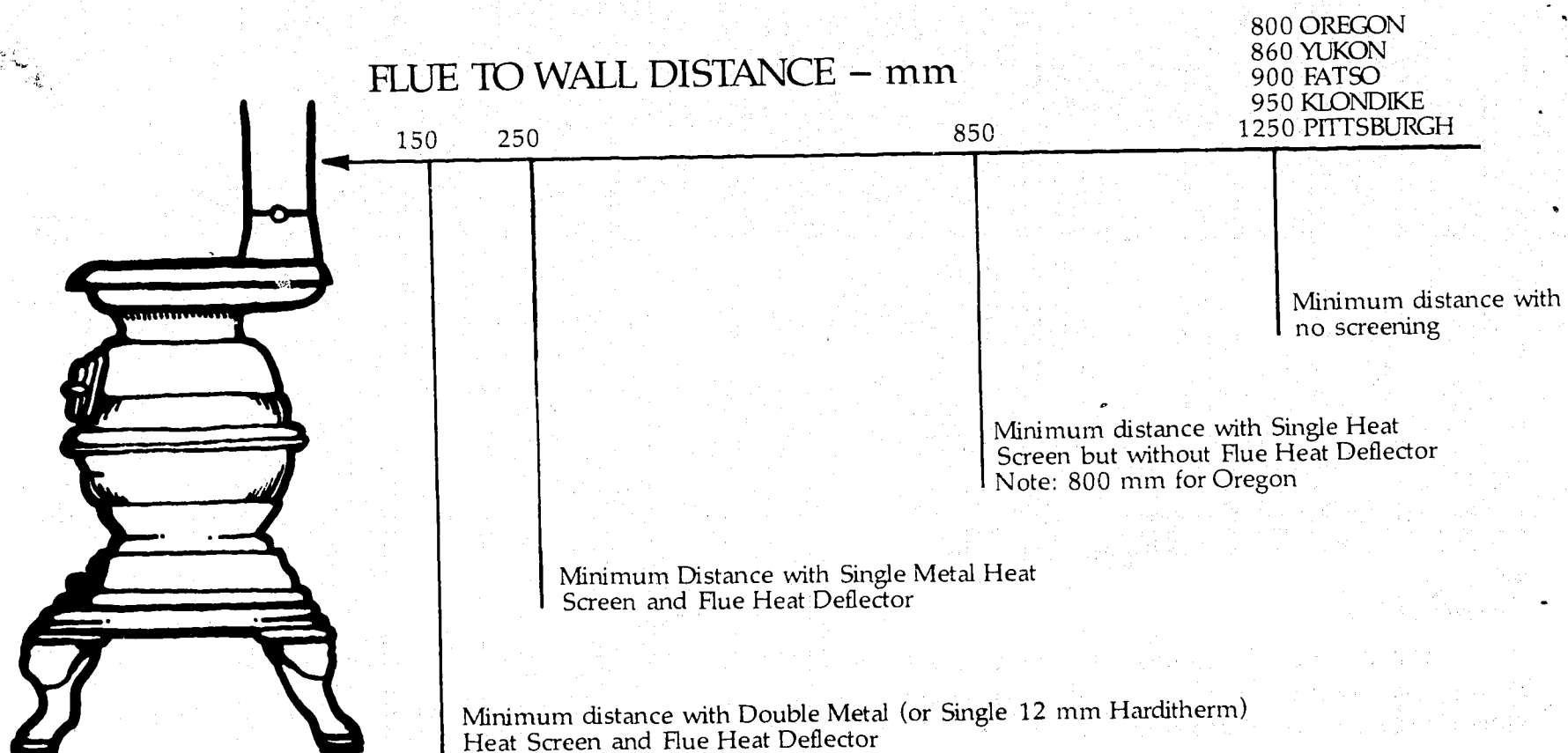
FIGURE 14

TABLE 1

MINIMUM STOVE TO WALL CLEARANCES

	PITTSBURGH mm	KLONDIKE mm	FATSO mm	YUKON mm	OREGON mm
a. Concrete or Concrete Block Walls	200	200	200	200	200
b. Brick Walls (see 1.2.4 for brick screens)					
(i) Cavity brick walls which do not enclose timber framing or other heat sensitive material	150	150	150	150	150
(ii) Brick walls erected in contact with heat sensitive materials (e.g. timber, gibraltar board, etc.)					
- bricks on edge	625	475	450	430	400
- bricks on flat	500	380	360	345	320
(iii) Brick walls which have the spacing and reflective screen requirements detailed under "Brick Screens" below	150	150	150	150	150
c. Heat sensitive walls or other objects, e.g. timber, asbestos cement board, plaster board, gypsum plaster, etc., including sheetmetal in contact with such materials (This distance can be reduced by screening in accordance with 1,2).	1,250	950	900	860	800

STOVE SCREENING REQUIREMENTS FOR HEAT SENSITIVE WALLS



- NOTE: 1. All Heat Screens 1200 mm minimum height and 1200 mm minimum width.
2. Flue Heat Deflector may be omitted if Screen shields full height of wall.
3. Minimum distance when combustible wall is faced with Brick Screen as per Instructions - 150 mm measured to outer face of Brick Screen.
4. See Text for constructional details.

2.1.8 Lower the Baffle down through the Heat Shield and centralise it on the lugs on the Centralising Bracket, Figure 20.

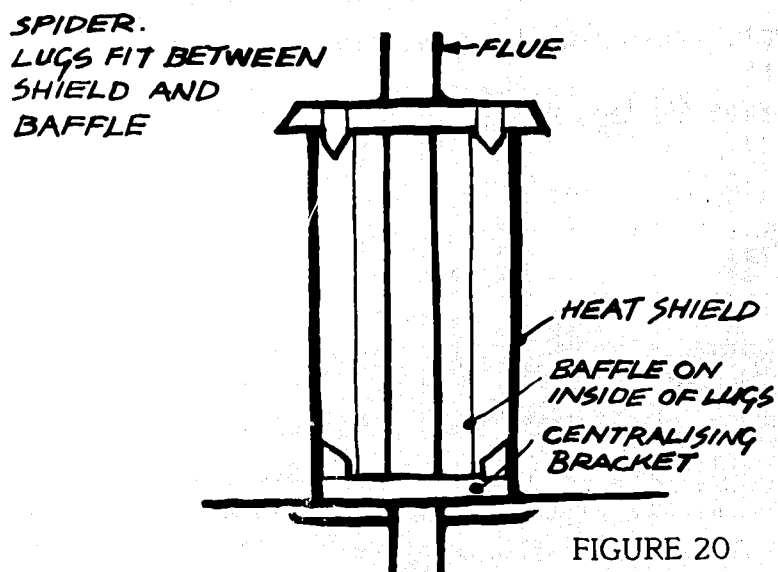


FIGURE 20

2.1.9 The Spider may now be placed over the top of the assembled flue. The lugs on the Spider arms should pass down between the Baffle and the Heat Shield, Figure 20. Clamp the Spider in place.

Since the flue will expand and contract, the Spider must be able to slide freely between the Heat Shield and Baffle. If necessary, distort the top of the Heat Shield to allow this free movement.

2.1.10 The Flashing Cone can now be placed over the top of the flue to rest on the Spider. If the top of the flue and Flashing Cone are level, and at least 600 mm above the roof ridge, the Raincap may be slipped into place inside the flue to complete the installation, Figure 21. The Raincap should not be fastened to the top flue section, although it should be a firm sliding fit. If it is loose, distort the flue slightly to obtain the required fit.

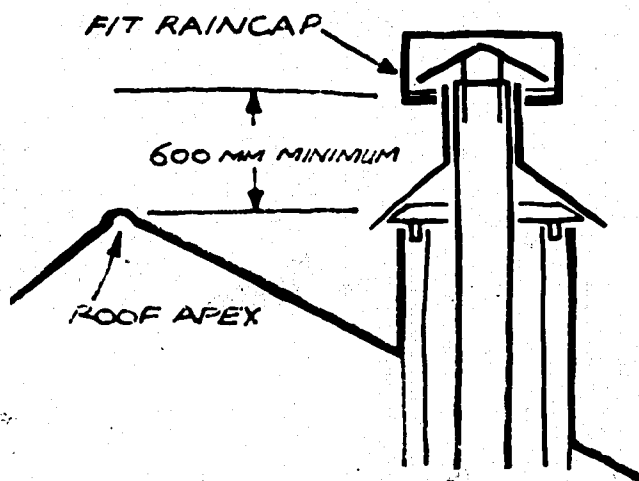


FIGURE 21

If the Flashing Cone is above the flue as in Figure 22, the Flashing Cone may be trimmed to suit, or, if the flue projects above the Flashing Cone as in Figure 24, a Weather Sleeve will be required as detailed in Non Standard Installations, Section 2.2.2 below.

2.1.11 If a Flue Heat Deflector is required, this may now be fitted to complete the installation, Figure 6. The bottom of the Flue Heat Deflector should not be less than 150 mm below the top of the heat screen on the wall. Assembly instructions accompany each Flue Heat Deflector Kit.

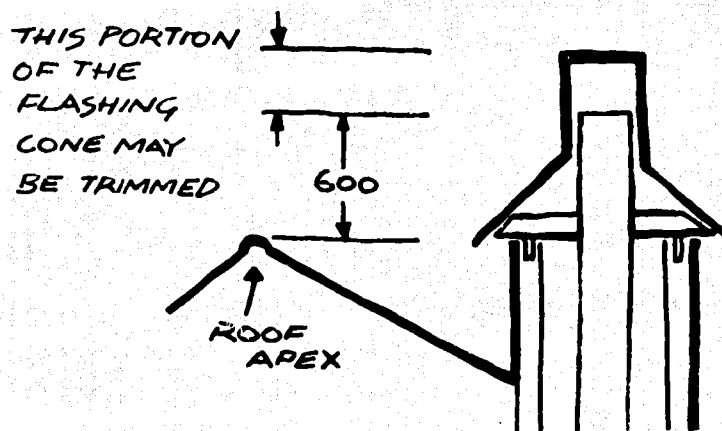


FIGURE 22

2.2 Non Standard installations

Installations should proceed as in 2.1. When extra Flue Sections, Heat Shields, Baffles and Weather Sleeves are required to achieve the necessary heights above the roof, additional components are available from your retailer. Refer to Figure 10 for part numbers.

2.2.1 On sloping ceilings, the bottom end of the Heat Shield and Baffle must be trimmed to the appropriate angle, Figure 23. The Baffle will have to be slotted to fit over the arms of the Centralising Bracket.

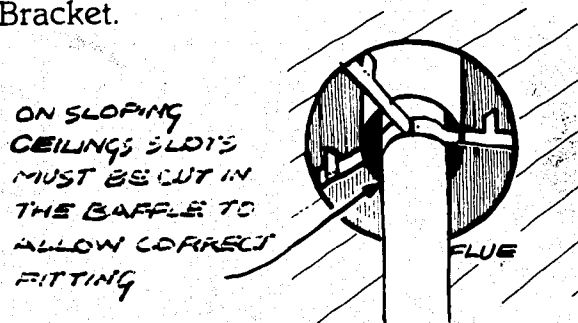


FIGURE 23

2.2.2 The Flashing Cone and Spider may now be installed on top of the Heat Shield as in 2.1.9. If the flue protrudes above the Flashing Cone, up to 300 mm of the flue may be trimmed off to bring the top of the flue and Flashing Cone level. When more than 300 mm of the flue protrudes above the Flashing Cone, a Weather Sleeve must be added, Figure 21, with swaged end uppermost. The bottom end of this sleeve should be trimmed so that the top is level with the top of the flue.

More than one Weather Sleeve may be used if the height of the installation requires it, but if more than two Sleeves are required, they must be stabilised with wire stays.

2.2.3 The Raincap may now be slipped into place inside the top flue to complete the installation.

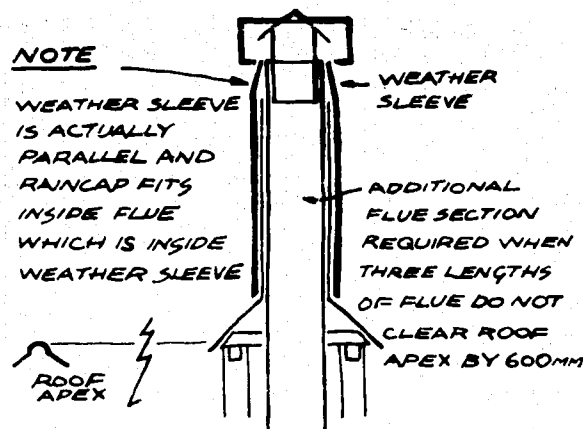


FIGURE 24

3. Installing a stove in a fireplace

Only the Yukon Stove is suitable for this type of installation and may be installed in most existing fireplaces.

3.1 Stove installation

Before installing the stove, the chimney should be swept and inspected for soundness, the joint of the fireplace with the chimney face should be examined for separation, and all timber work near the fireplace should be checked to ensure that it is at least 50 mm clear of the brickwork to prevent overheating.

A straight Flue Socket will usually be required and this is bolted to the back of the stove in place of the Elbow supplied as standard. Your stove stockist will supply you with a straight Socket in exchange for the standard Elbow at no charge. The Baffle Plate must be reinstalled when the straight Socket is fitted, Figure 2. With the straight Socket, the Damper is fully open when the Damper Handle is in line with the flue, not vertical as it is when used with the standard Elbow.

When installed in a fireplace opening, the following requirements must be met.

A) Exposed heat sensitive materials within 860 mm

of the stove should be screened in an approved manner, refer 1.2 Protecting the Walls. This includes mantelpieces and heat sensitive walls.

B) The hearth should extend at least 300 mm beyond the legs in all directions, refer 1.3 Protecting the Floor.

C) The stove should not discharge into a chimney common with another fireplace.

D) Provision should be made for sweeping the flue without requiring dismantling or reinstatement work by tradesmen other than the chimney sweep.

3.2 Flue installation

Two methods of Installation are possible, Full Height Flue and, Short Flue installations.

3.2.1 Full Height Flue Installation:

This method of installation is recommended as it gives a more positive draught which yields the best stove combustion efficiency, Figure 25. A full height flue should always be used if there is any doubt regarding the soundness of the mortared chimney joints and their ability to withstand the increased flue gas temperatures.

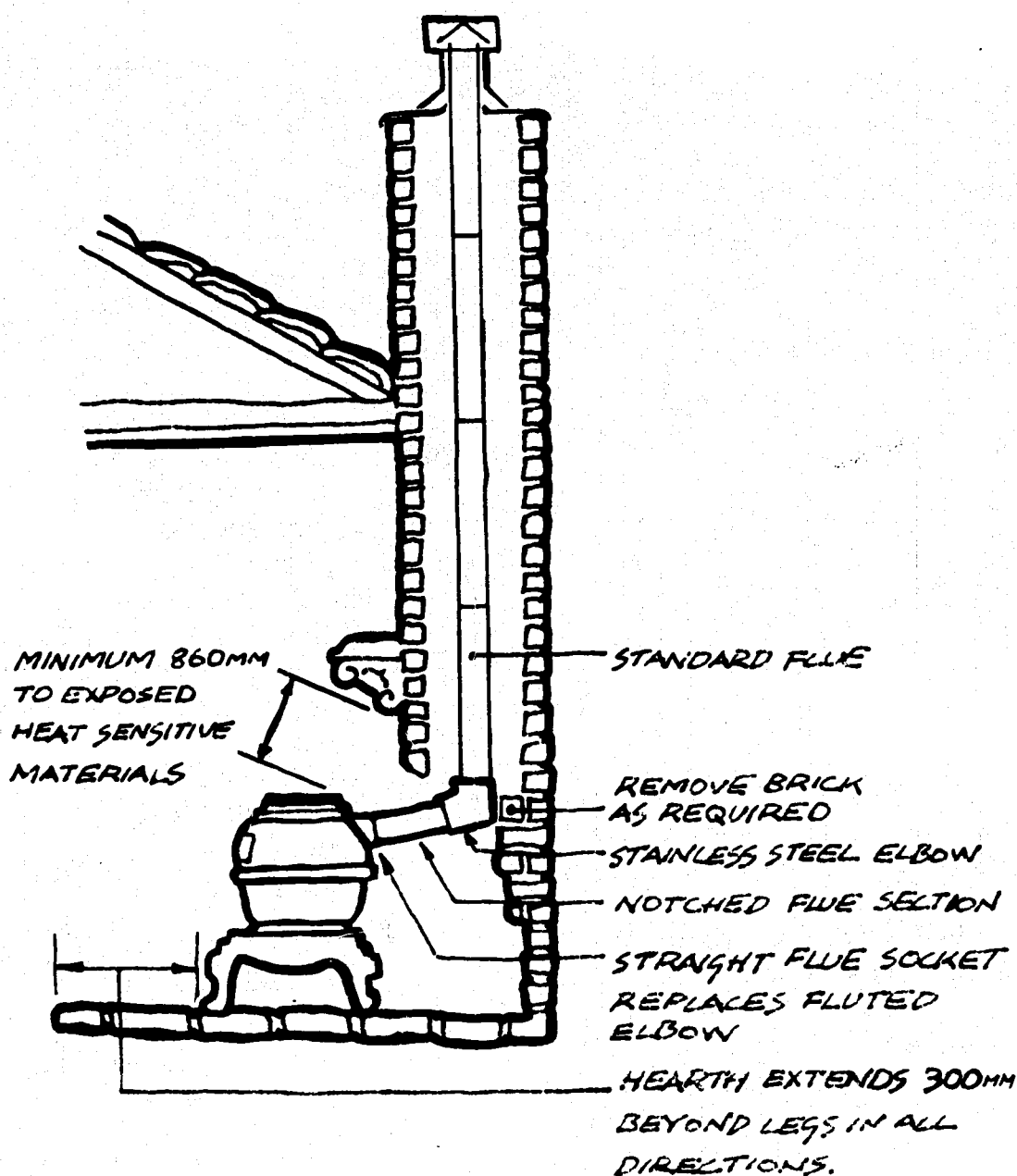


FIGURE 25

Before installing, check that the top bowl is in its correct position. Lift the bowl before rotating if this is necessary.

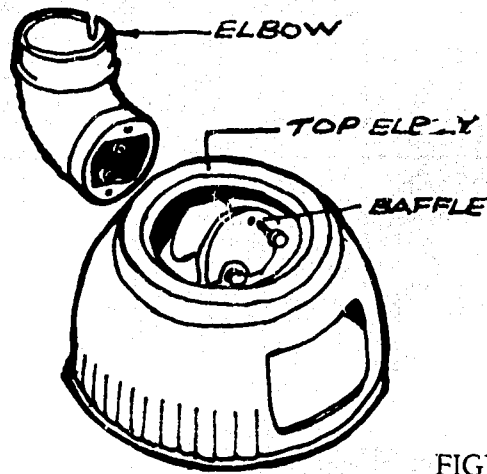


FIGURE 2

The Yukon Stove has a circular baffle which is loosely held in the correct position by two bolts inside the upper belly. Remove the nuts from the bolts and position the Elbow/Socket over the outlet holes, Figure 2. Replace the nuts and tighten. The Baffle must be in place whether the standard Fluted Elbow or the optional Straight Flue Socket is used.

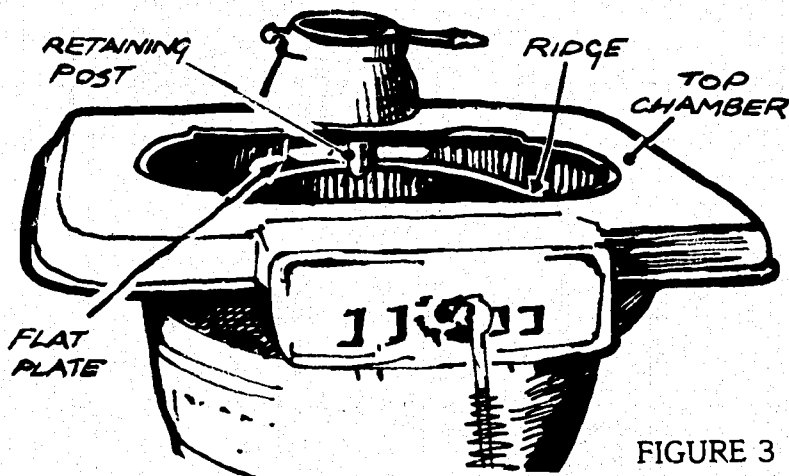


FIGURE 3

A flat Baffle Plate is supplied with Fatso and Oregon Stoves. Insert the Plate against the inside of the Top Chamber, with the curved edge downward and the word 'Front', facing inward. Slide the Plate around on the ridge in the Top Chamber until the top edge of the Plate engages behind the retaining post, Figure 3. The notch in the Fatso Plate should be against the post.

1. Installing the stove

This section covers all models, with or without water heating coils, except for a Yukon Stove fireplace installation (refer to Section 3).

1.1 Unprotected walls

The following minimum clearances from stoves to unprotected walls must be observed. Measurements to the rear of the stove are taken from the back of the flue. Clearances to the side are measured from the nearest point on the ring around the belly of the stove, Figure 4.

Where a Yukon Stove is fitted with the optional straight Flue Socket (for use when the flue discharges into a chimney), the rear clearance is measured from the belly and 80 mm should be added to the figures shown on the following page.

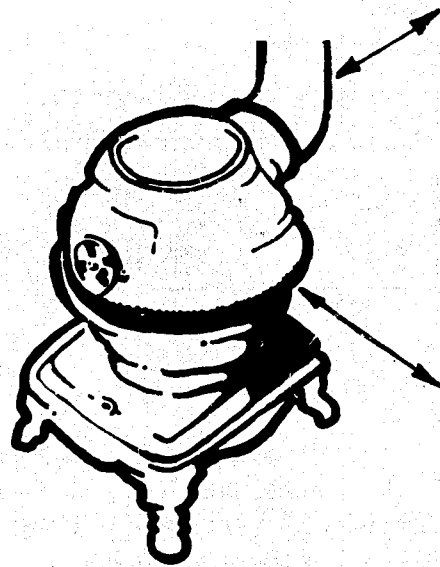


FIGURE 4

1.2 Protecting the walls

A heat sensitive wall can be protected by the erection of a single or double heat screen, or by a brick screen, thus enabling the stove-to-wall distance to be reduced greatly.

1.2.1 Heat Screen Material

The material must be capable of withstanding 180°C without damage. Sheetmetal and certain heat resistant materials, (e.g., 12 mm Harditherm), are obvious choices. If they are to be painted, only fire resistant paints should be used and the colours should be kept light, as dark finishes will raise the panel temperatures significantly. Allowances for expansion must be made when fastening.

Note: An information sheet on the use of Rocboard insulating panels for protecting walls and insulating hearths is available from New Zealand Forest Products Limited or their agents. Rocboard should be used only in accordance with that information.

* SUGGESTED POSITIONING ONLY.

THERE ARE OTHER WAYS OF PERMITTING AIRFLOW BEHIND SCREEN E.G. DRILLING HOLES, RAISING HEARTH ETC.

IF HEAT SCREEN DOES NOT EXTEND BEYOND 1200 MM FROM HEARTH, IN SOME CASES A HEAT DEFLECTOR MUST BE FITTED

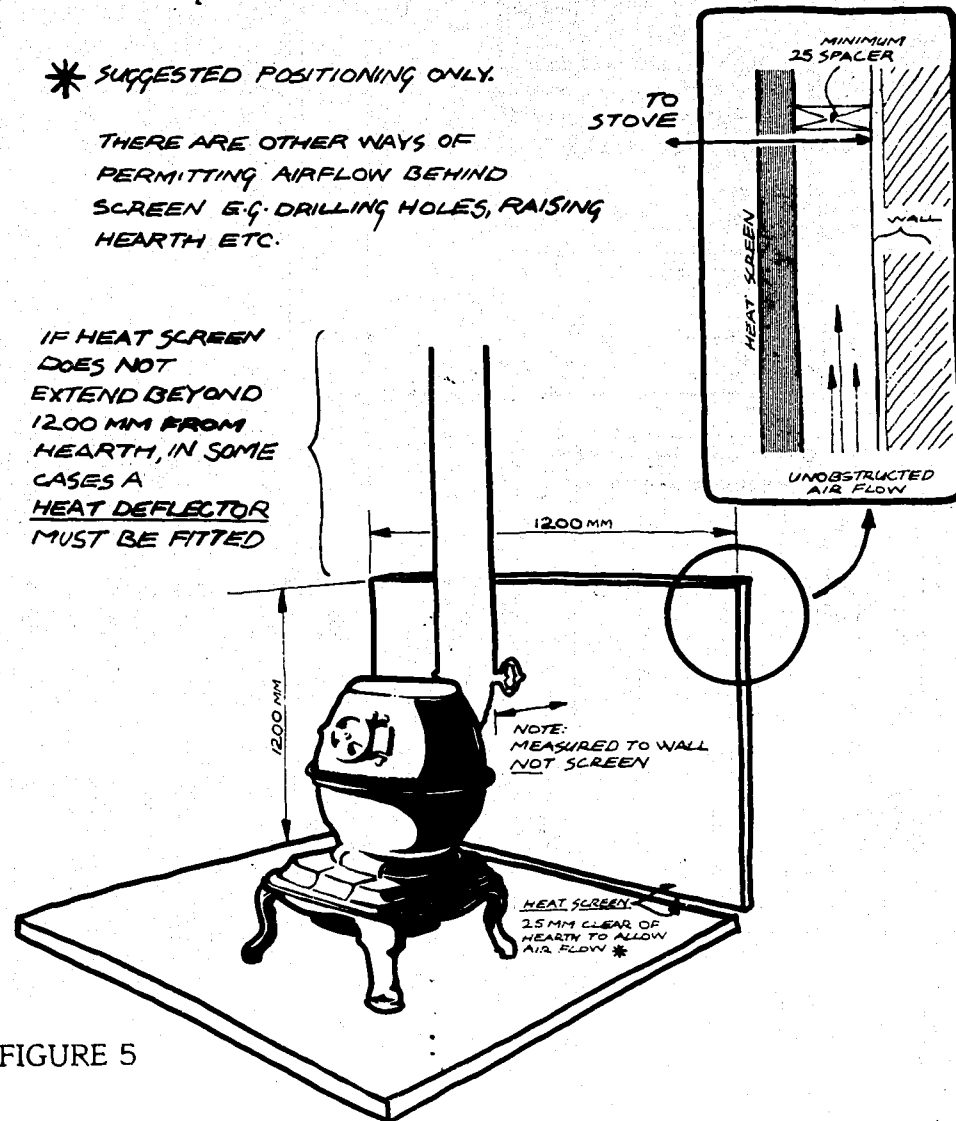


FIGURE 5

PLUMBING AND DRAINAGE

COUNCIL MAINS POSITIONS

Council has not received any plans of the exact position of the stormwater disposal from the property.

The property is connected to council's sewerage system.

PRIVATE PLUMBING AND DRAINAGE

There are plans (below) showing private drains on the property, although council cannot guarantee their accuracy. Only digging on site can confirm the pipes' precise position.

STREAMS / OPEN DRAINS

Any streams or open drains on the property are the responsibility of the property owner. This includes ensuring the water is free flowing, vegetation and erosion control, maintaining any retaining structures (or driveway culvert crossings) and fencing of the drain.

DRINKING WATER SUPPLY

The property is connected to council's potable water supply.

METERED WATER SUPPLY

Not Available

OVERLAND FLOW

No overland flow complaints reported or investigated.

INFLOW

The council inspected the property for stormwater entering sewer pipes on 14/6/2006 and found that it complied.

OTHER UNDERGROUND SERVICES

There are a number of services in Lower Hutt such as power and gas lines that are not owned or maintained by council. They may not be shown in the maps in this LIM Report. If you plan on digging on your property, it is recommended that you utilise the [BeforeUDig](#) service.

Contacts	Position	Phone
Plumbing and drainage enquiries	Duty Plumbing and Drainage Officer	04 570 6666
Inflow enquires	Trade Waste Officer	04 570 6666



LIM Property

plumbing-ms

Properties

Privately owned assets

- - - Wastewater Pipe

- - - Storm Pipe

Council owned assets

● Wastewater Fitting

● Stormwater Fixture

M Water Meter

⋈ Water Valve

— Water Pipe

— Wastewater Pipe

— Stormwater Pipe

- - - Service Connection



PLUMBING & DRAINAGE MAP

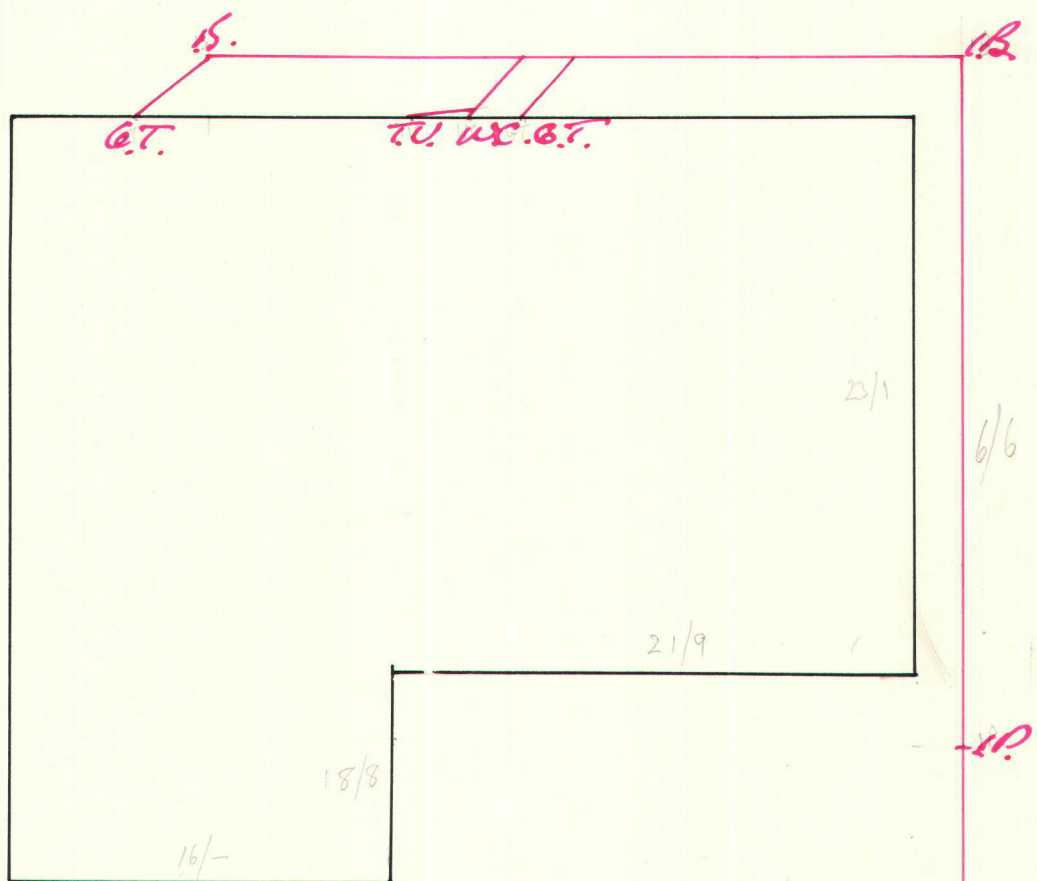
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Plumbing and Drainage Plans

C. S. W. LTD. 9842J

51

83 COAST RD



47/-

HUTT COUNTY COUNCIL

Valuation No.

Date Received

Application for Plumbing and Drainage Permit

To: The County Health Inspector,
P.O. Box 43041,
WAINUIOMATA

I, the undersigned FREDRICK JAMES CHERRY (full name)
of 83 COAST RD WAINUIOMATA (address)
hereby make application for permission to have the work prescribed herein set out in the plans attached hereto
carried out in the premises situated at—

No. 83 COAST RD Street WAINUIOMATA Township
Lot 81 D.P. 29539 Riding

The owner of the premises is FREDRICK JAMES CHERRY (Name)
of 83 COAST RD WAINUIOMATA (Address)

I hereby nominate these Registered Tradesmen to carry out the said work:
..... (Registered Plumber)
of (Address)
..... (Registered Drainlayer)
of (Address)

Type of water supply Capacity of storage tanks gals.

Description of Work: Cross out any of the following which do not apply:
Install bath, basin, sink, tubs, shower, W.C. hot/cold water supply.
Drainage to grease trap/septic tank/sewer/field drain/soak pit.
Stormwater drainage to street/channel/soak pit.

Other Work

Value of Proposed Work (including Materials):

Estimated cost of:	(a) Plumbing	\$:
	(b) Drainage	\$:
	TOTAL	\$:

Signature of Applicant Date

For Office Use Only

Fees:

Plumbing	\$:
Drainage	\$:
Sewer connection	\$:
Total	\$:

Acct No

Date

Permit No.

Date Issued

Receipt No.

Remarks :

HUTT COUNTY COUNCIL

Valuation No.

Date Received

Application for Plumbing and Drainage Permit

To: The County Health Inspector,
P.O. Box 8012,
WELLINGTON.

TERRACRETE CONSTRUCTIONS LIMITED.

I, the undersigned P.O. BOX 4, (Full name)

of WAINUIOMATA, (address) hereby make
application for permission to have the work prescribed herein and set out in the plans attached hereto carried out in the
premises situated at

No. 83 Street Wainuiomata Township

Lot 81 D.P. 22539 Riding

The owner of the premises is (Name)

of (Address)

I hereby nominate these Registered Tradesmen to carry out the said work:

..... W A Bell (Registered Plumber)

of (Address)

..... D V Bridge (Registered Drainlayer)

of (Address)

Type of water supply Capacity of storage tanks gals.

Description of Work: Cross out any of the following which do not apply:

Install bath, basin, sink, tubs, shower, W.C., hot/cold water supply.

Drainage to grease trap/septic tank/sewer/field drain/soak pit.

Stormwater drainage to street channel/soakpit.

Other Work

Value of Proposed Work (including Materials).

Estimated cost of:

(a) Plumbing

£ 205 : -

(b) Drainage

£ 90 : -

TOTAL

£ 295 : -

p.p. TERRA CRETE CONSTRUCTIONS LIMITED.

Signature of Applicant

Date

20-3-62.

For Office Use Only:

Fees:

Plumbing

£ 2 : 10 : -

Drainage

£ 1 : - : -

Sewer connection

£ 2 : - : -

Total

£ 5 : 10 : -

Acct. No.

Date

Permit No.

11569/11570

Date issued

Receipt No.

9410

Remarks:

sewer connection 84/6 from downtown m.h.

HAZARDS

RECORD OF TITLE INTERESTS

Please carefully check the property's record of title for any entry under section 74 of the Building Act 2004, or its predecessor section 36(2) of the Building Act 1991, as they relate to building on land subject to natural hazards, which may invalidate statutory natural disaster insurance. Clause 3(D) of the Earthquake Commission Act 1993 states that in these circumstances the commission may decline a claim in whole or part.

FLOODING (INUNDATION, ALLUVION*, AVULSION**)

* The wash of the sea or of a river. **Sudden loss of soil from flood or from shift in course of stream.

Council holds no information about reported instances of flooding on the property.

Council records show flooding has been recorded in the area. Please see below the Hazard Map for the location of the flooding. This information is considered relevant by the council as per Section 44A(3) of the Local Government Official Information and Meetings Act 1987.

Flood risk modelling investigations are being compiled for Lower Hutt suburbs, including Wainuiomata, Stokes Valley and more. Please see the Wellington Water rainfall flood risk website [Wellington Water Maps](#). If you are having trouble accessing this website, or require further information, please contact Wellington Water on 04 912 4400.

SLOPE STABILITY (SLIPPAGE, FALLING DEBRIS, EROSION AND SUBSIDENCE)

Council does not hold any records showing slippage on the property.

More general information can be found in this 2021 Report: [Slope Failure Susceptibility Assessment](#).

EARTHQUAKE-PRONE BUILDING

The earthquake-prone building provisions of the Building Act 2004 do not apply to a building if it is used wholly or mainly for residential purposes unless:

- it is two or more storeys; and either
 - is a hostel, boardinghouse, or other specialised accommodation; or
 - contains 3 or more household units.

This building is therefore outside of the scope of the earthquake-prone building provisions of the Building Act 2004. For more information on current legislation please visit the Ministry of Business Innovation and Employment website <https://www.building.govt.nz/managing-buildings/managing-earthquake-prone-buildings/>.

CONTAMINATED SITES

The property does not appear on Greater Wellington Regional Council's Selected Land Use Register, which contains a list of properties with a history of hazardous activity or industry.

The National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health controls activities on sites where an activity on the Hazardous Activities and Industries List has occurred. This LIM report should not be considered as a complete assessment of a site's history in regard to HAIL activities. For further information, take a look at MFE's information <https://environment.govt.nz/facts-and-science/land/contaminated-land/>.

EARTHQUAKE HAZARDS

Information relating to liquefaction, ground shaking, active faults and slope failure can be found on Greater Wellington Regional Council's [Hazards and Emergency Management Maps](#).

TSUNAMI

The property is not in a tsunami warning zone.

The zoning is based on a report compiled in 2016 entitled Hydrodynamic Inundation Modelling. To see the report, go to <https://wremo.nz/hazards/tsunami>.

SEA LEVEL RISE AND STORM SURGE

For more information on sea level rise, please see <https://www.searise.nz>.

To find out how sea level rise and storm surge may impact the property please go to the Greater Wellington Regional Council's Sea Level Rise Modelling tool here <https://mapping1.gw.govt.nz/GW/SLR>.

CO-SEISMIC SUBSIDENCE

For information on estimated subsidence of the valley floor during a Wellington Fault rupture, the GNS Science Report *Estimating co-seismic subsidence in the Hutt Valley associated with rupture of the Wellington Fault* is available to download from the following website <http://shop.gns.cri.nz/estimating-co-seismic-subsidence-in-the-hutt-valley-associated-with-rupture-of-the-wellington-fault>.

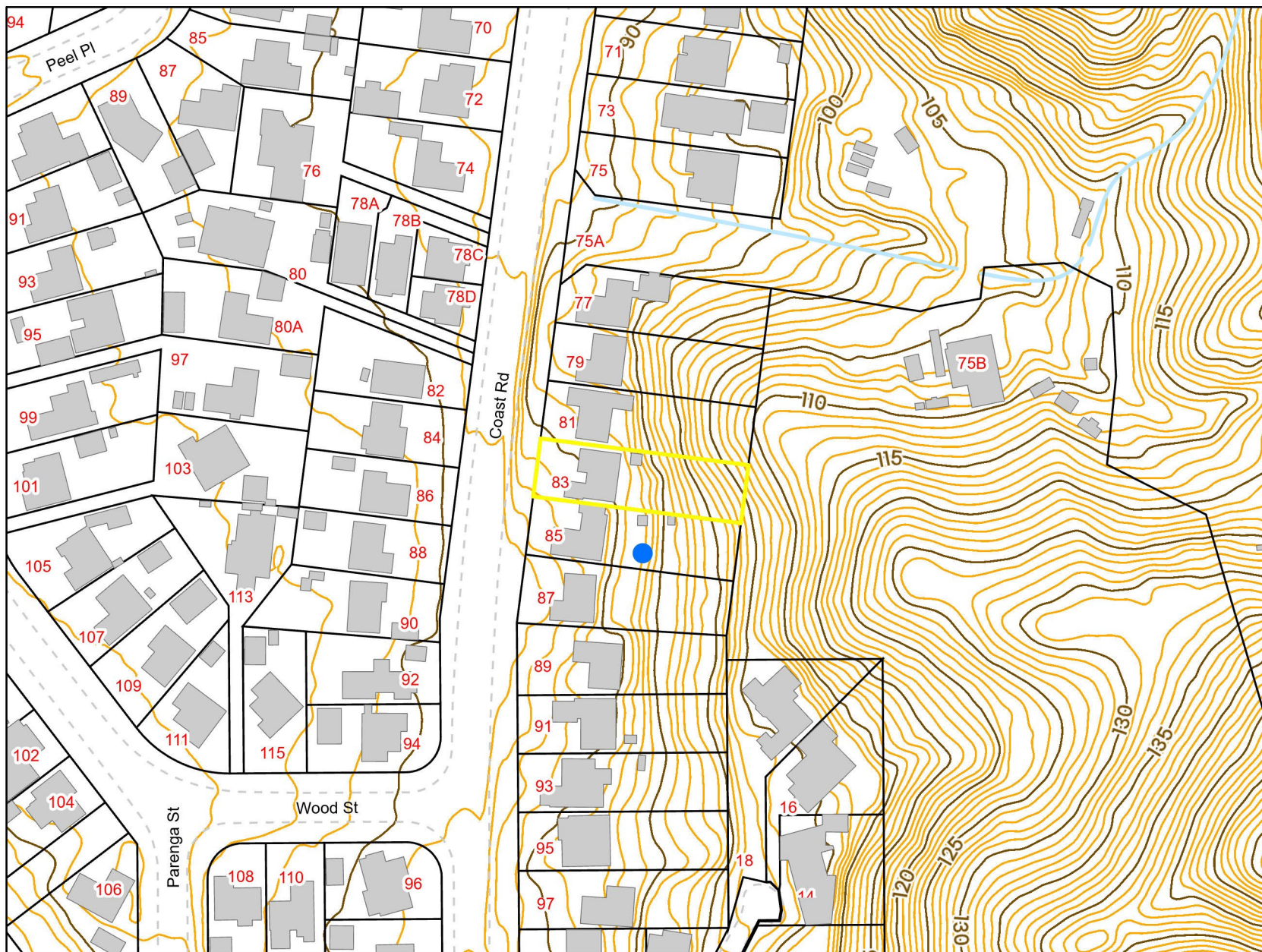
WELLINGTON REGION EMERGENCY MANAGEMENT

For information on how to be prepared for an emergency, or to keep up to date in the event of an emergency in the Wellington Region, please visit the [Wellington Region Emergency Management Office website](#).

COMMUNITY EMERGENCY HUBS

To find out where your closest Emergency Hub (formerly known as Civil Defence Centre) is, please visit the [Civil Defence Website](#).

Contacts	Position	Phone
Flood modelling	Greater Wellington Regional Council flood protection officer	04 384 5708
Contaminated sites	Greater Wellington Regional Council environmental scientist	04 384 5708
Liquefaction and ground shaking	Greater Wellington Regional Council hazard officer	04 384 5708
Earthquake-prone buildings	Seismic Assessment Officer	04 570 6666
All other hazard information	LIM officer	04 570 6666



- LIM Property
- Contours
- Properties
- Building Outline (2025)
- Kerblines
- Water course
- HCC recorded flood incident



HAZARDS MAP

Scale: 1:1,500

Although the information displayed has been prepared with care and in good faith, It is an information service and is designed to be illustrative only. The Council cannot guarantee the accuracy or completeness of the information and accepts no liability for any loss suffered as a result of reliance on the information. Parcel boundaries sourced from Land Information New Zealand data supplied under license to Hutt City Council. Crown Copyright Reserved.

DISTRICT PLAN

THE DISTRICT PLAN

The Resource Management Act 1991 requires Hutt City Council to prepare a District Plan to manage land use and development within its jurisdiction. It contains rules that may affect any development or land use you may be considering. Click [here](#) to view the District Plan online.

ACTIVITY AREA

The property is in the Medium Density Residential area of the city's District Plan.

For more information on the rules relating to this activity area please read the corresponding chapter of the District Plan. It should be read in conjunction with the plan's general and subdivision rules in chapters 11 and 14. (The full version of the District Plan can be found [here](#)).

PROPOSED DISTRICT PLAN AND PROPOSED PLAN CHANGES

The District Plan is subject to ongoing monitoring and review throughout its lifetime.

There is a list of proposed changes and completed changes to the District Plan available [here](#).

The Proposed Lower Hutt District Plan was publicly notified on 6 February 2025. This is proposed to replace the current District Plan. The Proposed District Plan contains information, including new hazards and risks overlays, that may be relevant to this property. This includes coastal inundation, fault, flooding, liquefaction, tsunami and slope assessment overlays. These overlays are nonspecific to any particular properties and are based on scientific information that will be subject to public consultation and a statutory process before they are finalised. It is important to note that information from the Proposed District Plan has not been included in this LIM. Please check the Proposed District Plan maps to determine how this property may be affected. The Proposed District Plan can be accessed [here](#).

URBAN GROWTH STRATEGY

The Urban Growth Strategy is council's approach to managing growth and development in Lower Hutt to 2032. It focuses on how much we want the city to grow, where new homes and businesses will be accommodated, and what will be done to support and encourage this development. Click [here](#) to read more.

HERITAGE BUILDINGS

The District Plan does not recognise there being any heritage buildings or structures on the property.

PROTECTED TREES

A covenant, resource consent condition or consent notice may protect vegetation. See the record of title and/or resource consent(s) for any information in this regard.

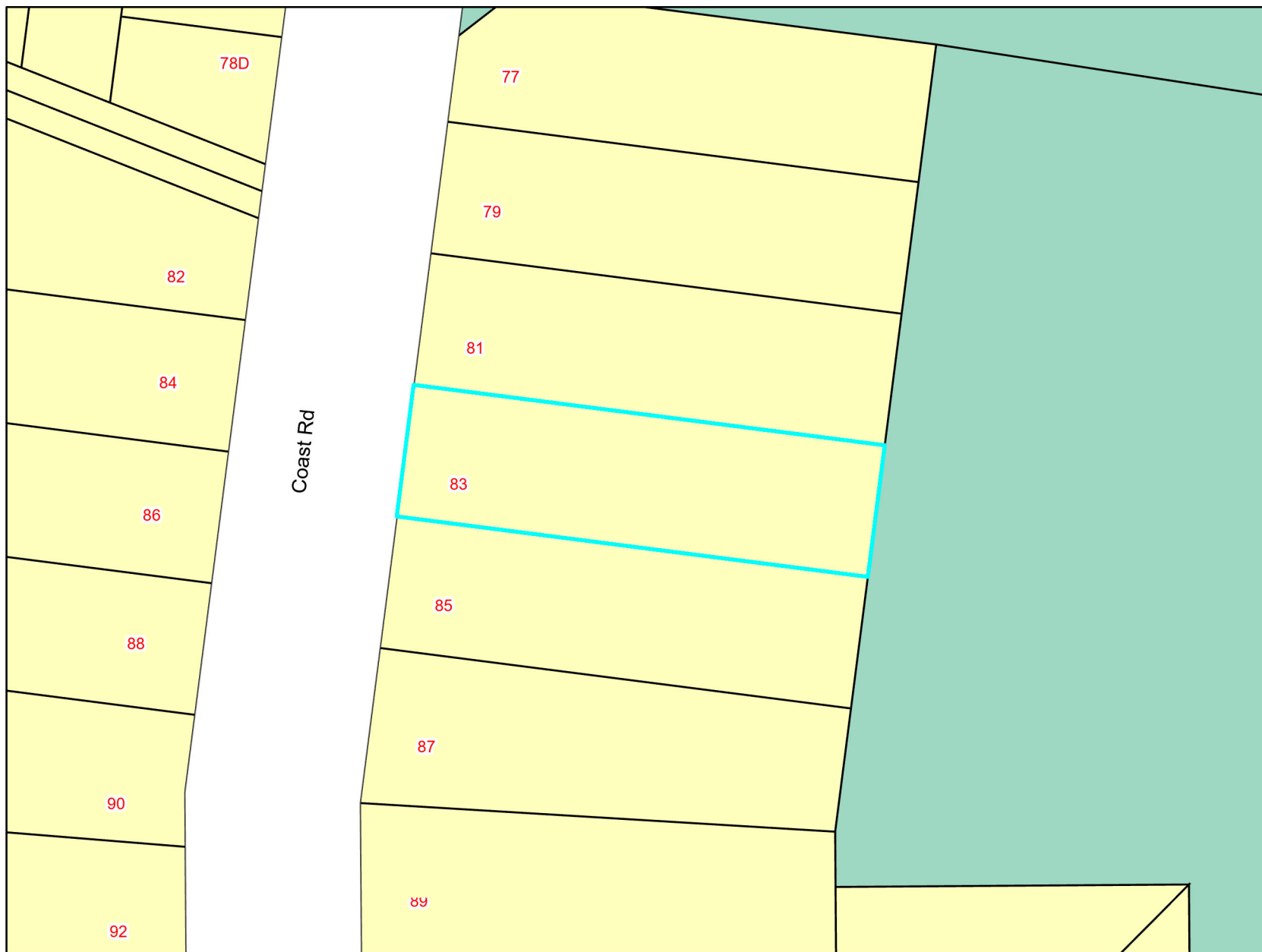
RESOURCE CONSENTS AND DISPENSATIONS






For dispensations council issued under the Town and Country Planning Act 1953, see the planning file references in the archives section.

MONITORING AND ENFORCEMENT

A resource consent relates to a property, not its owner at the time the resource consent was granted. If a building or parcel of land is sold without having satisfied the conditions of a resource consent, it becomes the responsibility of the subsequent owner to arrange council inspections and ensure compliance with resource consent conditions. Work for which the council grants a resource consent must be largely complete within five years. For the first year, the council actively monitors a project. For the next four, it makes periodic checks. See the contact list below to make inquiries about a property with an outstanding resource consent.

Contacts	Position	Phone
District Plan and resource consents	Duty Planner	04 570 6666
District Plan changes	Policy Planner	04 570 6666
Monitoring and enforcement	Monitoring and Enforcement Officer	04 560 1044



-  LIM Property
-  Properties
-  Road
-  Medium Density Residential
-  Rural Residential

DISTRICT PLAN

Scale: 1:662



ENVIRONMENTAL HEALTH

HEALTH ACT 1956 NOTICES

Council has issued no notices on the property under the provisions of the Health Act 1956.

NOISE CONTROL

Council has no record of having issued an abatement notice on the owner or occupant of the property for unreasonable noise under the provisions of section 322(1)(c) of the Resource Management Act 1991.

LIQUOR LICENSING AND HEALTH REGISTRATIONS

Neither the Lower Hutt District Licensing Agency, or Alcohol, Regulatory and Licensing Authority has issued an alcohol licence for these premises.

Contacts	Position	Phone
Environmental health matters	Environmental Health Officer	04 570 6666
Trade waste matters	Trade Waste Officer	04 570 6666

ROAD AND TRAFFIC

ENCROACHMENTS

Council records show there is no road reserve encroachment licence relating to the property.

PLANNED LONG TERM ROAD WORKS

The council's long-term community plan does not list any road projects in the immediate area of the property.

Council's Long-Term Plan includes the potential construction of a new East – West connection across the Hutt Valley. There is a comprehensive investigation, design, consultation and consenting process to be navigated before the alignment is determined. It is only after this work that council can identify the areas and roading networks potentially impacted.

ROAD RESERVE GARDENS

1. Authorised Road Reserve Gardens

Where a property owner has obtained formal approval from Hutt City Council to install and maintain a garden within the road reserve (the land between the private property boundary and the formed edge of the roadway), the ongoing responsibility for maintaining the garden rests with the current property owner. This responsibility continues with any subsequent property owner(s) in the event of a change of ownership.

Approval is granted on the condition that the garden is maintained to a standard that is safe, tidy, and does not obstruct pedestrian or vehicle access, visibility, or infrastructure.

2. Unauthorised Road Reserve Gardens - where officer consider the unauthorised gardens may remain

Where a property owner has planted a garden within the road reserve without prior approval from Hutt City Council, the responsibility for ongoing maintenance remains with the property owner. This responsibility also passes to new owners if the property is sold.

Should future owners not wish to assume maintenance responsibilities, they are required to reinstate the road reserve area to grass or an approved standard at their own cost.

3. Clarification of Responsibility

Property owners are encouraged to contact the Transport Maintenance and Renewals Team at Hutt City Council to confirm whether the area in question is the responsibility of the council or the adjoining landowner, and to discuss approval requirements or reinstatement processes if applicable.

For enquiries, please contact: contact@huttcity.govt.nz

4. Restoration of Road Reserve Gardens Following Underground Service Works

When underground services are installed or maintained, any road reserve areas of private or public gardens that are impacted by the works will be reinstated to grass only. This includes the removal or disturbance of existing garden beds, plants, mulch, decorative features, or other landscaping elements, which will not be restored to their original condition. Instead, affected areas will be reseeded or covered with turf to establish a uniform grass surface.

ISOLATION STRIPS

Council records do not show any isolation strips barring access to a legal road.

VEHICLE CROSSINGS

Council records show that there is no formal vehicle crossing to the property.

The driveway that goes to the property(s) and runs through road reserve land is the responsibility of the property owner(s) to maintain. Councils' responsibility ends at the road edge.

Contacts	Position	Phone
Road and traffic	Road and Traffic Asset Management Officer	04 570 6666

ARCHIVES

SEARCH METHODOLOGY

Council carries out searches of property-related files using the current street address, current and previous legal description (DP number) and any other search terms it can identify, such as owner or business names. Searches may exclude older files which have a greater likelihood of not recording the street addresses or legal descriptions.

In compiling your LIM document, the archives files may have been condensed to minimise the size of the document. If you want to view the complete, high resolution scan of the archive file it is available through our [website](#).

If you want to obtain a complete copy of an archive file, please contact the Information Management Team at the email address below.

ARCHIVE FILE REFERENCES

The Information Management Team has identified through their search of council archives that the following files may contain information about the property: ARCH 32076, ARCH 320956 Subdivision.

Contacts	Email
Archive information	archives@huttcity.govt.nz

ARCH32076

FILE

S

461

Related File S.824

~~WOOD STREET~~
COAST ROAD

FILE

S

461

Owner

Eastern Downes Coy.

Town of

Wainui-O-Mata

Extension No.

14. $\frac{1}{2}$ 16

D. 1021 $\frac{1}{2}$ 1028.

67

4th August, 1955.

Mr. H.S. Fanning,
Managing Director,
Eastern Downs Farm Ltd.,
Room 4, Stamford House,
Cnr. Andrews Avenue and Dudley Street,
LOWER HUTT.

Dear Sir,

EASTERN DOWNS FARM SCHEME OF SUBDIVISION.

In view of the early commencement of the Main Sewerage Scheme for Wainui-O-Mata it is necessary to consider and define the details of the subdivisional sewers etc. which the Eastern Downs Company will be required to instal.

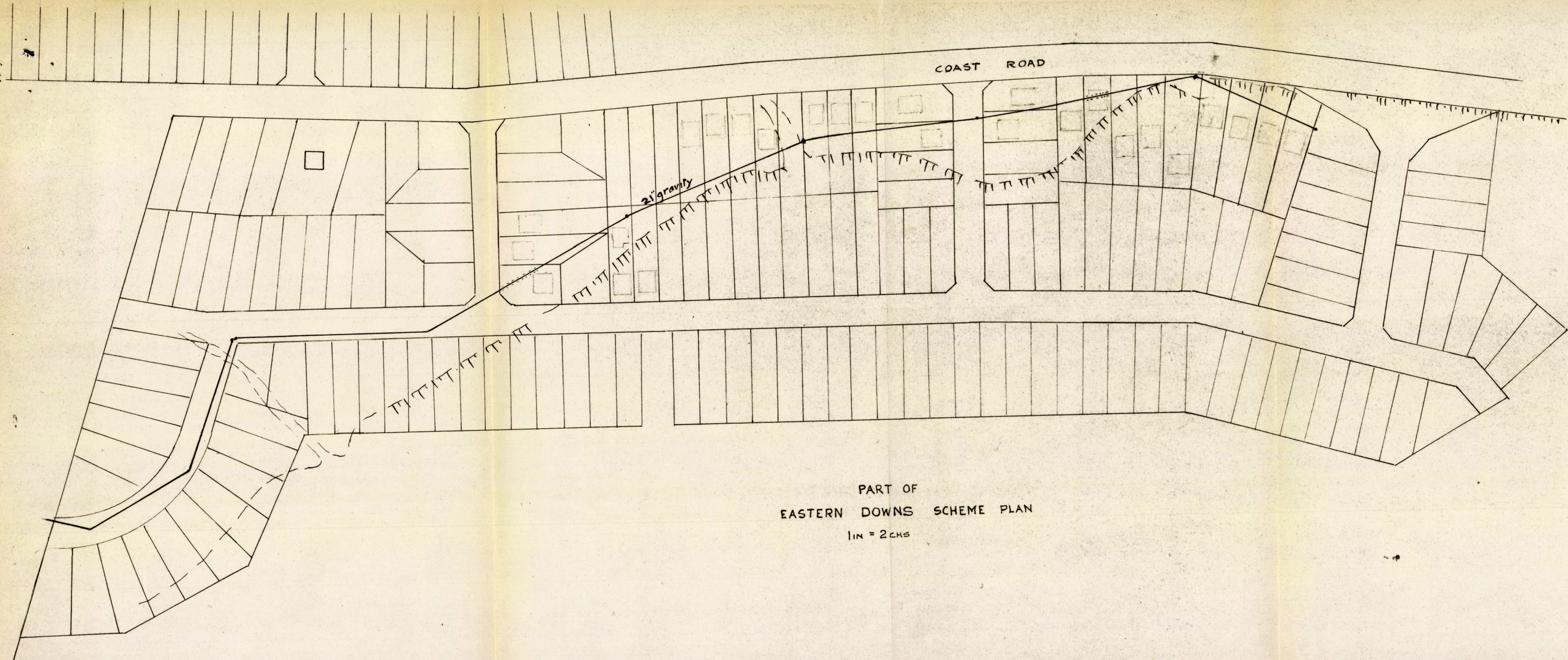
The County does not wish to specify this work in detail until the Company has had the opportunity of examining the position in relation to the general layout of the sewerage scheme.

A copy of the provisional layout of the Trunk Sewer through the proposed subdivision is enclosed. The Company would be required to instal the 6" branch sewers feeding into the available manholes together with the Y junction for each section, and also to provide means for lifting the sewage from the low-lying sections.

As this work is capable of some variation it would be advisable for your representative to discuss the details with the County Engineer so that the work can be carried out before, or when, constructing the roads.

Yours faithfully,

County Clerk.



PART OF
EASTERN DOWNS SCHEME PLAN
1 in = 2 chs

DIBBLE & CUTTRISS

REGISTERED SURVEYORS

SAMUEL TREVOR DIBBLE, M.N.Z.I.S.
EDWARD ALFRED CUTTRISS, M.N.Z.I.S.

Telephone:

Ring 57-800, ask for 1112

A49 Upper Hutt

NIMMO'S BUILDING,

HIGH STREET,

LOWER HUTT,

5th December

194

6

P.O. Box 133, Lower Hutt City

Office:852M

(Lr. Hutt Auto. Subs. .. Dial 398 and ask for 852M)

The County Clerk,
Hutt County Council,
Bowen House,
Lambton Quay,
Wellington.

- 6 DEC 1946

34

Proposed Subdivision - Wainui-o-mata - Eastern Downs Farm Ltd.

Dear Sir,

Herewith on behalf of my clients, Messrs Eastern Downs Farm, Ltd. the recent purchasers of Mr. R.H.Nimmo's property at Wainui-o-mata Valley, I beg to submit a proposed subdivision of Parts Sections 3&4 Wainui-o-mata District, Block XVI Belmont S.D., comprised in CT 352 / 188.

This scheme complies with your requirements in all respects and the roads are located on flat country. It is designed to fit in with the scheme plan submitted on behalf of Mr R.H.Nimmo and will also suit the intervening property owned by Mr. Faulk.

An opening has been left at the only available point on the eastern side of Wainui Road for access to future development.

The question of reserves may be postponed for the present and considered comprehensively with the Lands and Survey Department when the balance of the 1100 acres are being dealt with including the Riverside Reserve as required.

A plantation reserve already planted and fenced is shown as a reserve on the present scheme.

The existing buildings on sections 28 to 30 are to be removed.

Spot levels in terms of the Wellington City Council datum and the levels used by Messrs Vickerman and Lancaster in the locality are shown on the plan.

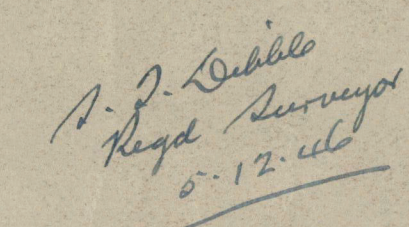
Water and drainage may be dealt with at a later stage.

Yours faithfully,

A. J. Dibble

Registered Surveyor.

34





Plan of Eastern Downs Farms Ltd Holding

Scale - 20 Chains to an inch

Schedule of Areas

Residential	42	3	13
Recn. Reserve	8	2	00
River Bank Reserve	5	1	19
New Roads	6	2	20
Road Reserve	0	0	16
Commercial	0	2	19
Total Area	64	0	07

Town of Wainuiomata Extⁿ 1/4 Proposed Subdivision of Part of Sections 3, 4 & 5 Wainui-o-Mata Dist.

Block XVI Belmont S.D.
WELLINGTON LAND DIST^{CT} HUTT COUNTY

Robinson & Dibble, Registered Surveyors, Oct. 1947
Scale - 2 Chains to an inch

Comprised in C.T.'s 352/188, 352/189, 531/122

I, Samuel Trevor Dibble of Lower Hutt, Registered Surveyor,
hereby certify that this scheme plan has been prepared by me
in accordance with the provisions of the Land Subdivision in
Countries Act, 1946

S. T. Dibble

Registered Surveyor

REFERENCE	
Date of receipt of plan	7-11-47 D.O. File No. 14/72
Date copy submitted to Local Authority for comments under Section 3(4) of the Act	13-11-47
Date of receipt of comments of Local Authority	24-11-47
Date of submission of copy of approved plan to:	
Surveyor-General	Local Authority
District Land Registrar	

Recorded: Belmont S.D. 12. 11. 47

197
Road Reserve

Pt 5

Subject to building line condition 33ft from middle lines
of Konini Cr., Waitangi Ave, Ngairi St, Karamu St & Orangapai St.
& proposed future road adjoining Lots 22, 23. See R.27/160
& Road Res^{ve} (Lot 197).

Approved



Recommended for Approval

Chief Surveyor
10.12.1947

Recommended for Approval

Surveyor General
19.12.1947

Approved

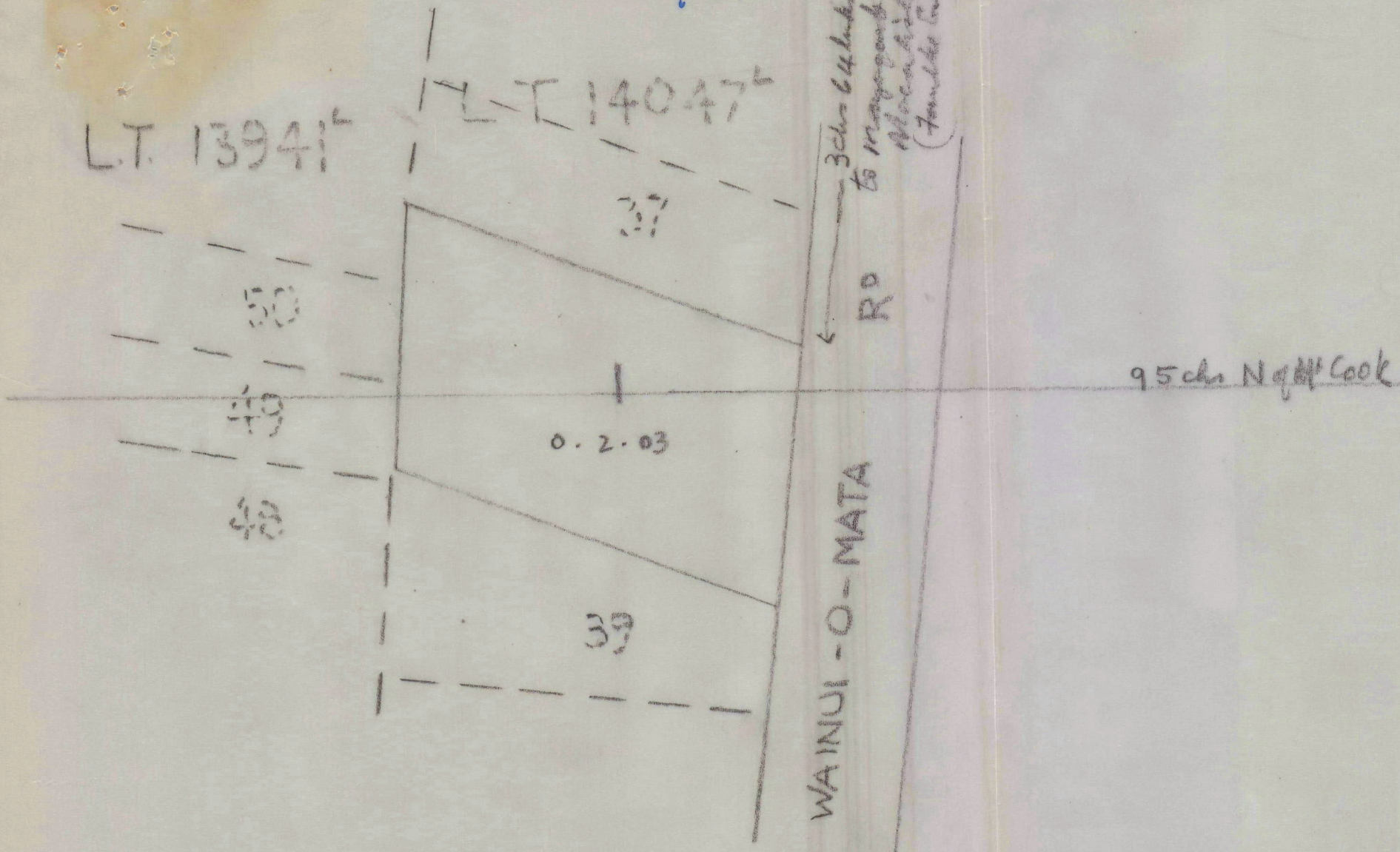
Minister of Lands
23.12.47

D.1021

DP 13941

LT. 13941

LT. 14047



W.O.M. Extⁿ 33

1 in = 1 ch

being Pt Sec 4 W.O.M.

Compiled by M Gander

Aug. 1949

= D.P. 14596 14 Sep 1950

90 chs N

{ 27/9/50 222 1/2 acres
 DP 13941 is the plan 4 chs 64 chs lent to us by Mr Janning + covers from 1880s
 to 50 chs south of Duck pond, + has detail of survey pegs near river.
 DP 14047 covers area from Treatment works up to Margaret Macaulay
 + then over on East side of Wainui Rd.
 See D.1021

ARCH320956

Related Files S965
 S 1464
 S1465 Pks I & II
 S 4101

Eastern Downs (1960) LTD.
~~Terraviva~~ Construction Ltd

824

~~Eastern Downs Salvage Ltd~~

Winnipeg - O. Mader

116.

111

134

144

147

DP 24304

Refer 965
 also
 Fault & Whisker

TRUEBRIDGE, CALLENDER, BEACH & CO.

REGISTERED SURVEYORS
CONSULTING ENGINEERS

TELEPHONE 43-745

BRANDON HOUSE,
FEATHERSTON STREET,
WELLINGTON C.I.

PRINCIPALS

C. H. BEACH A.M.I.C.E. A.M.N.Z.I.E.
A.M.I.S.T.E. M.I.S.N.Z.
REGD. ENGINEER & REGD. SURVEYOR
P. G. CALLENDER M.I.S.N.Z.
K. F. THORN M.I.S.N.Z.
REGD. SURVEYORS

3rd.Oct.1960

ASSOCIATES

K. E. WYNNE M.I.S.N.Z.
H. W. HUNTER M.I.S.N.Z.
REGD. SURVEYORS

The Chief Surveyor,
Lands & Survey Dept.,
WELLINGTON.

EX. 144 D 2814

Dear Sir,

Town of Wainuiomata Extn.111.Your file 14/79/111

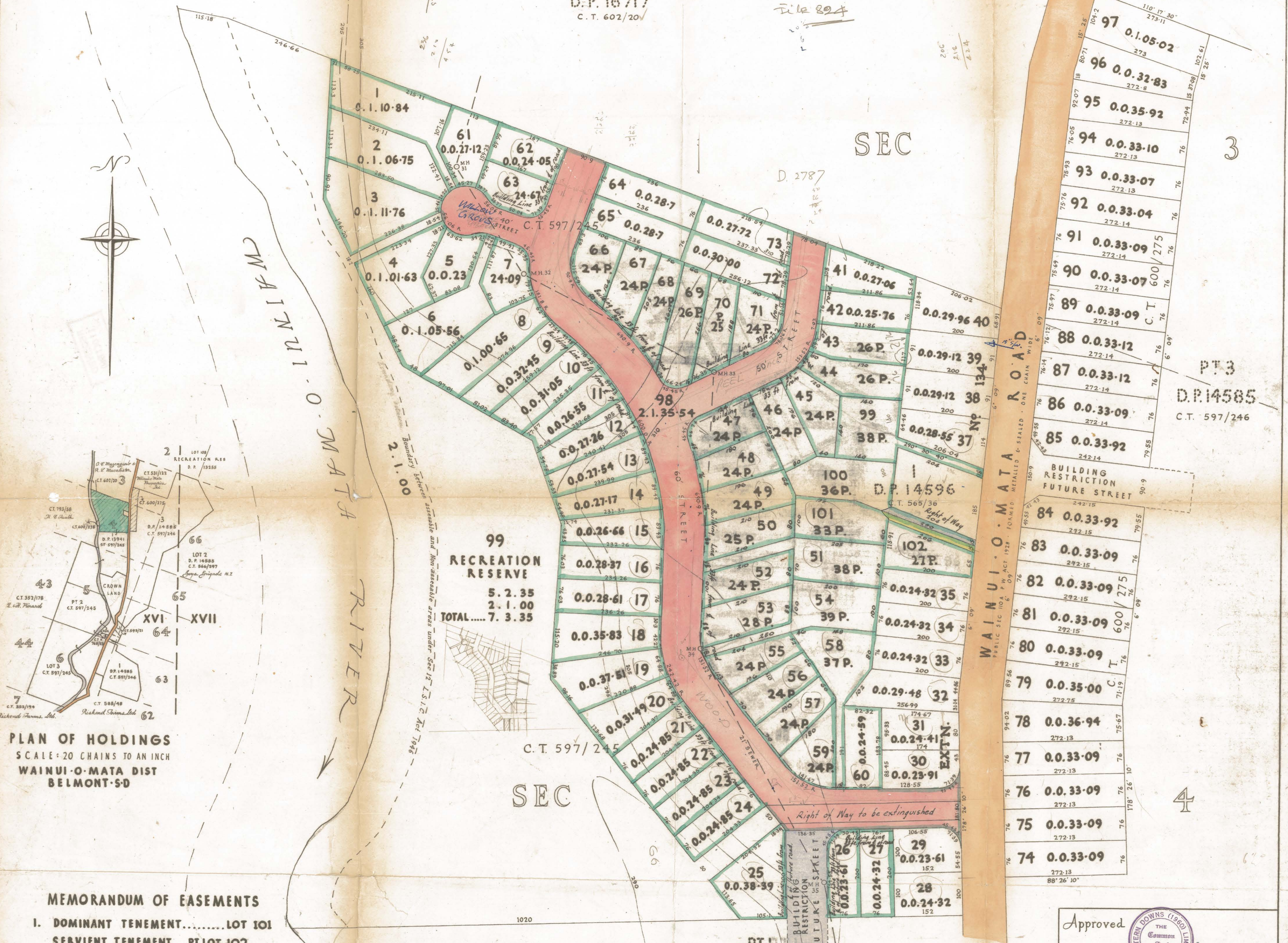
We submit herewith for approval the scheme of subdivision for the balance of land shown on Wainuiomata Extn.111 excluding Extn.134.

The roading layout is the same as the original scheme but amendments have been made to section layout. Lots 66 to 71 have been recast to allow building sites clear of the sewer main. Agreement has been reached with the adjoining owner of lot 1 D.P.14596 and as portion of this land has been included in the scheme the lots backing onto Extn.134 have been sited differently.

The owners of this land have registered the company as Eastern Downs (1960) ltd.and are no longer Terracrete Constructions Ltd.,

Yours faithfully,
Truebridge, Callender, Beach & Co.,

K. F. Thorn
.....
(K.Thorn)



FORM NO: 3.

14/

I, _____ County Engineer, (or County Clerk)
on behalf of the _____ County Council, hereby
submit the following comments in regard to the proposed subdivision
of _____ shown on Scheme Plan
No. _____ lodged in the office of the Chief Surveyor at Wellington.

County Engineer or County Clerk

Date: _____

Section 3 Sub-Section (4), Land Subdivision in Counties Act, 1946.

- (a) CERTIFICATE REQUIRED WHERE DISTRICT SCHEME UNDER THE TOWN AND COUNTRY PLANNING ACT, 1953, IS OPERATIVE.

Chief Surveyor,
WELLINGTON.

Re Town of _____ Extn. No. _____

I, _____ County Engineer (or County Clerk), on behalf of the _____ County Council, Hereby certify that the proposed subdivision referred to above and shown on scheme plan No. _____, lodged in the office of the Chief Surveyor, (1) _____ inconsistent with the operative district scheme under the Town and Country Planning Act 1953 affecting the locality where the land in the scheme plan is situated.

/ / _____
County Engineer
(or County Clerk)
(1) Insert "is" or "is not", as the case may be

- (b) CERTIFICATE REQUIRED WHERE NO DISTRICT SCHEME UNDER THE TOWN AND COUNTRY PLANNING ACT, 1953, IS OPERATIVE.

Chief Surveyor,
WELLINGTON.

Re Town of _____ Extn. No. _____

I, _____ County Engineer (or County Clerk), on behalf of the _____ County Council, hereby certify that the proposed subdivision referred to above and shown on scheme plan No. _____, lodged in the office of the Chief Surveyor, is not subject to the provisions of an operative district scheme under the Town and Country Planning Act 1953.

/ / _____
County Engineer
(or County Clerk)

- (c) CERTIFICATE REQUIRED TO INDICATE WHETHER OR NOT SUBDIVISION HAS BEEN PROHIBITED UNDER SECTION 38 OF THE TOWN AND COUNTRY PLANNING ACT 1953.

Chief Surveyor,
WELLINGTON.

Re Town of _____ Extn. No. _____

I, _____ County Engineer (or County Clerk), on behalf of the _____ County Council, hereby certify that the proposed subdivision referred to above and shown on scheme plan No. _____ (2) _____ been prohibited under Section 38 of the Town and Country Planning Act 1953, *and that that prohibition is for the time being effective under the provisions of that section.

/ / _____
County Engineer
(or County Clerk)

- (2) Insert "has" or "has not", as the case may be.
* Cross out following words when they do not apply.

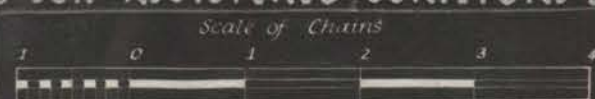


PLAN OF HOLDINGS
SCALE: 20 CHAINS TO AN INCH
WAINUI-O-MATA DIST
BELMONT-S.D.

RESIDENTIAL LOTS 28-40.74-97.....	7.1.00-45
RECREATION RES. LOT 99.....	7.3.35
EASEMENT (PT LOT 98).....	0.0.26-90
TOTAL	15.1.22-35

DOMINANT TENEMENT.....LOT 99
SERVIENT TENEMENT.....PT LOT 98

SCALE -



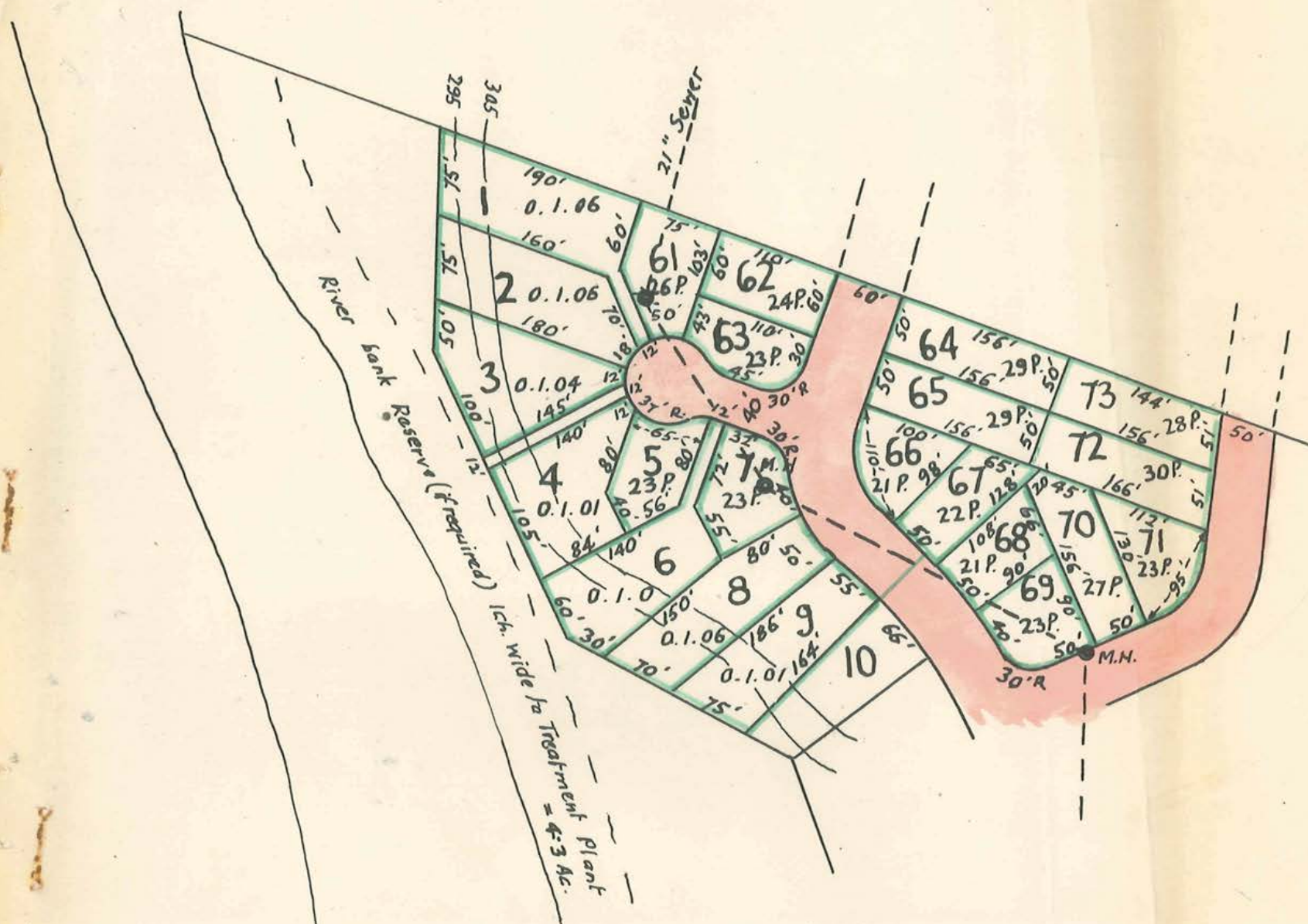
Maximilian Gandar Regd. _____ has been prepared by me in accordance with the provisions of the Land Subdivision in Counties Act 1946 and regulations made thereunder

PTI
D.P. 13941
C T 597/245

Approved the Common Seal
of Eastern Downs Farm Limited
was affixed in the presence of
S. D. Dwyer District
Secty 27th June 1960

Recommended for approval

D. 2646



— Amendment of lots 1 to 9 and 61 to 73 inclusive. —

— Scale 132' to an inch. —

W. Gandar
Regd. Surveyor
3/12/58



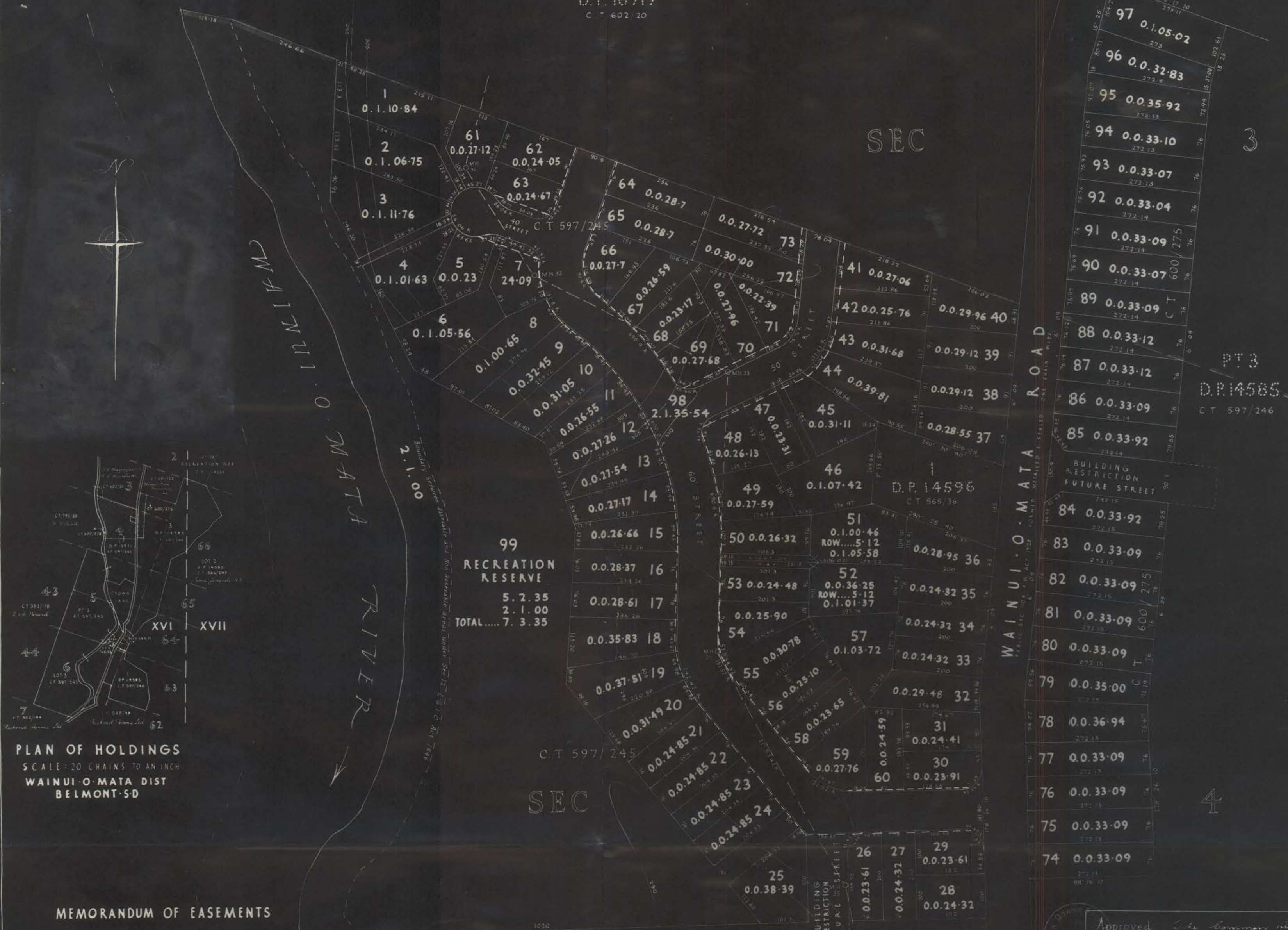
Plan of Town of Wainui-o-mata Extn No. III
 Being subn of pt Secs 3 & 4 Wainui-o-mata Dist,
 Blk. XVI Belmont S.D.,
 Wellington Land Dist; Hutt County,
 Comprised in Cst. 600/275 Ltd. (Pt) & 597/245 (Pt).
 Scale, 2 Chs. to an inch; Max. Gandar & Son, Registered Surveyors, Nov. 1958.

I, Maximilian Gandar, Registered Surveyor, hereby certify that this scheme plan has been prepared
 by me in accordance with the provisions of the Land Subdivision in Counties Act 1946, and the regulations made thereunder.

Max. Gandar
 Registered Surveyor, 11/11/58

Approved	
Recommended for approval	
Chief Surveyor.	
Recommended for approval	
Surveyor General.	
Approved conditionally	
Minister of Lands.	

D.2448



PLAN OF HOLDINGS
SCALE: 20 CHAINS TO AN INCH
WAINUI-O-MATA DIST
BELMONT-5D

MEMORANDUM OF EASEMENTS

1. DOMINANT TENEMENT.....LOT 51
SERVIENT TENEMENT.....PT LOT 52(5-12P)
2. DOMINANT TENEMENT.....LOT 52
SERVIENT TENEMENT PT LOT 51(5-12P)

SCHEDULE OF AREAS

RESIDENTIAL LOTS 1-97.....	18.2.36.51
NEW STREETS LOT 98.....	2.1.35.54
RECREATION RES. LOT 99.....	7.3.35
TOTAL	29.0.27.05

TOWN OF WAINUI-O-MATA EXTN NO III
BEING SUBDN OF PT SECS 3 & 4 WAINUI-O-MATA DIST
BLOCK XVI BELMONT SURVEY DIST
WELLINGTON LAND DISTRICT HUTT COUNTY
COMPRISED IN C.T. 600/275 L.P. PT. & 597/245 L.P. PT.
MAX GANDAR & SON REGISTERED SURVEYORS JULY 59

SCALE

1 inch = 20 chains
This plan was prepared in accordance with the provisions of the Land Subdivision Act 1948 and regulations made thereunder.

Max. Gandar
Registered Surveyor 26/7/59

Approved the Common Seal
of Eastern Downs Farm
affixed in the presence of
Director
Secretary 24 January 1960

Recommended for Approval

Chief Surveyor

Recommended for Approval

Surveyor General

Approved

Minister of Lands

D. 2448

COMMUNITY SERVICES

LOCAL ELECTORAL AREA

The property is in the Wainuiomata Ward.

RUBBISH AND RECYCLING

Friday is the rubbish collection day for the property.

Every residential property in Lower Hutt has been provided with a red rubbish bin, a yellow recycling bin and blue glass crate. Households can also opt into receiving a green garden waste bin. Please visit our website for more information. If you have any enquiries, please call 04 570 6666 or email binchanges@huttcity.govt.nz.

Find out more about our bins, and what goes into them, on our website [Too Good to Waste](#). Hutt City Council and councils in the Greater Wellington Region have partnered on a campaign to help support communities to reduce their waste. Please visit our joint council website and learn how to think differently about waste – from purchase, to storage and transport, to reuse and repurpose so that we can work towards living lives that are waste free.

POLICE

Phone 111 for emergencies or 105 for non-emergencies.

Lower Hutt Police (phone 04 560 2600) can connect callers to their local community constable, where available. For more information on local police, please click [here](#).

EXPLORE LOWER HUTT

This property is in the Hutt Valley, with forested mountains, river valleys, rugged coastline and natural surrounds resulting in plenty of options to explore. Wander to the highest waterfall, go midnight kiwi listening and connect with history. Here are the roots of New Zealand's first European settlement where they were welcomed by Te Āti Awa, the place you now call home. For more ideas on how to spend your weekends by attending events or uncovering your big backyard, head to <https://www.wellingtonnz.com/visit/hutt-valley>.

REPORT A PROBLEM

If you've spotted any issues or problems with any of council's services, tell us about it using our Report a Problem [portal](#).

COMMUNITY SUPPORT

Council supports communities by providing advice, training and resources, and places for community groups to gather. We also work with others to make our communities safe. Find out how [here](#).

Contact Us

Phone	04 570 6666 or 0800 HUTT CITY
Calling from overseas	<u>0064 570 6666</u>
E-mail the LIM team	<u>Lim.reports@huttcity.govt.nz</u>
Feedback survey for the LIM team	<u>www.surveymonkey.com/r/LIMSURV</u>
E-mail Council	<u>contact@huttcity.govt.nz</u>
Website	<u>www.huttcity.govt.nz</u>
Report a Problem	<u>https://maps.huttcity.govt.nz/RAP/viewer/</u>
Physical address	Hutt City Council 30 Laings Road Lower Hutt 5010
Office hours	Weekdays 8am to 5pm Not open public holidays
Postal address	Hutt City Council Private Bag 31 912 Lower Hutt 5040
Facebook	<u>www.facebook.com/huttcitycouncil</u>
Twitter	<u>www.twitter.com/huttcitycouncil</u>