

LAND INFORMATION MEMORANDUM REPORT

LIM NUMBER: L250406

14 RONALD SCOTT GROVE, UPPER HUTT

VALUATION NUMBER:	1601421708
LEGAL DESCRIPTION:	LOT 20 DP 340295
LIM APPLICANT:	Kamahl Hamish Connor
LIM ISSUE DATE:	04/09/2025

NOTES TO THE APPLICANT:

1. This Land Information Memorandum has been prepared for the purposes of section 44A of the Local Government and Official Information and Meetings Act 1987 and includes all of the information required to be provided pursuant to section 44A(2) that is known to the Upper Hutt City Council relevant to the land described.
2. It contains all the information described in section 44A(2) that is held by Upper Hutt City Council in relation to the land, as at the date above. It is based on a search of the Council's records only and there may be other information relating to the land which is not held by the Council. The records may not show illegal or unauthorised structures or other work on the land.
3. Every care has been taken to ensure that the information supplied by the Council on this form is accurate. The Council relies on the information available to it and will not be held responsible for incomplete or inaccurate information provided, or for any errors or omissions made in good faith.
4. Property boundaries shown on attached copies of computer generated plans or aerials are based on the Digital Cadastral Data Base and photogrammetric methods. The accuracy of the two methods of data capture is different and the relationship of buildings to boundaries cannot be relied on. Council does not hold official property boundary information. Relevant records of title and boundary dimension information should be obtained from the Land Information New Zealand.

STATEMENT OF PASSING OVER INFORMATION

This information has been supplied by the vendor or the vendor's agents. Professionals, Redcoats Limited is merely passing over this information as supplied or researched by us. We cannot guarantee its accuracy and reliability as we have not checked, audited, or reviewed the information and all intending purchasers are advised to conduct their own due diligence investigation into this information. To the maximum extent permitted by law we do not accept any responsibility to any party for the accuracy or use of the information herein.

44A (2)(a) Information Identifying Special Features or Characteristics of the Land

The Upper Hutt Region is an earthquake Zone 3 as cited in NZS3604:2011 Timber-framed buildings and NZS1170.5:2004 Structural design actions – Part 5: Earthquake actions – New Zealand.

44A (2)(b) Information on Private and Public Stormwater and Sewerage drains

Stormwater and Sewage

From iMap (GIS) with reference to wastewater (sewer) drainage, a 160mm diameter public wastewater drain and associated access chamber (manhole - UHCC_WW004440) is laid through the rear yard of the property with a 150mm diameter branch wastewater drain from the manhole (UHCC_WW004441) in the ROW. The public drain/drains are owned and maintained by the Upper Hutt City Council. The council has a right under the Local Government Act 2002 (LGA) to enter No 14 Ronald Scott Grove for the purpose of inspecting, altering, renewing, repairing or cleaning the drains. Council also has a right to recover from the owners or occupiers of No 14 Ronald Scott Grove the cost of any repairs to the drains necessitated by any wilful or negligent act by the owners or occupiers, including damage caused by tree roots. The Council also has the right to enter to determine whether the drains are being misused.

The property wastewater drain discharges to the public wastewater drain (to manhole UHCC_WW004440) within the property.

The property wastewater drains for the neighbouring properties No's 10,18 & 20 Ronald Scott Grove discharge to the public wastewater drain (to manhole UHCC_WW004441) in the ROW.

All wastewater from Ronald Scott Grove (and above) discharges to a public wastewater pump station. To avoid blockages with the operation of the pumps we seek the co-operation of the properties connected to a pumped system to avoid flushing paper towels, wipes and other non-flushable material into the wastewater system that could clog the pumps. Although some material may be advertised as bio-degradable they are detrimental to the effective operation of the pumps.

Generally, in Riverstone the stormwater drains 300mm or larger is public drainage. However, the road sumps, sump leads and all drainage in the private ROW's are private.

The 300mm diameter stormwater drain and associated manhole (UHCC_SW002857) laid in the rear yard of the property through to the stormwater outlet in the rear neighbouring property (reserve) is public drain, owned and maintained by the Upper Hutt City Council. Council has the same rights over the public stormwater drain as with the public wastewater drain.

Stormwater drainage serving the property and that serving the ROW is private. Stormwater drainage that serves the neighbouring properties that discharge to the private stormwater within the property is private.

Plumbing and Drainage Permits

No other information located.

44A(2)(ba) Section 69ZH Health Act 1956

No information located.

44A(2)(bb) Drinking Water Supply

Public network supply – refer to the UHCC Water Supply Bylaw: <https://www.upperhuttcity.com/files/assets/public/community/water-supply-bylaw-2008-2022-04.pdf>

Onsite Water Supply

The point of supply for water is the water valve (gate valve) in the street. All water services in the right of way (ROW) are private.

44A(2) Any rates owing in relation to the land

Rates owing at the LIM application date: \$1,622.99

Note: the above figure is the amount of rates owing for the applicable quarter and does not account for full rates of a year (July 1st – June 30th).

For further information regarding rates, contact rates@uhcc.govt.nz

Warm Wellington Insulation Grant

Please contact Greater Wellington Regional Council to find out if a Warm Greater Wellington financial advance is associated with this property on 0800 496 734 or warm@gw.govt.nz

44A(2)(d); (da); (e) - consent, certificate, notice, order, or requisition the land or any Buildings on the Land

Alcohol Licenses

No information is held by Upper Hutt City Council.

Registered Environmental Health Premises

No information is held by Upper Hutt City Council.

Resource Consents

Note: if the land is part of a cross lease title or unit title, consents and permits for the other flats or units may be included in this LIM. If the land has been subdivided there may be consents and permits included that relate to the original property. It is recommended that the full property file is viewed and compared with the actual structure(s) and activities on the land to identify any illegal or unauthorised building works or activities.

- RESOURCE CONSENT 352/62/851: Earthworks at 14 Ronald Scott Grove – granted 4/10/2006
- RESOURCE CONSENT 352/62/199: Subdivision creating 119 residential lots of Lot 700 LT 326871 Riverstone Terraces – granted 19/04/2004.

If you require more information about a resource consents, contact resourceconsents@uhcc.govt.nz

Building Consents and Permits

- 14/12/2012 BUILDING CONSENT 110359A : New deck:
Code Compliance Certificate issued 19/03/2013
- 5/10/2011 BUILDING CONSENT 110359 : New 2 Storey Dwelling:
Code Compliance Certificate issued 19/03/2013

If you require more information about a building consent or permit, please contact the building team at buildingadmin@uhcc.govt.nz

Notes:

1. Code Compliance Certificate may only be issued for Building Consents. When a Building Consent is amended the amendment becomes part of the original Building Consent. The Code Compliance Certificate when issued also certifies the work described in the amendment and a separate Code Compliance Certificate for the amendment will not be issued.
2. Code Compliance Certificates were only issued from 1 July 1992 onwards.
3. Final inspections on buildings were not mandatory prior to 1 January 1993. Should an evaluation of the building be required an independent qualified person should be consulted. In the interests of safety, an inspection of any fireplace within the dwelling may be requested of Council at any time, after paying the appropriate fee.

Pools

No pool is registered to this site. If you do have a Spa Pool or Pool please contact the Council on pools@uhcc.govt.nz.

Spa pools and swimming pools need to comply with F9 Code Clause, Means of restricting access to residential pools.

44A(2)(ea) Information notified to Council under Section 124 Weathertight Homes Resolution Services Act 2006

No information is held by Upper Hutt City Council.

44A(2)(f); (g); (h) - Classification of Land and Buildings

Earthquake prone buildings (Section 124 Building Act 2004)

No information is held by Upper Hutt City Council.

Conditions of Notice to Rectify

No information is held by Upper Hutt City Council.

Conditions of Dangerous and Insanitary Buildings

No information is held by Upper Hutt City Council.

Zoning

District Plan Zone: General Residential Zone.

Full details of the zone requirements can be found in the Upper Hutt City Council Operative District Plan 2004 (<https://www.upperhuttcity.com/Your-Council/Plans-policies-bylaws-and-reports/District-Plan>)

District Plan Overlays or Features:

Hazards:

A map showing known hazards in the area (if any) is attached to this report.

- No specific hazards identified for the subject site.

Other Features or Overlays

- No other features or overlays identified for the subject site.

Full details of overlays and features can be found in the Upper Hutt City Council Operative District Plan 2004 (<https://www.upperhuttcity.com/Your-Council/Plans-policies-bylaws-and-reports/District-Plan>)

District Wide Proposed Plan Changes:

PC50 - Rural

Council has recently notified a plan change (Plan Change 50) relating to the rural zone. Further submissions on this plan change have now closed and Council are currently reviewing feedback. Further information can be found at: <https://www.upperhuttcity.com/Your-Council/Plans-policies-bylaws-and-reports/District-Plan/PC50> or by contacting the Planning Policy team at: UHCC.Planning@uhcc.govt.nz

PC54 - Commercial/Industrial

Commercial and Industrial zones are currently being reviewed as part of Plan Change 54 (Commercial and Industrial Captors Review). Further information can be found at: <https://www.upperhuttcity.com/Your-Council/Plans-policies-bylaws-and-reports/District-Plan/PC54> or by contacting the Planning Policy team at: UHCC.Planning@uhcc.govt.nz

44A(2)(h) - Network Utility Operators

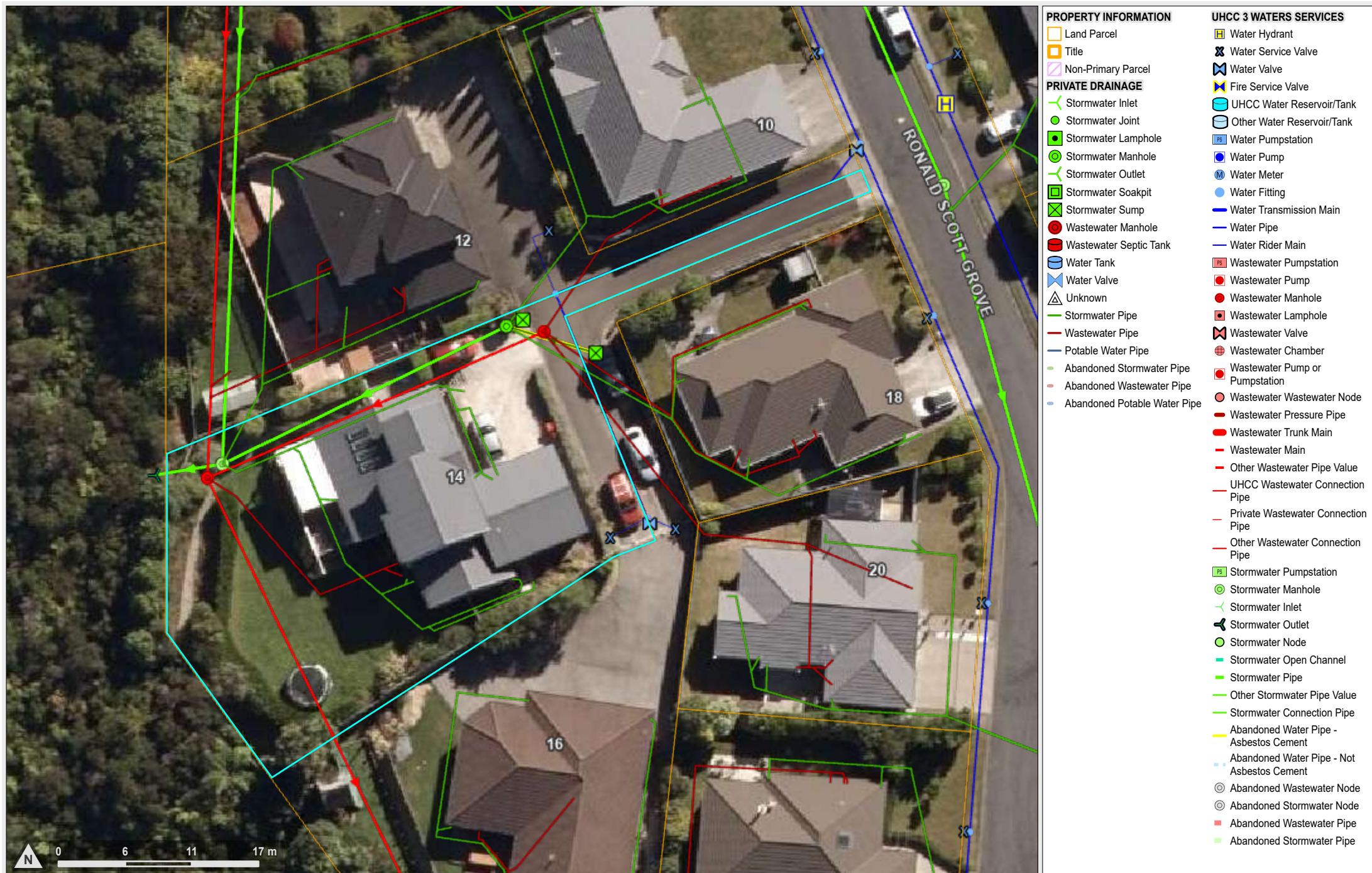
Information related to the availability of supply, authorisations etc (eg, electricity or gas) can be obtained from the relevant network utility operator.

Other Information – 44A(3)

No title search has been done on this property. Upper Hutt City Council may hold information that is additional to the information provided in this LIM. This can be obtained by making an official information request under the Local Government Official Information and Meetings Act 1987.

Plumbing and Drainage

L250406 - SERVICES

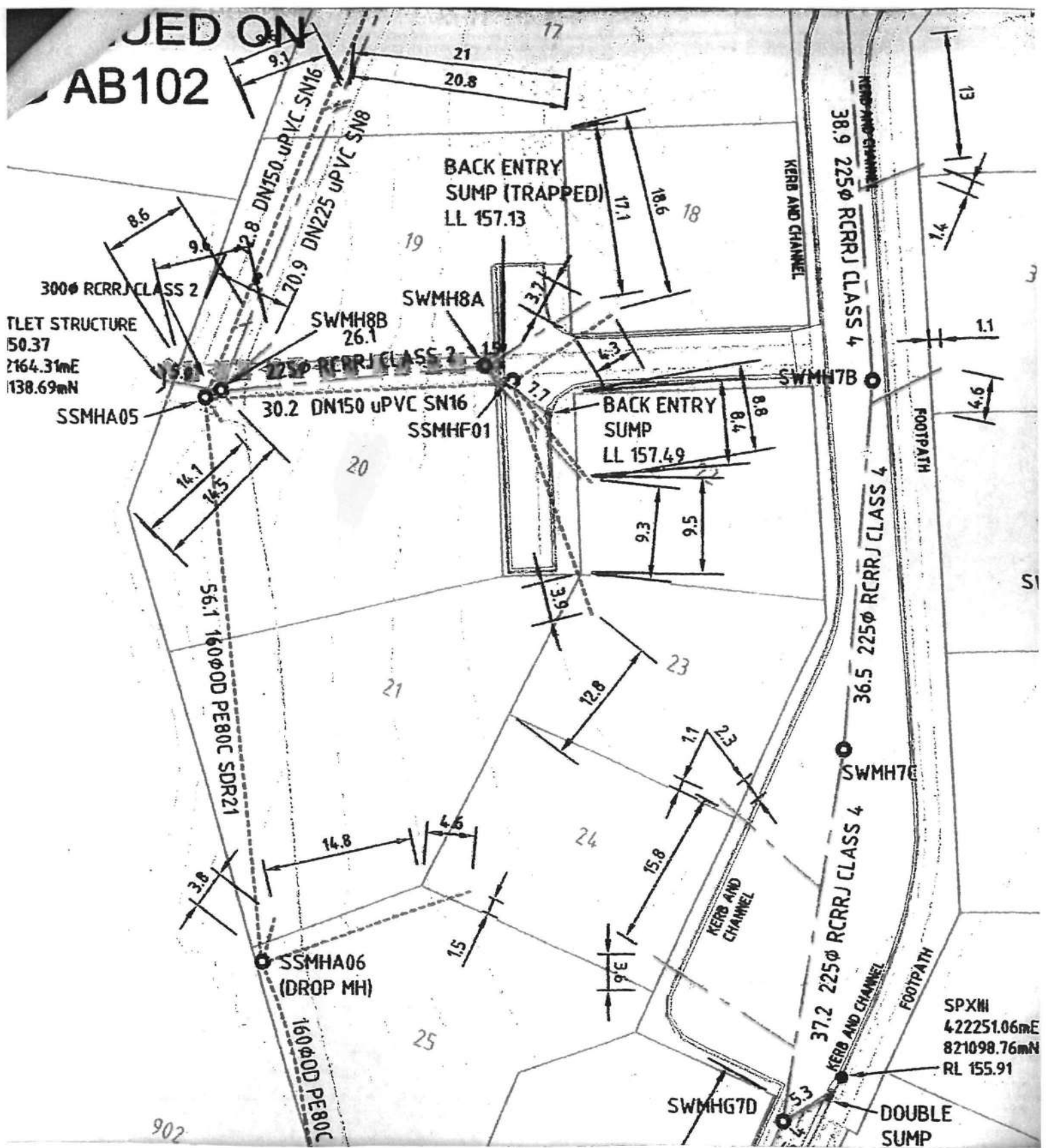


This map is provided in good faith for indicative purposes only and by using it you acknowledge that UHCC is not liable to you for any costs, losses or damages you suffer as a result of relying on this map. UHCC assumes no responsibility for the completeness or accuracy of the data displayed. Property boundaries may not be survey-accurate and can only be verified by a licensed cadastral surveyor. Cadastral information is derived from Land Information New Zealand. Crown Copyright Reserved.

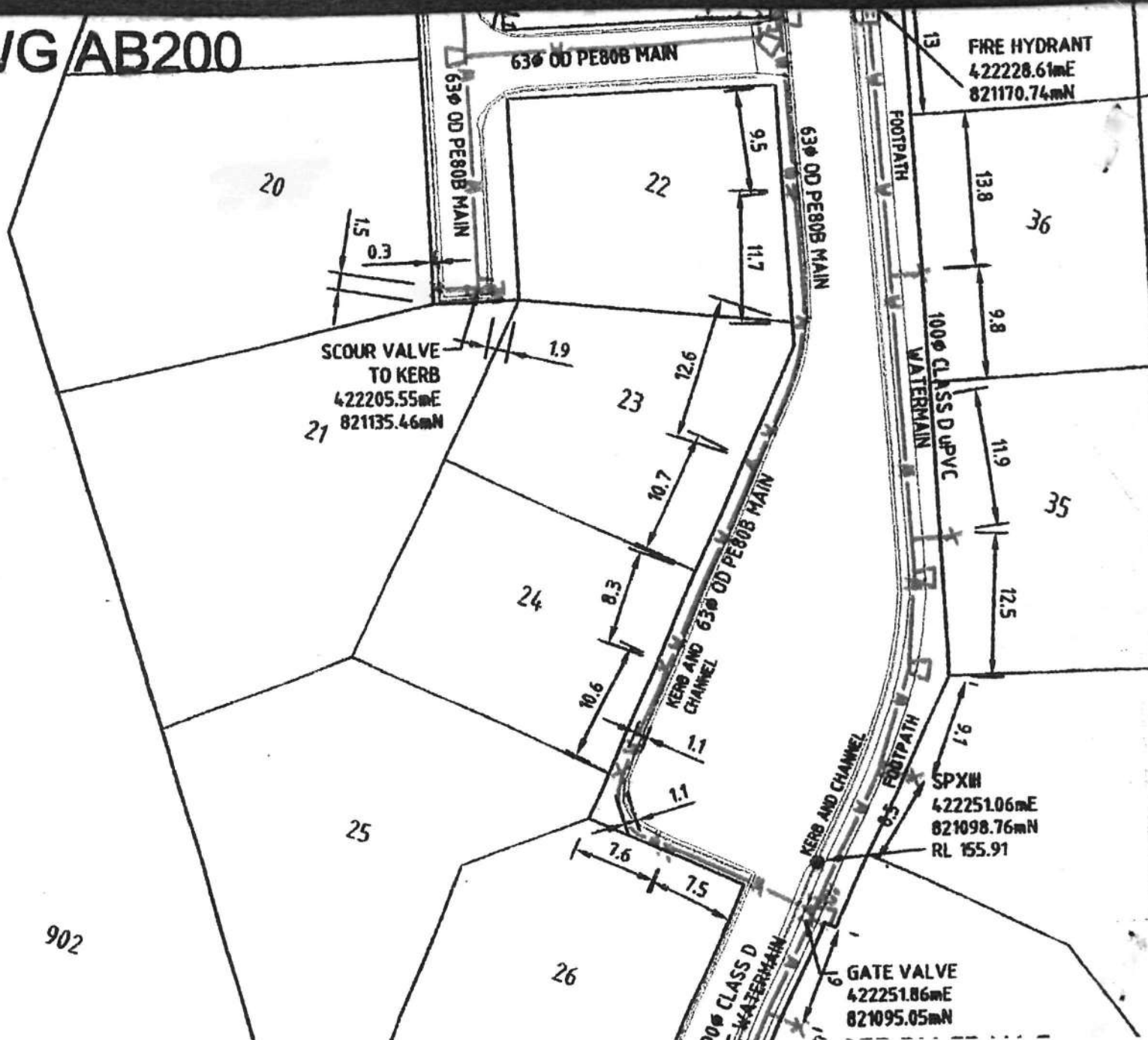
Map printed 18 August 2025.

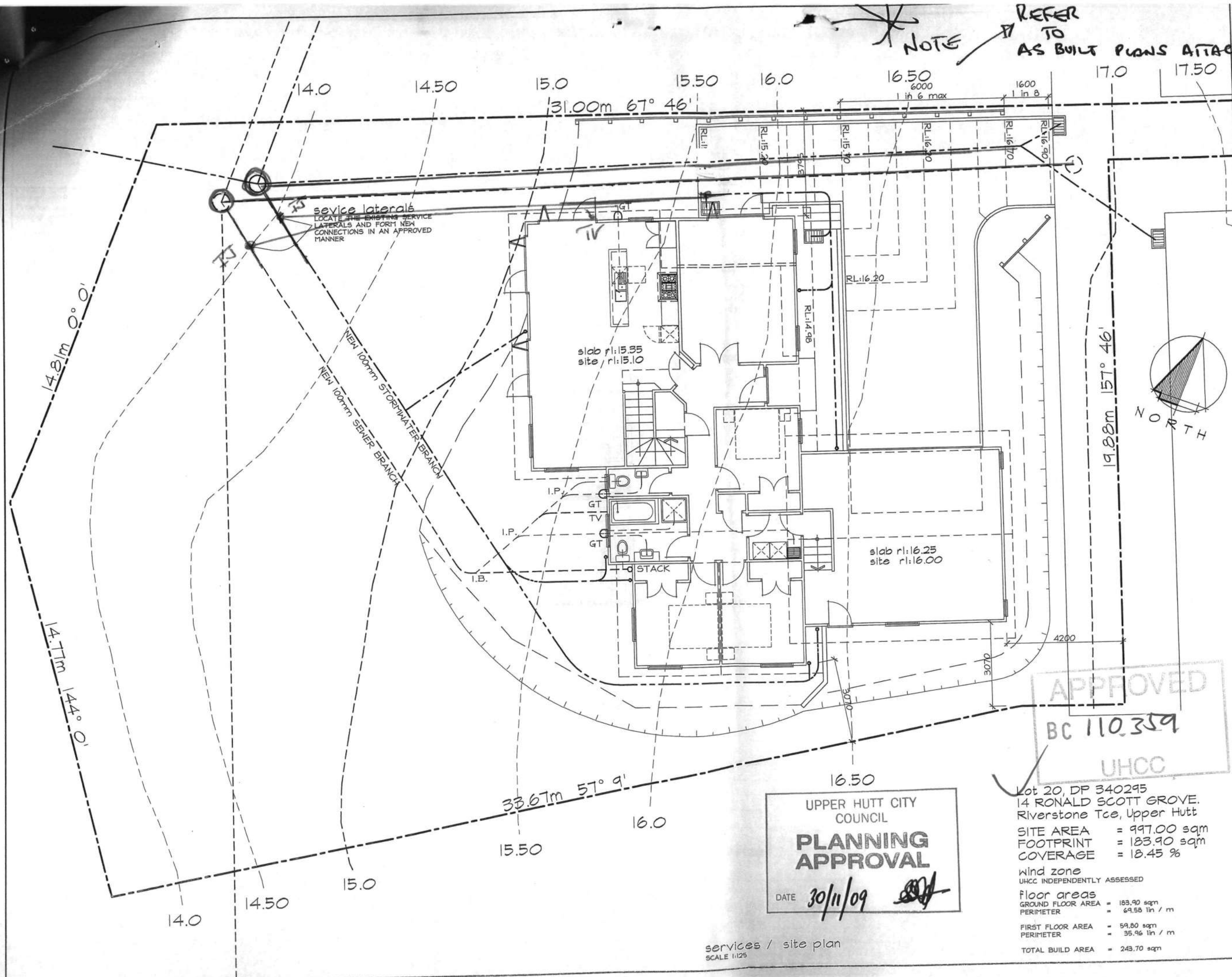
PLEASE GIVE THIS TO YOUR REGISTERED
DRAINLAYER DOING THE DRAINAGE
WORKS.

THE REGISTERED DRAINLAYER MAKING THE FOUL AND
STORMWATER CONNECTIONS TO COUNCILS RETICULATION
IS TO MAKE SURE THE FOUL AND STORMWATER DRAINS ARE
CONNECTED TO THE CORRECT CONNECTIONS.
COUNCIL DOES NOT GUARANTEE THE CONNECTION WILL BE
DEEP ENOUGH FOR A GRAVITY FEED CONNECTION. THE
CONNECTION SHOULD BE CHECKED AT COMMENCEMENT OF
THE PROJECT.



INUED ON DWG AB200





PROJECT: RESIDENCE for M. CLARIDGE / J HARRISON
14 RONALD SCOTT GROVE, RIVERSTONE T.C.S.

REVISIONS:

consent
issue

301 Kapiti Road
PO Box 1616
Paraparaumu Beach
New Zealand
Tel: 04 902 5505
Fax: 04 902 5504
Email: kapiti@desnet.co.nz

CONTRACTOR TO VERIFY ALL DIMENSIONS
ON SITE PRIOR TO COMMENCING WORK.
DO NOT SCALE DRAWINGS.
THESE DRAWINGS ARE COPYRIGHT.
DRAWINGS TO BE READ IN CONJUNCTION
WITH STRUCTURAL ENGINEERS
DRAWINGS.

DATE:	29/07/09
DESIGNED:	
DRAWN:	IAN
CAD REF:	3788-claridge
SCALE:	1:125
JOB/SHEET No:	3788/2
(A3 original) OF	

Design Network Kapiti



Building



Code Compliance Certificate

Section 95, Building Act 2004

Application

M Claridge, J Harrison & CMS Trustees	No.	110359
97 Kings Crescent	Issue date	19/03/13
Lower Hutt 5010	Overseer	Benedicto Alterado

Project

Description	New 2 Storey Dwelling
Street Address	14 RONALD SCOTT GROVE, UPPER HUTT
Intended Use	Housing - detached
Estimated Value	\$240,000
Location	14 RONALD SCOTT GROVE, UPPER HUTT
Legal Description	Lot 20 DP 340295
Valuation No.	1601421708

Code compliance

The building consent authority, Upper Hutt City Council, is satisfied, on reasonable grounds, that the building work complies with the building consent.

Signed for and on behalf of the Council:



Name: T. Weaver

Date: 19 March 2013



Building Consent

Applicant/Owner

M Claridge, J Harrison & CMS Trustees
97 Kings Crescent
Lower Hutt 5010

Building Consent. 110359
Issue date 5/10/11
Application date 8/09/11
Overseer Benedicto Alterado

Site Address

Location 14 RONALD SCOTT GROVE, UPPER HUTT
Legal Description Lot 20 DP 340295
Valuation No. 1601421708

Project

Description New 2 Storey Dwelling
Intended Life Indefinite, but not less than 50 years
Intended Use Housing - detached
Estimated Value \$240,000

BC 110359

Designer: Design Network Kapiti PO Box 1616 Paraparaumu : 04 902-5505
Structural Engineer: RE Lendrums-Paul Rohmets Cnr Main & King Street Upper Hutt : 04 527-9028 / 04 527-7778 fax

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Compliance schedule

A compliance schedule is not required for the building.

THIS IS A VALUABLE DOCUMENT AND SHOULD BE KEPT IN A SAFE PLACE. YOU MAY WISH TO PRODUCE THIS CONSENT WHEN YOU DECIDE TO SELL THE PROPERTY.

Signed for and on behalf of the Council:

Name: BENEDICTO ALTERADO

Date: 05 Oct. 11

The following notes should be read in conjunction with the building consent:

1. The issue of this Building Consent does not relieve the owner of any duty or responsibility under any other Act relating to the proposed work.
2. Plumbing and drainage work is to be under an approved test at time of inspection as per AS/NZS 3500.2:2003 or G13 of the NZS Building Code.
3. It is the responsibility of the owner/contractor to ensure that all built in work has been inspected prior to lining, covering and backfilling.
4. Before the CCC is issued, provide a 1:200 scaled As Laid Drainage Plan showing location of sewer and stormwater drains (with inspection points shown), soakpits, septic tanks & outfall and position of water supply.
5. Approved under the Resource Management Act 1991
6. Upon completion of the project, the supervising engineer shall provide Council a Producer Statement (PS-4) that the works were installed in accordance with the Building Consent approved design documentation.
7. PS-4 required for the specific foundation design and bracing.

Project Information Memorandum 110359

Section 34, Building Act 2004

Issued in accordance with Building Consent No. 110359

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 2004, and any requirements of the building consent attached.

This project information memorandum includes:

___ Information identifying special features of the land concerned

1. CONSTRUCTION NOISE: All construction work on the site shall be designed and conducted to ensure that noise from the site does not exceed those limits set out in NZS 6803:1999 Section 7 and those of the District Plan Rules.
2. Boundary pegs are to be located and flagged prior to the commencement of work.
3. Approved under the Resource Management Act 1991
4. Hazards register. No information is indicated in the register for this property.
5. Upper Hutt is a high earthquake risk area and this section is in an independently assessed wind zone (i.e. to be assessed on site in accordance with NZS 3604:1999 by the designer).
6. SERVICES: connections to council's reticulation or to an approved disposal, plans attached.
7. Plumbing and/or drainage work must be done by a certified plumber and/or certified drainlayer.
8. All plumbing and drainage to comply with AS/NZS 3500:2.2003 or G13 of the NZ Building Code
9. All roof and surface stormwater runoff on site is to be collected/controlled and discharged to an approved outlet as per E2 of the NZ Building Code and/or AS/NZS 3500.3.2003
10. All roof and surface stormwater runoff on site is to be collected/controlled and discharged to an approved outlet as per E2 of the NZ Building Code and/or AS/NZS 3500.3.2003
11. The name of the craftsman plumber/and or registered drainlayer is required to be provided to Council prior to the commencement of work.
12. Hot water supply to fixtures used for hygiene purposes are to be tempered at a maximum of 55 degrees.
13. Laundry room must be ventilated to open air. It is recommended that the drive entry is not formed over stormwater sump.

Signed by or for and on behalf of the Council:

Name: Barry J. Suter

Date: 25 OCT. 11

Code Compliance Certificate

Section 95, Building Act 2004

Application

M Claridge	No.	110359A
14 Ronald Scott Grove	Issue date	19/03/13
Riverstone Terraces		
Upper Hutt 5018	Overseer	Benedicto Alterado

Project

Description	New deck.
Street Address	14 RONALD SCOTT GROVE, UPPER HUTT
Intended Use	Housing - detached
Estimated Value	\$6,000
Location	14 RONALD SCOTT GROVE, UPPER HUTT
Legal Description	Lot 20 DP 340295
Valuation No.	1601421708

Code compliance

The building consent authority, Upper Hutt City Council, is satisfied, on reasonable grounds, that the building work complies with the building consent.

Signed for and on behalf of the Council:



Name: T. Weaver

Date: 19 March 2013

Building Consent

Applicant/Owner

M Claridge	Building Consent.	110359A
14 Ronald Scott Grove	Issue date	14/12/12
Riverstone Terraces	Application date	21/11/12
Upper Hutt 5018	Overseer	Benedicto Alterado

Site Address

Location	14 RONALD SCOTT GROVE, UPPER HUTT
Legal Description	Lot 20 DP 340295
Valuation No.	1601421708

Project

Description	New deck.
Intended Use	Housing - detached
Estimated Value	\$6,000

BC 110359A

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

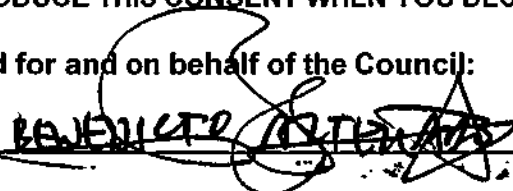
Compliance schedule

A compliance schedule is not required for the building.

THIS IS A VALUABLE DOCUMENT AND SHOULD BE KEPT IN A SAFE PLACE. YOU MAY WISH TO PRODUCE THIS CONSENT WHEN YOU DECIDE TO SELL THE PROPERTY.

Signed for and on behalf of the Council:

Name:



Date:

14 Dec. 12

The following notes should be read in conjunction with the building consent:

1. The previous comments, conditions and inspections of the original building consent apply equally to the amended building consent plans.
2. The issue of this Building Consent does not relieve the owner of any duty or responsibility under any other Act relating to the proposed work.
3. It is the responsibility of the owner/contractor to ensure that all built in work has been inspected prior to lining, covering and backfilling.
4. Approved under the Resource Management Act 1991



NEW RESIDENCE for M. CLARIDGE and J HARRISON

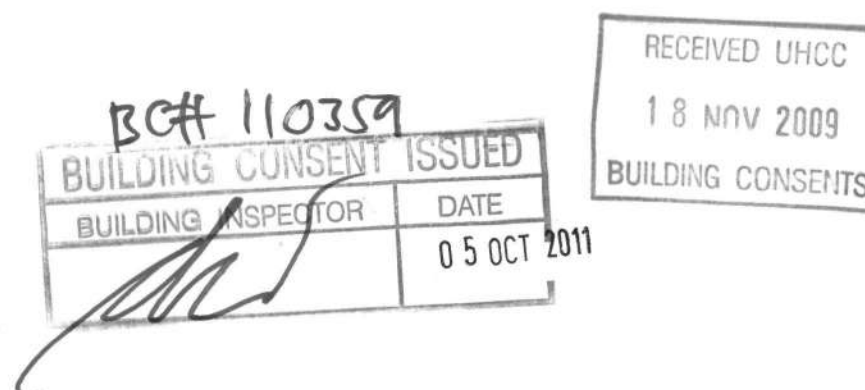
14 RONALD SCOTT GROVE, RIVERSTONE TERRACES, UPPER HUTT.

construction plans

- 1 existing site plan
- 2 proposed site plan
- 3 ground floor plan
- 4 lower foundation plan
- 5 first floor plan
- 6 upper foundation plan
- 7 roof framing plan
- 8 elevations
- 9 elevations
- 10 window schedule
- 11 window schedule
- 12 section a - a
- 13 section b - b
- 14 electrical plan
- 15 electrical plan
- 16 drainage and rainwater services
- 17 hot and cold water piped schematic's

construction details

- 20 foundation - weather board details.
- 21 timber weather board details.
- 22 timber weather board details.
- 23 meter box / balustrade details.
- 24 roof edge details - weather board details.
- 25 wet area / bathroom details.
- 26 site wall detail.
- 27 building risk matrix.



building consent issue

DesignNetwork Kapiti
ARCHITECTURE

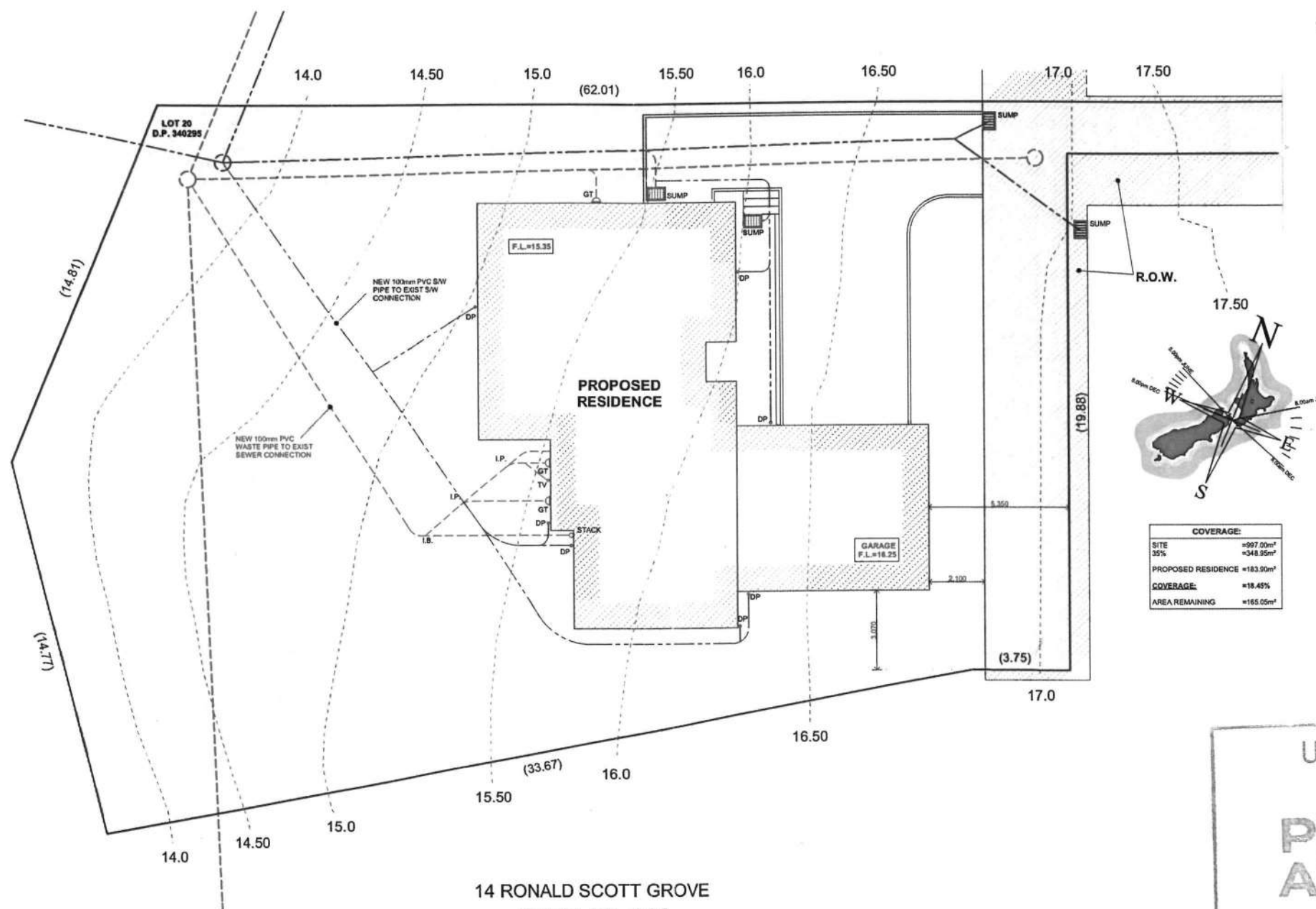
301 Kapiti Road
PO Box 1616
Paraparaumu Beach
New Zealand

Tel: 04 902 5505
Fax: 04 902 5504
Email: kapiti@desnet.co.nz

JULY 09'

Project ref : 3788

RECEIVED UICC
1 OCT 2011
BUILDING CONSENTS



COVERAGE:	
SITE	=997.00m²
35%	=348.95m²
PROPOSED RESIDENCE	=183.90m²
COVERAGE:	=18.45%
AREA REMAINING	=165.05m²

14 RONALD SCOTT GROVE
SITE PLAN

UPPER HUTT CITY COUNCIL
PLANNING APPROVAL
DATE 2/9/11 MS

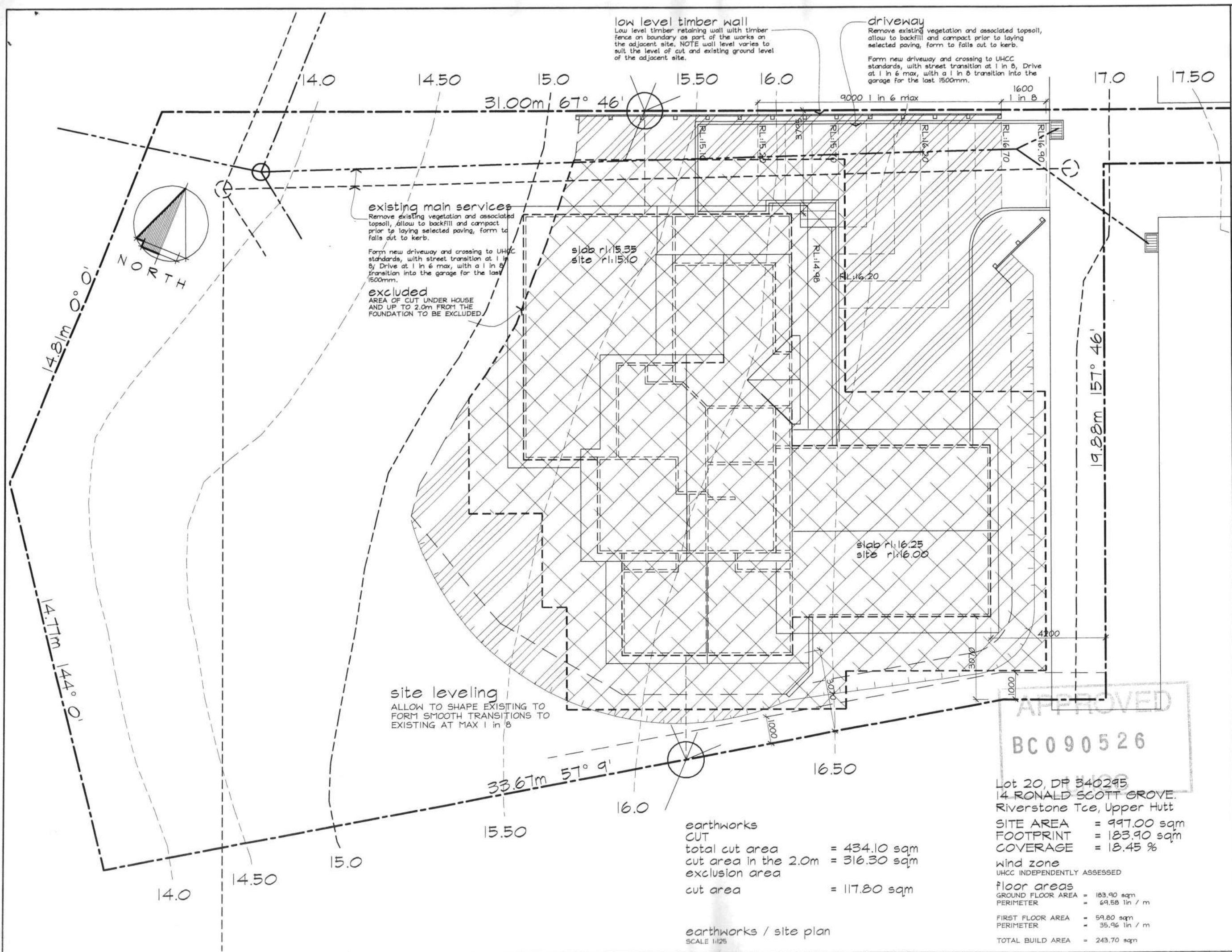
Design Network Kapiti

P.O BOX 1616, PARAPARAUMU BEACH, 301 KAPITI ROAD
PH: (04)9025-505 FAX: (04)9025-504 E-MAIL: office@desnet.co.nz

PROPOSED RESIDENCE FOR M. CLARIDGE / J HARRISON
14 RONALD SCOTT GROVE
RIVERSTONE TC,S.

REV. No	REV. DATE	DRAWING AMENDMENT	DATE	WORKING DRAWINGS	SHEET No.
			29-07-09		3788/2
			FINISH DATE	SCALES FOR A1 SIZE PAPER	CODE
			#FINISH	1:100	3788-CLARAGE
					REF
					5000

COPYRIGHT RETAINED BY DESIGN NETWORK ARCHITECTURE LTD.
DESIGNER TO BE CONTACTED IMMEDIATELY IF AN ERROR OR DISCREPANCY IS DISCOVERED



PROJECT: RESIDENCE for M. CLARIDGE / J HARRISON
14 RONALD SCOTT GROVE, RIVERSTONE TC'S.

DESIGN Network Kapiti

REVISIONS:

consent issue

301 Kapiti Road
PO Box 1616
Paraparaumu Beach
New Zealand
Tel: 04 902 5505
Fax: 04 902 5504
Email: kapiti@desnet.co.nz

CONTRACTOR TO VERIFY ALL DIMENSIONS
ON SITE PRIOR TO COMMENCING WORK.
DO NOT SCALE DRAWINGS.
THESE DRAWINGS ARE COPYRIGHT.
DRAWINGS TO BE READ IN CONDUCTION
WITH STRUCTURAL ENGINEERS
DRAWINGS.

DATE:	29/07/09
DESIGNED:	
DRAWN:	IAN
CAD REF:	3788-claridge
SCALE:	1:125

JOB/SHEET No:
3788/1

(A3 original) OF

low level timber wall
Low level timber retaining wall with timber
fence on boundary as part of the works on
the adjacent site. NOTE wall level varies to
suit the level of cut and existing ground level
of the adjacent site.

driveway
Remove existing vegetation and associated topsoil,
allow to backfill and compact prior to laying
selected paving, form to falls out to kerb.
Form new driveway and crossing to UHCC
standards, with street transition at 1 in 8, Drive
at 1 in 6 max, with a 1 in 8 transition into the
garage for the last 1500mm.

existing main services
Remove existing vegetation and associated
topsoil, allow to backfill and compact
prior to laying selected paving, form to
falls out to kerb.

Form new driveway and crossing to UHCC
standards, with street transition at 1 in
8, Drive at 1 in 6 max, with a 1 in 8
transition into the garage for the last
1500mm.

excluded
AREA OF CUT UNDER HOUSE
AND UP TO 2.0m FROM THE
FOUNDATION TO BE EXCLUDED.

site leveling
ALLOW TO SHAPE EXISTING TO
FORM SMOOTH TRANSITIONS TO
EXISTING AT MAX 1 in 8

earthworks
CUT
total cut area = 434.10 sqm
cut area in the 2.0m = 316.30 sqm
exclusion area
cut area = 117.80 sqm

earthworks / site plan
SCALE 1:125

Lot 20, DP 340295
14 RONALD SCOTT GROVE.
Riverstone Tce, Upper Hutt
SITE AREA = 997.00 sqm
FOOTPRINT = 183.90 sqm
COVERAGE = 18.45 %
Wind zone
UHCC INDEPENDENTLY ASSESSED
Floor areas
GROUND FLOOR AREA = 183.90 sqm
PERIMETER = 69.58 1in / m
FIRST FLOOR AREA = 59.80 sqm
PERIMETER = 35.96 1in / m
TOTAL BUILD AREA = 243.70 sqm

carpentry / frames

Allow for all incidentals required for a first class result.
All framed walls shown are nominally 90mm unless stated
Verify / Check all dimensions on site prior to commencement
ALL TIMBER SELECTION WILL BE MSG8 MINIMUM

All construction to comply with NZBC, E2/AS1, NZS 3604 1999, [V2] NZS 3602 2003, Local authority bylaws and engineering requirements. Verify all beam, stud, rafter and other member sizes to confirm full compliance with NZBC B1/AS1, NZS 3604 1999, [V2]

Provide copies of all warranties / producer statements required to the Local authority for Code compliance certification with the building code.

Insulate wall / ceiling voids, ensure full compliance to NZBC H1/AS1, NZS 3604 1999, [V2]

Exterior wall voids R2.2 Insulation batts
Ceiling voids R3.2 Insulation batts

Prenailer to supply certification with NZBC, E2/AS1, NZS 3604 1999, [V2] and NZS 3602 2003 for all frames and trusses. Supply a certificate to council, copy to designer itemising full compliance of all frames, job address and client details before fabrication.

Allow for 2.10 metre rough opening head height for all windows and exterior doors unless stated otherwise. Check window schedule for curved head and entry door height. Garage door rough opening 2.20m unless stated otherwise

The lintel sizes shown take no account of concentrated loadings from girder trusses, [other than those shown]. The pre-nailer / manufacturer shall design all necessary transfer loads to comply or contact the designer for further details and or clarification

wind zone UHCC INDEPENDENTLY ASSESSED

The wind zone classification is to be confirmed by the territorial authority or building certifier upon issue of the building consent

The contractor is responsible for checking the consent documentation to confirm the correct wind zone. If the wind zone is different then contact the designer for correction of the necessary details

The wind zone classification is to be confirmed by all suppliers / manufacturers of any building components to which this information is relevant, prior to the design, fabrication / manufacturing or supply of any element to ensure full compliance.

linings

All ceiling linings to be 13mm gib board stopped and sanded to paint quality finish.

All internal wall linings are 10mm Gib board refer to the bracing schedule for types / fixings other than standard. Use Gib Aqualine in wet area. Noiseline in conjunction with acoustic insulation in internal walls. All surfaces to be stopped and sanded to paint quality finish.

balustrade

Balustrade or part height wall must be a minimum of 1.0m on stairs above the leading edge of the nosing and landings.

The balustrade must be designed to comply with the requirements of NZBC F-4 safety from falling.

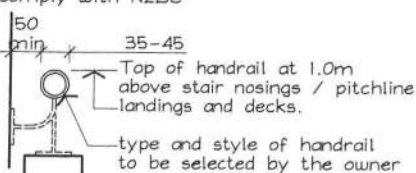
Timber balustrades must comply with NZBC B1/AS2 Timber barriers, or be an alternative solution which can be shown as complying with the performance requirements of NZBC B1 and F4.

Adequate structural strength must be provided in the balustrade and it's fixings so that it can support an applied force of 360 newtons [residential] 750 newtons [public] / metre run.

handrails

Handrails should extend beyond the top and bottom riser for a minimum distance of 300mm

The handrail must provide a comfortable and safe handhold. Circular or oval shapes 35-45mm minimum diameter, to comply with NZBC



stairs

Stair formed with selected Ex50mm timber treads, risers and stringers to suppliers details. The contractor shall check and confirm on site prior to manufacture.

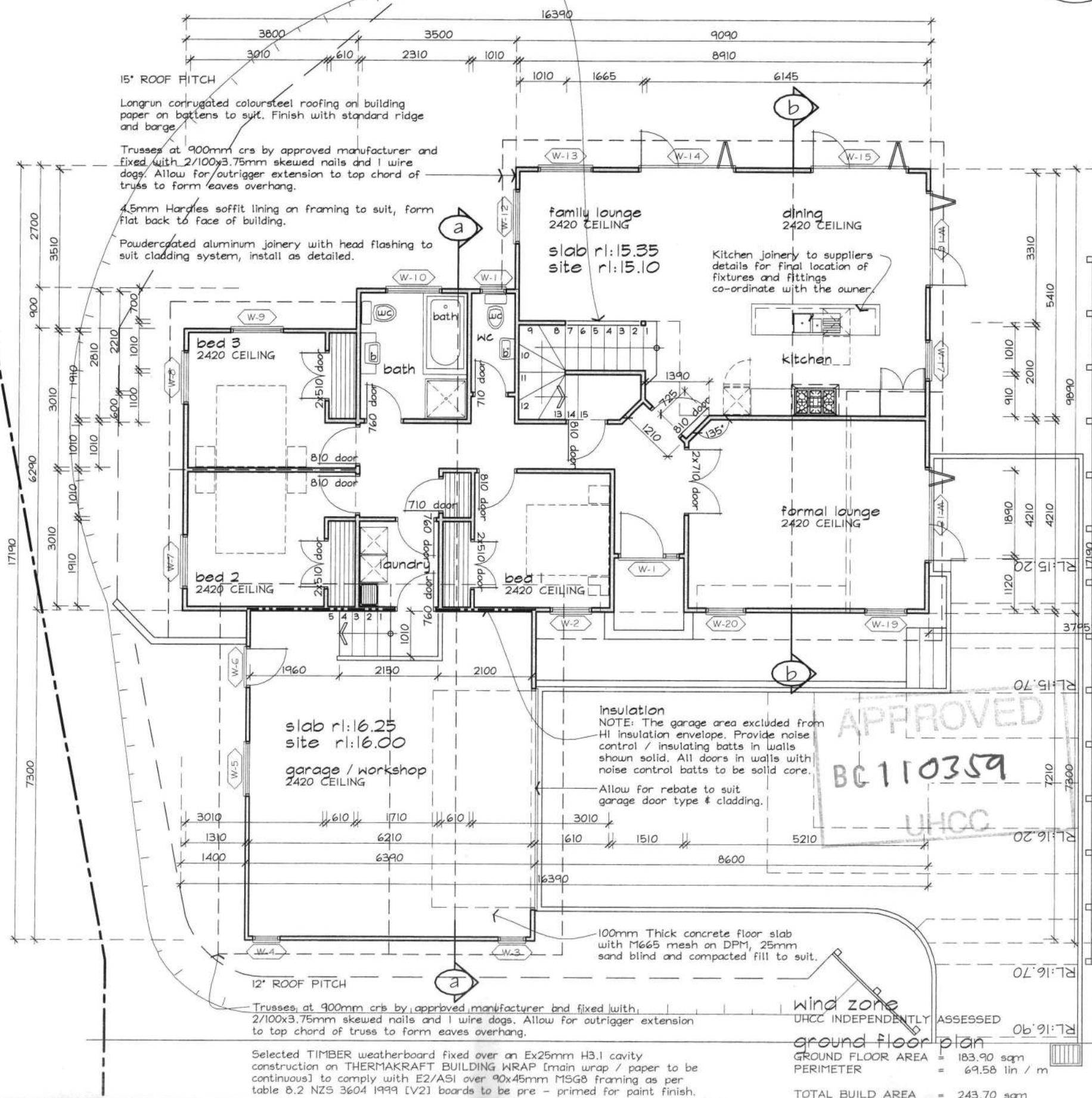
TREADS : 285mm going with 310mm total tread

RISERS : 181mm high, with 20mm set back from nosing

NOTE : BRACING BY ENGINEER

stairs

Stair formed with selected Ex50mm timber treads and risers with 1.0m high balustrading and handrail to suppliers details. Treads to be 285mm clear with risers 180mm high max. Joiner to check and confirm on site prior to manufacture.



PROJECT: RESIDENCE for M. CLARIDGE / J HARRISON
14 RONALD SCOTT GROVE, RIVERSTONE TC'S.

REVISIONS:

consent issue

301 Kapiti Road
PO Box 1616
Paraparaumu Beach
New Zealand

Tel: 04 902 5505
Fax: 04 902 5504
Email: kapiti@desnet.co.nz

CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. DO NOT SCALE DRAWINGS. THESE DRAWINGS ARE COPYRIGHT. DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DRAWINGS.

DATE: 29/07/09

DESIGNED:

DRAWN: IAN

CAD REF: 3788-claridge

SCALE: 1:100

JOB/SHEET No:

3788/3

(A3 original) OF

Design Network Kapiti

slab
100mm Thick concrete floor slab with M665 mesh on DPM, 25mm sand blind and compacted fill to suit.

control joints
Sawcut shrinkage / crack control joints as specified in NZS 3604 1999 [V2.]

→ Indicates the direction of fall

The contractor is to set up and confirm falls prior to pouring concrete.

ground beam
200x300mm ground beam with 2D12 bars horizontal with R10 ties at 600mm c/s max.

edge beam
FRAMING WITH WEATHER BOARDS, 200mm wide foundation beam with 3D12 bars horizontal with R10 ties at 600mm c/s max. Lap ties to slab 400mm minimum and tie to mesh. REFER CONSTRUCTION DETAILS.

insulation
Hatched area indicates extent of under slab insulation, ALLOW TO INSULATE WITH 50mm POLYSTYRENE [NOTE: insulation to achieve R1.4 insulation, refer details]

legend

Timber edge beam

Timber post supporting timber edge beam, Allow to use treeble stud minimum, pre-framer to confirm.

ground floor foundation plan

TOTAL FLOOR AREA = 183.90 sqm
PERIMETER = 69.58 lin / m

TOTAL BUILD AREA = 243.70 sqm

INSULATED FLOOR AREA => 137.15 sqm
INSULATED PERIMETER => 54.980 lin/m

wind zone UHCC INDEPENDENTLY ASSESSED

The wind zone classification is to be confirmed by the territorial authority or building certifier upon issue of the building consent

The contractor is responsible for checking the consent documentation to confirm the correct wind zone. If the wind zone is different then contact the designer for correction of the necessary details

The wind zone classification is to be confirmed by all suppliers / manufacturers of any building components to which this information is relevant, prior to the design, fabrication / manufacturing or supply of any element to ensure full compliance.

concrete foundations general

Foundation dim's are shown to match wall framing. Reduce dimensions as required to allow for 6mm bottom plate overhang to comply with NZS 3604 1999. [V2]

Ensure building platform is free of all topsoil or organic material. Excavate as required to form foundations. Replace with approved hardfill compacted to 95% of NZ standard specification.

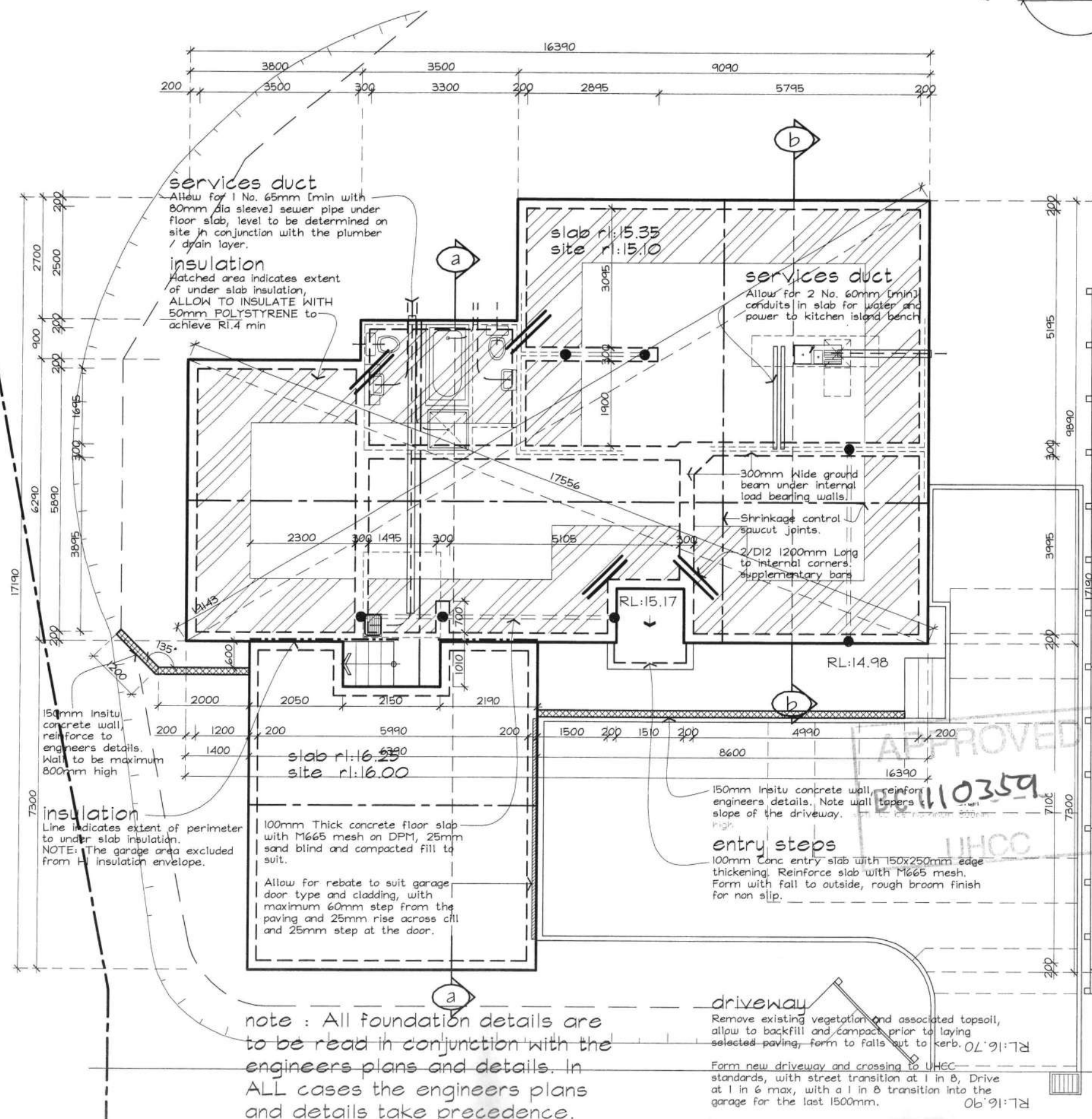
Slab level to be 225mm min above bare ground.
Slab level to be 150mm min above paved ground.
All concrete to be 20.0 Mpa

All reinforcing steel to be grade 300 min or as specified by the engineer.

Allow to sleeve piped service through the footing as required. Form all set downs for wet area showers and entry door, form shaping to edge of slab to full height windows to comply with NZBC E2/AS1, refer details.

All concrete footings / slab to be compacted with a mechanical vibrator, Kelly float finish to level. It is recommended that the slab be banded and flooded for 4 days min. [7 days for optimum results] Alternatively keep wet with continuous sprinkling

Connecting bolts to be installed 28 days after pouring concrete [to achieve maximum strength.]



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DATE: 29/07/09

DESIGNED:

DRAWN: IAN

CAD REF: 3788-claridge

SCALE: 1:100

JOB/SHEET No:

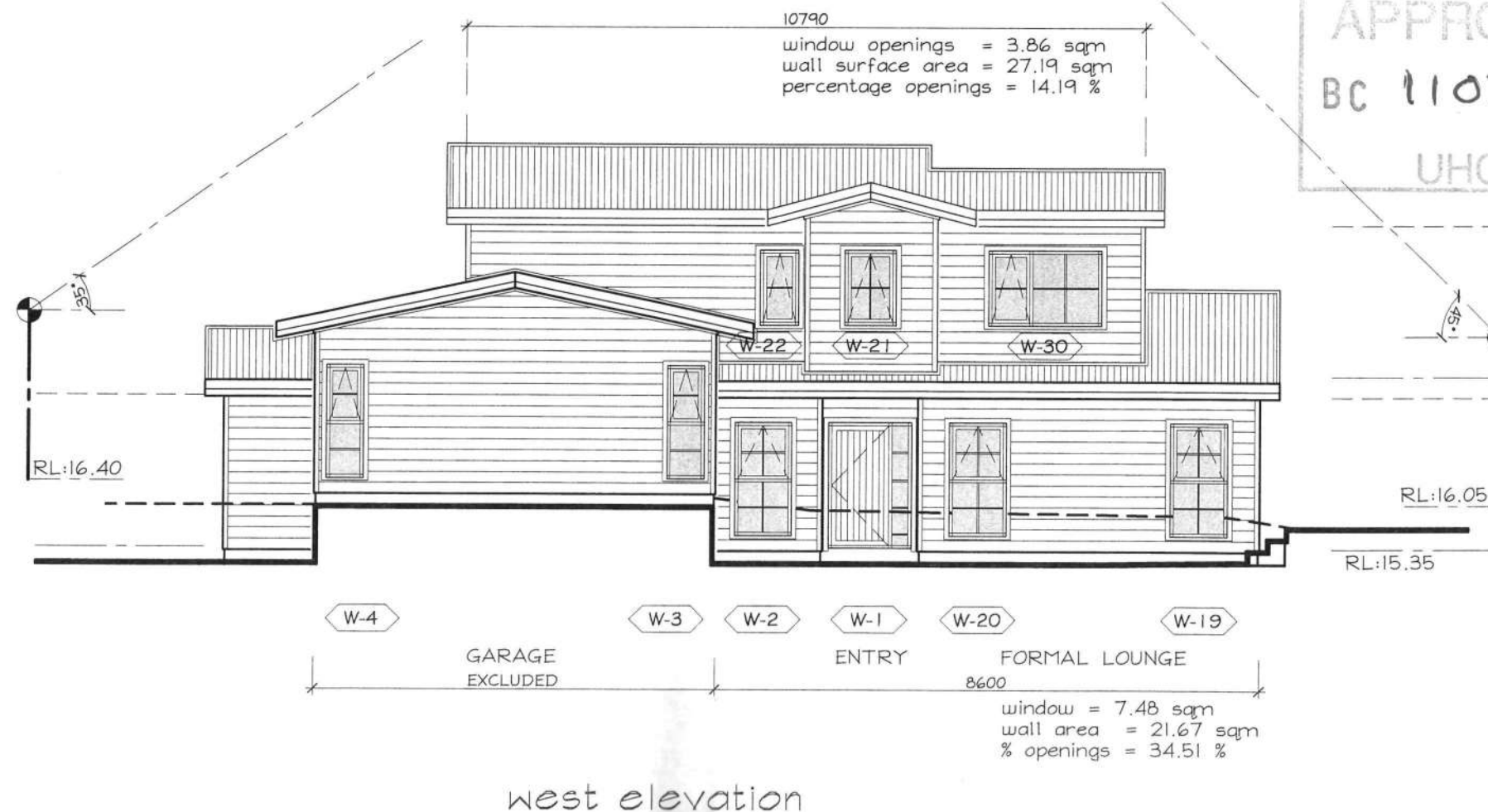
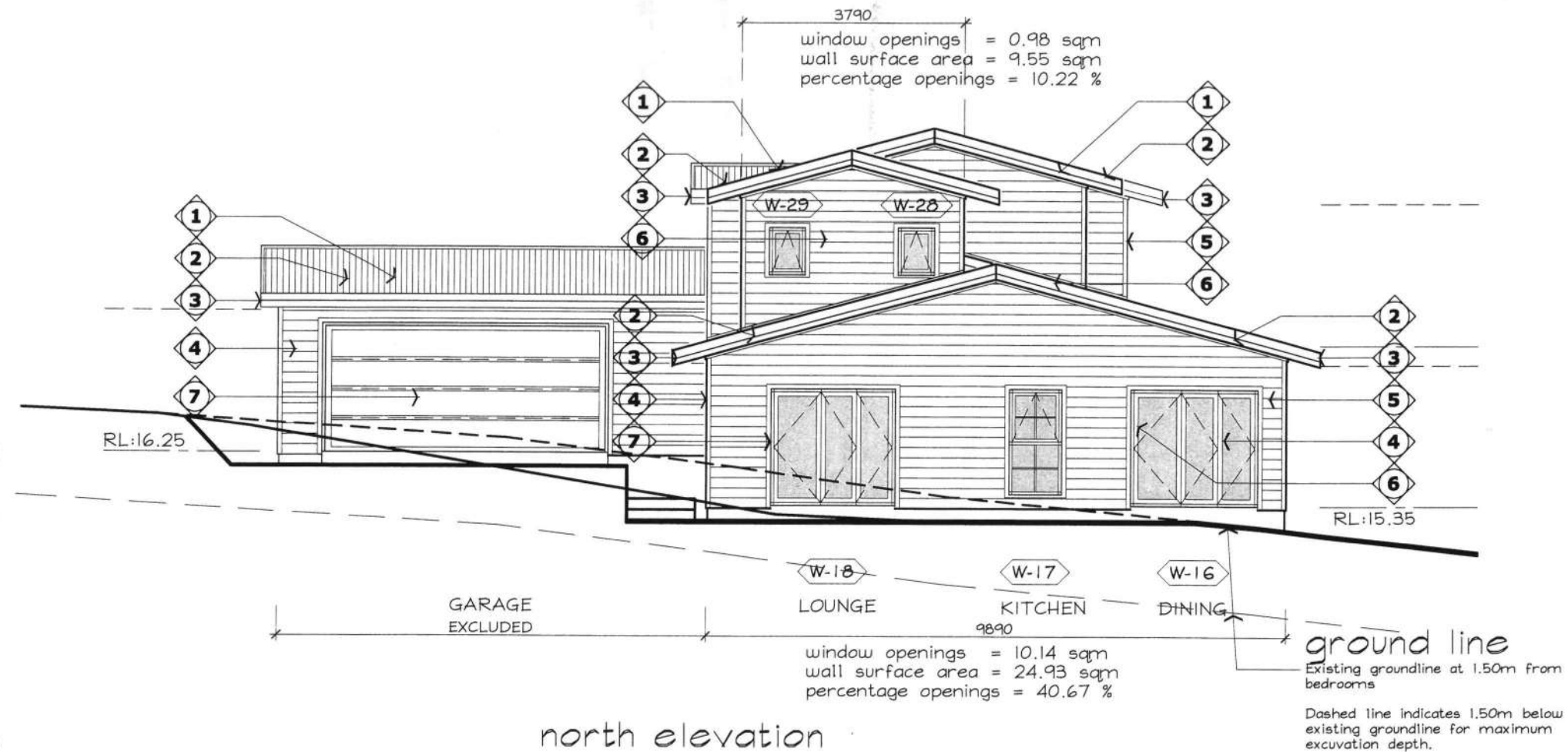
3788/4

(A3 original) OF

Design Network Kapiti

legend

- 1 Longrun corrugated coloursteel roofing on building paper on battens to suit. Form with standard ridge / barge Allow for eaves flashing out over gutter from under roofing on low pitch roof.
- 2 Trusses at 900mm c/s by approved manufacturer and fixed with 2/100x3.75mm skewed nails and 2 wire dogs. Allow for H3.1 outrigger extension to top chord to form eaves.
- 3 Colourcoated quarter round spouting on standard brackets on Ex240x40mm selected timber fascia with 4.5mm hardies soffit linings on raking eaves overhang.
- 4 Selected timber weatherboard fixed over an Ex25mm H3.1 cavity construction on THERMAKRAFT BUILDING WRAP main wrap / paper [to be continuous] to comply with E2/AS1 over 90x45mm MSG8 framing as per NZS 3604 1999 [V2].
- 5 Powdercoated aluminium window joinery with head and sill flashing to suit cladding system, install as detailed.
- 6 4800x2400mm Sectional roller door with selected colourcoat finish with automatic opening gear.



APPROVED
BC 110359
UHCC

PROJECT: RESIDENCE for M. CLARIDGE / J HARRISON
14 RONALD SCOTT GROVE, RIVERSTONE TC'S.

REVISIONS:

consent
issue

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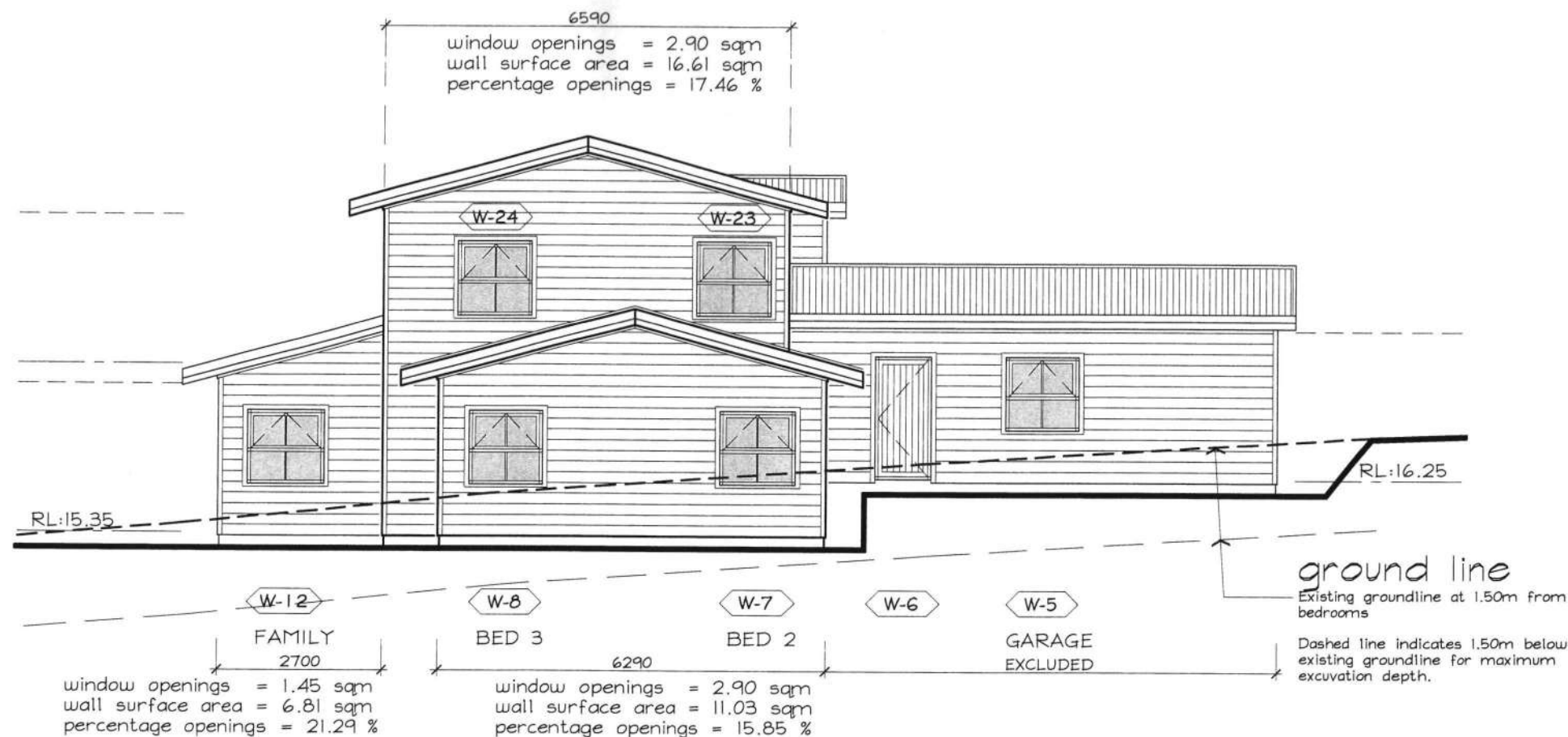
3788/8

(A3 original) OF

Design Network Kapiti

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south elevation



east elevation

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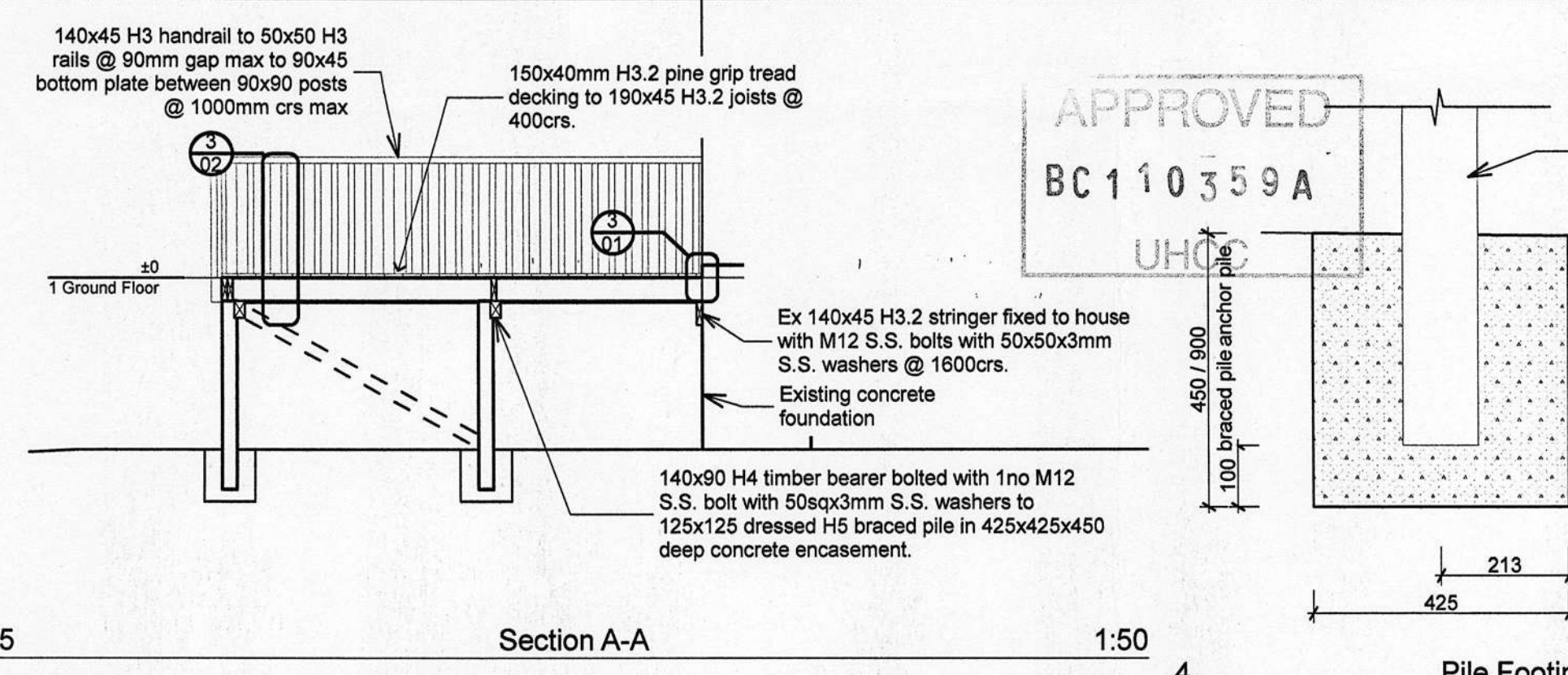
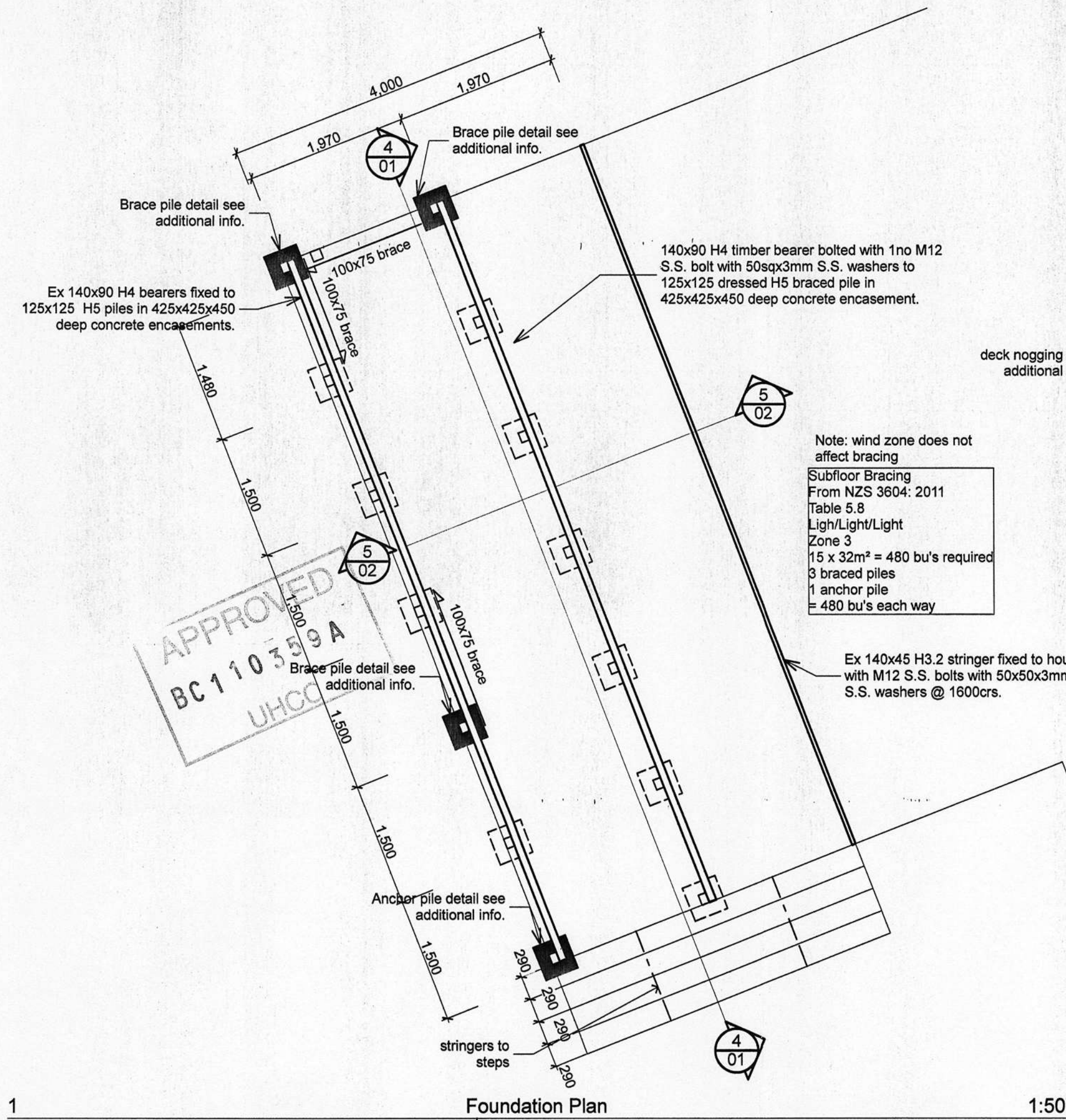
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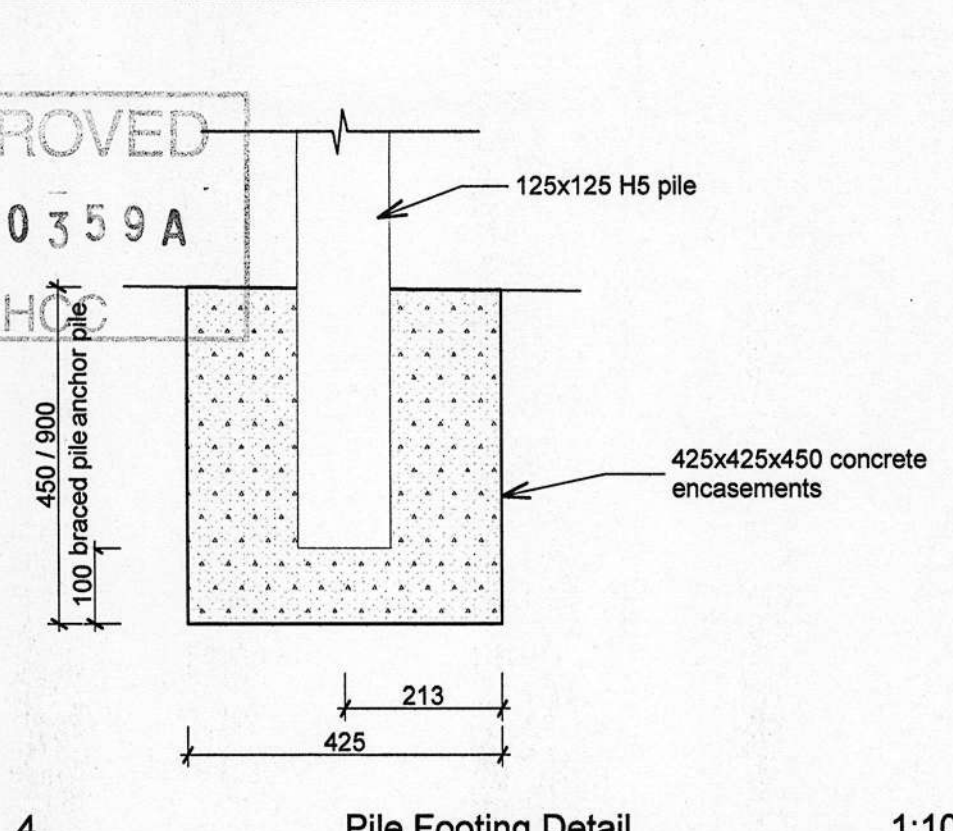
3788/9

(A3 original) OF

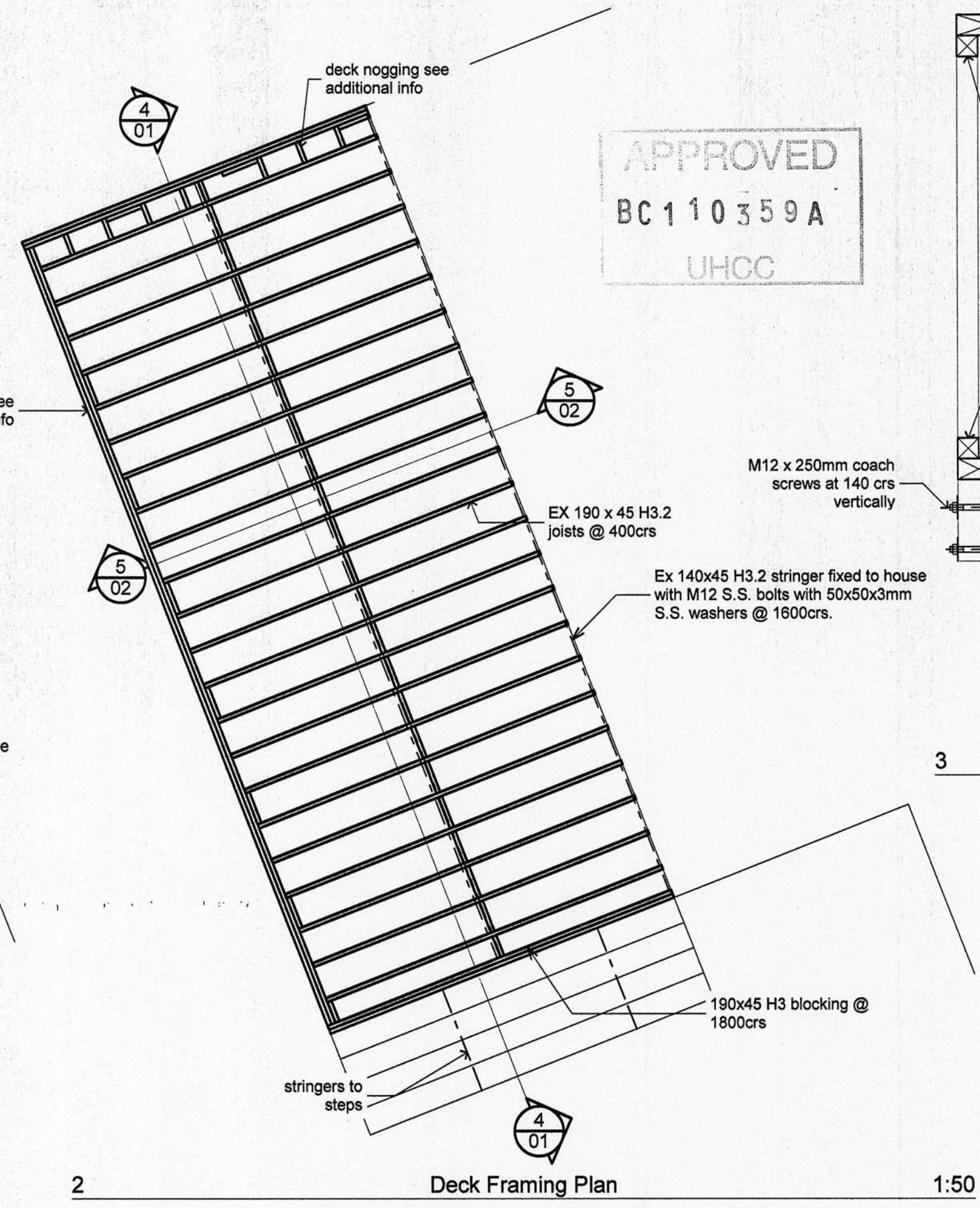
Design Network Kapiti



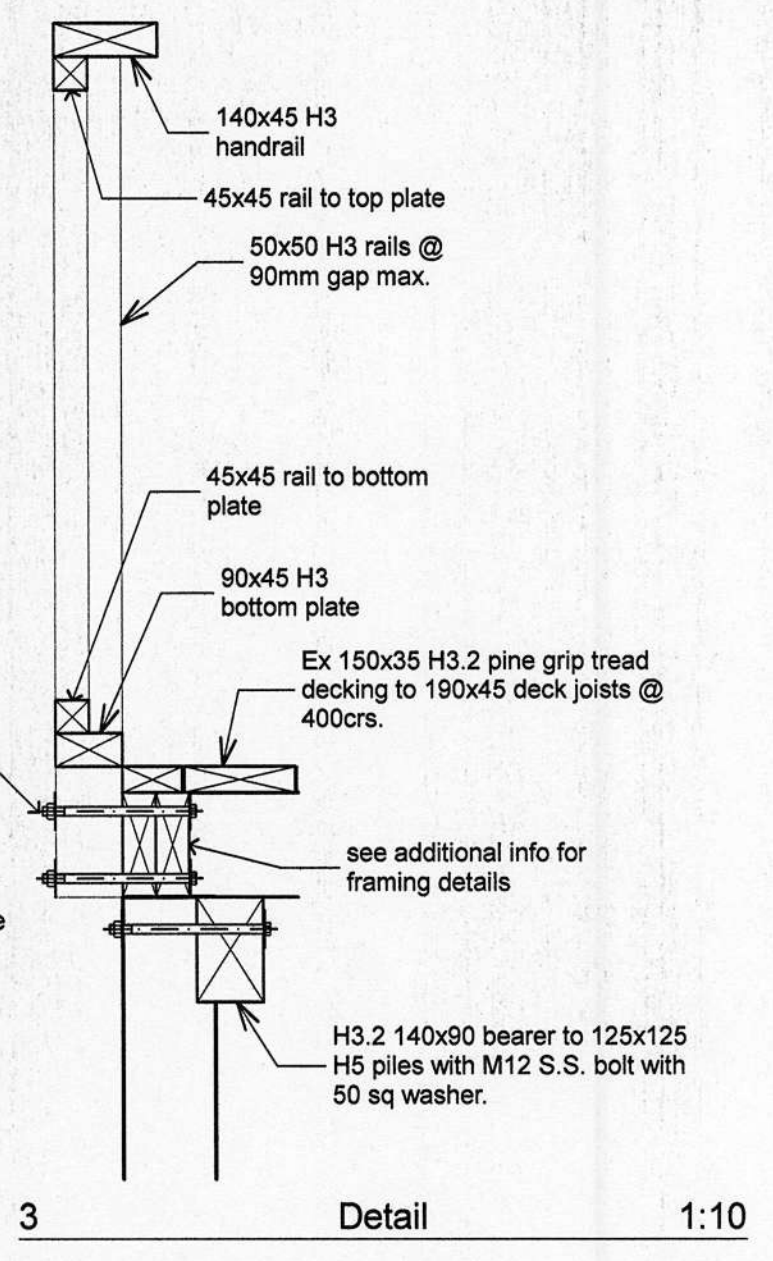
5 Section A-A 1:50



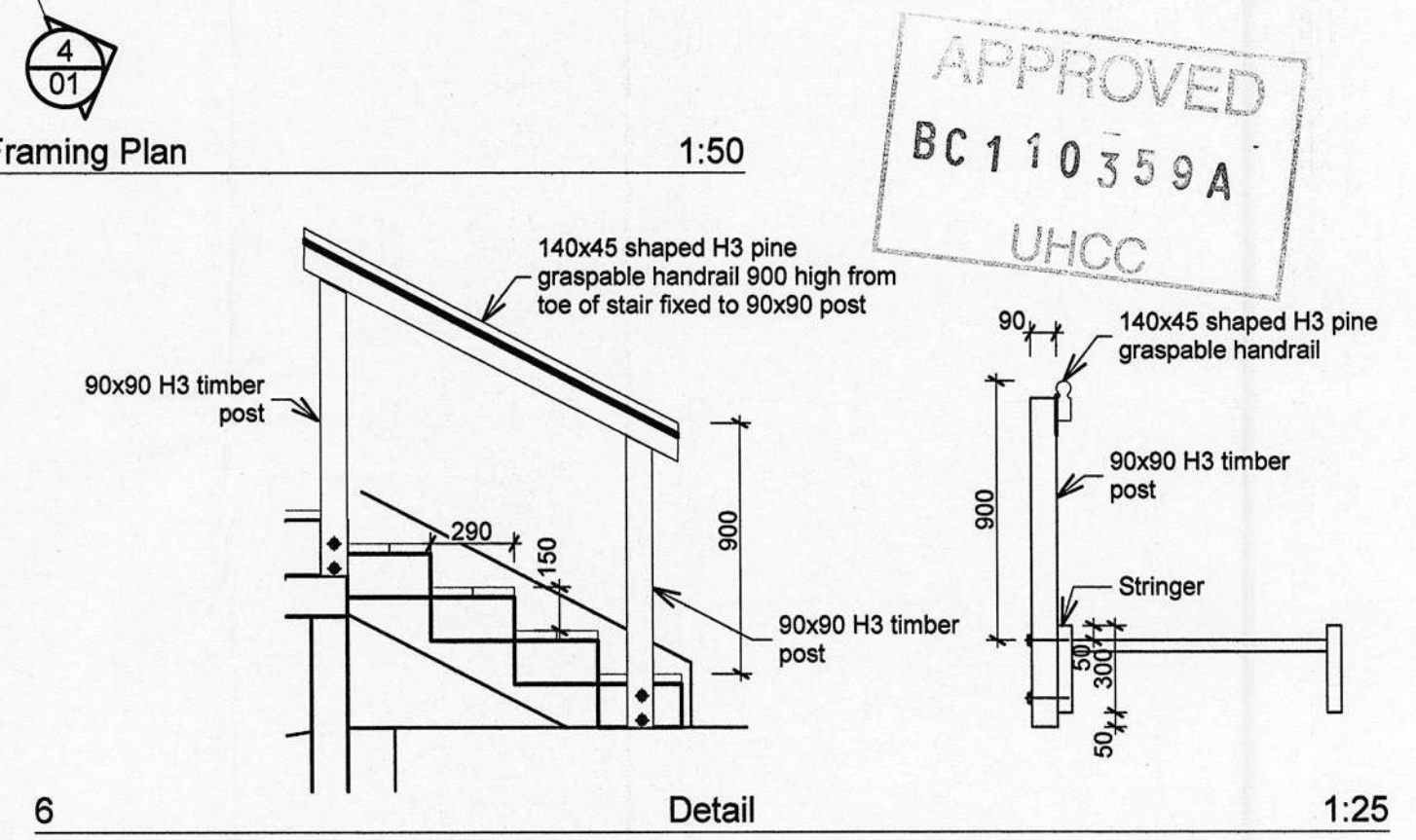
4 Pile Footing Detail 1:10



2 Deck Framing Plan 1:50



3 Detail 1:10



6 Detail 1:25

02	SHEET	SHEET TITLE: Sections	Claridge / Harrison	76 Fraser Cres Upper Hutt,
	REVISION #:			
	ISSUED: 28/11/2012			
	PROJECT #: #Pin			
New Deck			PHONE: 0274590022	
14 Ronald Scott Grove			alexis.battock12@gmail.com	
Upper Hutt			DRAWN BY: AB	



Planning

L250406 - AERIAL



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- Land Parcel
- Title
- Non-Primary Parcel

URBAN MAP 14

				4					5
			13	14	15	16	17	18	
		22	23	24	25	26	27	28	
1	32	33	34	35	36	37	38	39	

☐ Land Parcels

ZONES

-  General Residential
-  High Density Residential
-  General Rural
-  Rural Production
-  Rural Lifestyle
-  Settlement
-  Neighbourhood Centre
-  Local Centre
-  Commercial
-  Mixed Use
-  Town Centre
-  City Centre
-  General Industrial
-  Open Space
-  Special Activity













FEATURES

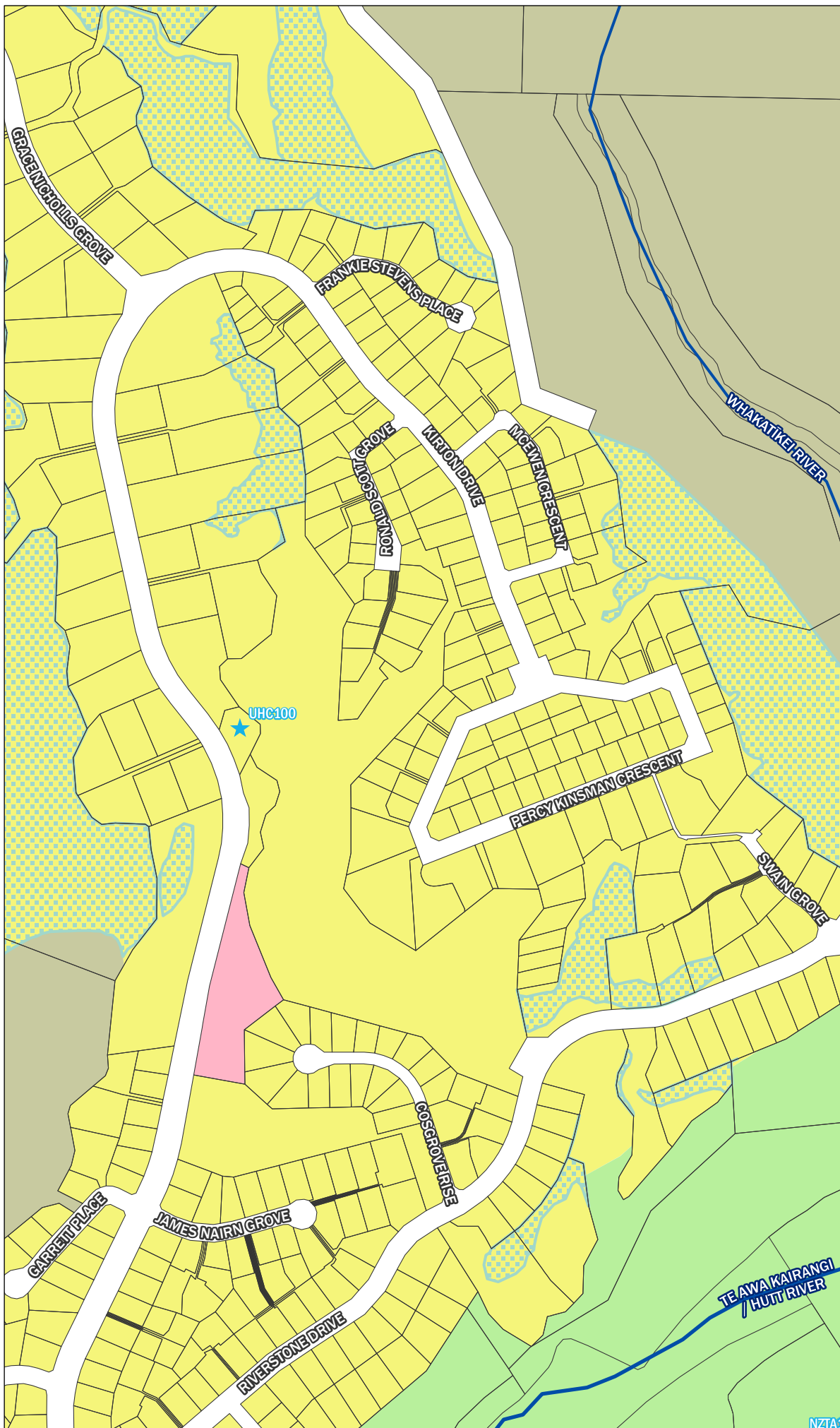
-  Heritage Features
-  Notable Trees
-  Urban Tree Groups
-  Rivers & Streams
-  Active Street Frontage

DESIGNATIONS

- ★ Utilities Designations
- General
- Highway
- ▨ Railway

PRECINCTS

-  Development Area - Gabites Block
-  Development Area - St Patrick's
-  Overlay - Special Activity Zone Height
-  Precinct - Indigenous Biodiversity
-  Precinct - Industrial Eastern Hutt Road
-  Precinct - St Patrick's College
-  Precinct - Wallaceville - Gateway
-  Precinct - Wallaceville - Grants Bush
-  Precinct - Wallaceville - Living A
-  Precinct - Wallaceville - Living B
-  Precinct - Wallaceville - Urban
-  Precinct - Wellington Speedway



0 100 200 Meters

Scale at A4: 1:5,000

December 2023

L250406 - KNOWN HAZARDS



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Upper Hutt Developments (No. 7) Ltd
C/- Connell Wagner
PO Box 1591
WELLINGTON

Attention: Mr James Lynch

File: 352/62/199
BTH/MdW

MdW/ Planning/ BTH/ NoD/ Riverstone Terraces

Contact:
Brendan Hogan

19th April 2004

Dear Sir

RESOURCE CONSENT - NOTICE OF DECISION

I am pleased to advise you of the decision that has been reached in relation to your application for consent under the Resource Management Act.

The full text of the decision is as follows:

THAT pursuant to Sections 104, 104A, 104C, 108 and 220 of the Resource Management Act 1991, Council grant consent to the Plan of Subdivision creating 119 residential lots with balance lots, roads to vest, and associated infrastructure and easements to facilitate the subdivision of Lot 700 LT Plan 326871 on the undeveloped north eastern portion of land at Riverstone Terraces.

Consent is granted subject to the following conditions:

- 1.0 That the subdivision shall be substantially in accordance with the plans and details submitted with the Resource Consent application.

2.0 General

- 2.1 That the development shall comply with Council's Code of Practice for Civil Engineering Works (except as modified by conditions below) and its Requirements for Road Opening and Reinstatement Works.

Note: As part of the Requirements for Road Opening and Reinstatement Works, the subdivider shall obtain a road opening consent before any excavation work is carried out in the road reserve.

- 2.2 That the developer shall employ an IQP for the subdivision.
- 2.3 That it is not to be inferred that any preliminary engineering drawings supplied with this application have been approved. Full engineering drawings and supporting data are to be submitted to the IQP for approval before construction commences.
- 2.4 That the developer shall at the engineering drawing stage, show that the design of the infrastructure is adequate to service any further subdivision of lots down to the size permitted for Residential Conservation zoning.
- 2.5 That all the conditions of the Landuse Consent for Stage 10 Earthworks being the Conditions 2.0 to 5.0 set out in the attached Notice of Decision dated 10th March 2004, except to the extent as have been modified below, shall be complied with prior to the issuing of the Section 224(c) Certification for this subdivision.

- 2.6 That any lot that cannot be provided with an unconditional 'Statement of Professional Opinion' (refer Condition B11.2 and Appendix B Figure 2 of the Code of Practice) as to the suitability of the land for building development, then a Consent Notice shall be registered on the title of that lot stating why and what is required for compliance.
- 2.7 That the responsibility for cut batters and retaining walls on the road boundary will lie with the owners of properties fronting the road and supported by such batters and retaining walls.
- 2.8 That Condition 2.7 above is to be the subject of a Consent Notice to be registered against the titles of all lots which have a cut batter and/or retaining wall on their road boundary.

3.0 Roading

- 3.1 That all roads, accessways, accesses, crossings, footpaths, street lighting, signage, and tree planting shall comply with the Code of Practice.
- 3.2 That the developer shall install new Council heavy duty vehicle crossings to Lots 1, 4 to 6, Lots 10 and 11, Lots 19 to 22, Lots 27 to 35, Lots 50 and 51, Lots 97 and 98 and Lots 104 and 105 from the carriageway to the road boundary to provide access to those lots.
- 3.3 That the developer shall install new Council standard vehicle crossings to Lots 14, 26, 54, 81, 90, 99, 102, 109 and 111 from the carriageway to the road boundary to provide access to those lots.
- 3.4 That the owners of Lots 2 and 3, 7 to 9, 12 and 13, 15 to 18, 23 to 25, 36 to 49, 52 and 53, 55 to 80, 82 to 89, 91 to 96, 100, 101, 103, 106 to 108, 110 and 112 to 119 shall at the Building Consent stage install new Council vehicle crossings from the carriageway to the road boundary to provide accesses to these lots.
- 3.5 That Condition 3.4 above is to be the subject of a Consent Notice to be registered against the titles of Lots 2 and 3, 7 to 9, 12 and 13, 15 to 18, 23 to 25, 36 to 49, 52 and 53, 55 to 80, 82 to 89, 91 to 96, 100, 101, 103, 106 to 108, 110 and 112 to 119.
- 3.6 That at the engineering approval stage, the developer shall provide a Crime Prevention Through Environmental Design (CPTED) review, by an accredited person who has attended a recognised course on CPTED, of all walkways and cycle routes proposed in this development and show how he will comply with all the recommendations contained within that review.
- (i) Show how the walkways and cycle routes link the area together and encourage other modes of transport particularly now that Kirton Drive will not be a loop route.
 - (ii) Provide direct access to a future bus route from areas that wouldn't be on the bus route.
 - (iii) Encourage cycling to school (ie. eliminate cyclist's having to take the long way round).
 - (iv) Provide more direct routes for pedestrians between cul-de-sacs and the main routes.
 - (v) Ensure that all aspects of safety are taken into consideration in the design of the walkways and cycle routes.

4.0 Water

- 4.1 That the developer shall fully reticulate the subdivision for water in accordance with the Code of Practice and the approved engineering drawings.

- 4.2 That the water service pipes to all lots shall be fitted with Kent manifold fittings with ball valve and approved water meter boxes to be located either within the road or right of way adjacent to the property boundaries but clear of any proposed vehicle crossings. Meters are not required at this stage.
- 4.3 That the developer shall install gate valves and other associated water fittings to allow the temporary installation of water meters (ie. excluding the water meter), to be located within the road adjacent to the road boundary, on all private water mains.
- 4.4 That the water mains servicing Lots 1 and 4 to 6, Lots 10 and 11, Lots 19 to 22 and Lots 28 to 34 (from the fire hydrant), Lots 50 and 51, Lot 97 and 98 and Lots 104 and 105, shall be private from the property side of the gate valve and therefore the maintenance of them shall be the joint responsibility of the respective owners of those lots.
- 4.5 That Condition 4.4 above is to be the subject of a Consent Notice to be registered against the titles of Lots 1 and 4 to 6, Lots 10 and 11, Lots 19 to 22 and Lots 28 to 34, Lots 50 and 51, Lots 97 and 98 and Lots 104 and 105.
- 4.6 That if in the future Council has to repair or replace a watermain and/or fire hydrant vested in Council that is located within a private right of way then such restoration of the right of way: –
- (ii) Shall only be at best to the standard of a chip seal surface; and
 - (ii) Shall reflect the condition of the existing surface at the time of such restoration and may mean a cost sharing arrangement with those who have rights over the driveway.
- 4.7 That Condition 4.6 shall be subject to a Consent Notice to be registered against the titles of the lots serviced by the right of way.
- 4.8 That the subdivider shall pay a water shut off connection fee for each shut off. The actual cost will be charged with a minimum fee of \$230. An additional charge of \$85 will be levied if details of the water shut off are changed with less than 48 hours notice.
- 4.9 That fire hydrants shall be installed in accordance with SNZ PAS 4509:2003 “New Zealand Fire Service Fire Fighting Water Supplies Code of Practice.”

5.0 Wastewater Disposal

- 5.1 That the developer shall fully reticulate the subdivision for wastewater in accordance with the Code of Practice.
- 5.2 That if in the future Council has to repair or replace the wastewater main/manhole constructed within the right of way to Lots 19 to 22, then such restoration of the right of way: –
- (i) Shall only be at best to the standard of a chip seal surface; and
 - (ii) Shall reflect the condition of the existing surface at the time of such restoration and may mean a cost sharing arrangement with those who have rights over the driveway.
- 5.3 That Condition 5.2 shall be subject to a Consent Notice to be registered against the titles of Lots 19 to 22.
- 5.4 That the layout of wastewater systems through private lots shall be such that they do not preclude the future development of those lots.

6.0 Stormwater

- 6.1 That the developer shall fully reticulate the subdivision for stormwater in accordance with the Code of Practice.
- 6.2 That if in the future Council has to repair or replace the wastewater main/manhole constructed within the right of way to Lots 28 to 34, then such restoration of the right of way: –
 - (i) Shall only be at best to the standard of a chip seal surface; and
 - (ii) Shall reflect the condition of the existing surface at the time of such restoration and may mean a cost sharing arrangement with those who have rights over the driveway.
- 6.3 That Condition 6.2 shall be subject to a Consent Notice to be registered against the titles to Lots 28 to 34 and any other lot which also has a right of way off that access.
- 6.4 That the stormwater service laterals servicing lots from vested stormwater mains located within a vested road, are private and therefore the maintenance of them is the respective responsibility of the owners of those lots.
- 6.5 That Condition 6.4 shall be subject to a Consent Notice to be registered against the titles of those lots referred to in that Condition.
- 6.6 That the stormwater systems that do not drain sumps in roads to be vested, shall be private and therefore the maintenance and/or replacement of them is the respective or joint responsibility of the owners of those lots serviced by those stormwater systems (refer to Condition 7.1 regarding easement requirements).
- 6.7 That sumps and sump leads draining private accesses (right of ways) to where they connect to a natural watercourse or a proposed stormwater main to be vested in Council, are private and the replacement and maintenance of such is the joint responsibility of the owners of the right of ways (refer to Condition 7.1 regarding easement requirements).
- 6.8 That as required by the Code of Practice, the developer shall establish secondary flow paths for all stormwater systems including stormwater runoff from private right of ways.
- 6.9 That should any development work alter the flow of surface water on or from the subdivision, and then the developer shall show that adequate provision has been made to deal with that surface water so as to not cause any nuisance to the adjacent lower land.
- 6.10 That discharge to natural watercourses shall be minimised and the developer shall identify those watercourses which will drain stormwater runoff from public roads to become part of the public stormwater system. Access will be provided to these watercourses, outlets, etc for maintenance by mechanical plant.
- 6.11 That the layout of stormwater systems through private lots shall be such that they do not preclude the future development of those lots.

7.0 Easements

- 7.1 That all services to all lots are to be protected by easements in so far as they are laid over private land.
- 7.2 That all such easements shall be listed in the memorandum of easements on the survey plan.

- 7.3 That the developer shall provide easements in gross in favour of Council for all mains and structures to be vested in Council and stormwater secondary flowpaths, in so far as they are laid over private land and shall be in accordance with Clause B1.10 of the Code of Practice.
- 8.0 That Council accepts the vesting of Lot 902 as Recreational Reserve including the construction of the walkway to satisfy the Reserve Contribution for the Stage 10 subdivision.

The reasons for this decision are:

1. Riverstone Terraces is zoned for residential development and the subdivision is in accordance with the development that is anticipated for the locality by the Proposed and Transitional District Plans.
2. With the conditions of Resource Consent addressing the physical and servicing aspects relating to the subdivision, the environmental effects of the proposal are consistent with the environmental effects anticipated to occur in the locality by the District Plans, and the subdivision represents an efficient use of urban land.
3. The proposal is consistent with the overall residential Objectives, Policies and Density Standards of the Proposed and Transitional District Plans.

Advice Notes

1. This Resource Consent will expire five years after the date of commencement of consent unless:
 - (a) it is given effect to before the end of that period; or
 - (b) upon an application made before the consent lapses for an extension of consent. The statutory considerations, which apply to extensions, are set out in Section 125(1)(b) of the Resource Management Act 1991.
2. You are advised that in accordance with Section 357 of the Resource Management Act 1991; you may, within fifteen (15) working days of receiving this decision, object to it or any conditions thereof. On receiving an objection in writing, the Council shall hear the objection and may uphold the objection wholly or partly.
3. You are advised that pursuant to Section 120 and 121 of the Resource Management Act 1991, you have the right to appeal to the Environment Court, against the whole or any part of this decision. Notice of appeal shall be in the prescribed form, and shall be lodged with the Environment Court at the District Court Building, 49 Balance Street and served on Upper Hutt City Council within fifteen (15) working days of receipt of the decision.
4. The applicant needs to obtain all other necessary consents and permits, including those under the Building Act 1991, and comply with all relevant Council Bylaws.


Yours faithfully

B Dodson
CITY SECRETARY


Record of Discretions Resource Management Act 1991

APPLICANT	Upper Hutt Developments (No.7) Ltd	FILE No	352/62/199	DATE	19.4.04
LOCATION	Northern extension of Kirton Drive being Stage 10 of the subdivision of Riverstone Terraces, Upper Hutt.	LEGAL DESCRIPTION		Lot 700 LT 326871 comprised in Certificate of Title 109110 (yet to issue).	
PROPOSAL	To commence the Stage 10 subdivision of Riverstone Terraces. The proposal requires the following consents: <ul style="list-style-type: none">Subdivision and Land Use Resource Consent to create 119 residential lots ranging in net site area between 400m² and 1760m², and Lots 900, 901, 903, and 904 being the balance lots having areas of 3.04ha, 3.37ha, 1.81ha and 12.59ha respectively. The application includes the necessary infrastructure and easements to facilitate the subdivision, including the vesting of Lot 504 as Road being the extension of Kirton Drive looping around in a southern direction. The proposed subdivision also includes Lot 902 which has an area of 6.36ha which the application proposes to vest as Recreation Reserve.				

POTENTIALLY ADVERSELY AFFECTED PERSONS (TICK AS APPLICABLE)

s93(1)(b) 	Based on the attached report no written approvals have been sought as the adverse effects of the activity on the environment will be minor (no persons are deemed to be adversely affected by the granting of resource consent).	
s94(B)(3)(c)	No written approvals have been sought as it is considered unreasonable in the circumstances to seek the written approval from those persons; OR	
	The following written approvals have been sought and obtained from persons who may be adversely affected by the granting of resource consent.	
	Name of affected person(s)	Address / location of affected property
1		
2		
3		
4		

SECTIONS 93-94C DECISION (TICK AS APPLICABLE)

	s93(1)(a)	The proposal is a Controlled Activity and there are no adversely affected parties.
	s93(1)(b)	The proposal is a Limited Discretionary, Discretionary or Non-complying Activity and the adverse effects of the activity on the environment will be minor (no persons are deemed to be adversely affected by the granting of resource consent).
	s94(2)	The proposal is a Controlled, Limited Discretionary, Discretionary or Non-complying Activity and written approval has been obtained from every person who may be adversely affected by the granting of resource consent.
	s94(1)	The proposal is a Controlled, Limited Discretionary, Discretionary or Non-complying Activity and written approval has not been obtained from every person who may be adversely affected by the granting of resource consent.
	s94(C)(1)	The applicant has requested the proposal be publicly notified.
	s94(C)(2)	There are special circumstances relating to this proposal which requires it to

	be publicly notified.
--	-----------------------

BASED ON THE ABOVE AND THE ATTACHED REPORT, THE APPLICATION SHOULD PROCEED:

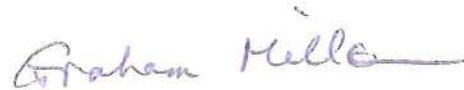
<input checked="" type="checkbox"/>	AS A NON-NOTIFIED APPLICATION IN TERMS OF SECTION 93(1).
<input type="checkbox"/>	AS A NOTIFIED APPLICATION IN TERMS OF SECTION 93(2).
<input type="checkbox"/>	AS A LIMITED NOTIFIED APPLICATION IN TERMS OF SECTION 94.

Record of Discretion prepared by:



Brendan Hogan
**PRINCIPAL PLANNER
(CONSENTS)**

Record of Discretion approved by:



Graham Miller
DIRECTOR OF ENVIRONMENTAL SERVICES

D E L E G A T E D R E P O R T

MEMORANDUM TO: CITY SECRETARY

APPLICANT	Upper Hutt Developments (No.7) Ltd	FILE No	352/62/199	DATE	25.3.04
LOCATION	Northern extension of Kirton Drive being Stage 10 of the subdivision of Riverstone Terraces, Upper Hutt.	LEGAL DESCRIPTION		Lot 700 LT 326871 comprised in Certificate of Title 109110 (yet to issue).	
PROPOSAL	To commence the Stage 10 subdivision of Riverstone Terraces. The proposal requires the following consents: <ul style="list-style-type: none">Subdivision and Land Use Resource Consent to create 119 residential lots ranging in net site area between 400m² and 1760m², and Lots 900, 901, 903, and 904 being balance lots having areas of 3.04ha, 3.37ha, 1.81ha and 12.59ha respectively. The application includes the necessary infrastructure and easements to facilitate the subdivision, including the vesting of Lot 504 as Road being the extension of Kirton Drive looping around in a southern direction. The proposed subdivision also includes Lot 902 which has an area of 6.36ha which is to vest as Recreation Reserve.				

ADDRESS FOR SERVICE	C/- James Lynch, Land Surveyor, Connell Wagner, PO Box 1591, Wellington.
PROPOSED DISTRICT PLAN (2001): ZONE	Residential
TRANSITIONAL DISTRICT PLAN(1994): ZONE	Residential General
CONSENT REQUIRED FOR: Subdivision Resource Consent is required under the Proposed and Transitional District Plans to subdivide creating 119 residential lots, and a road and recreation reserve to vest.	
TYPE OF ACTIVITY - PDP	Subdivision: Controlled (Rules 18.1 & 18.2)
TYPE OF ACTIVITY - TDP	Subdivision:- Lots 1-3, 5-17, 19-22, 26-36, 40-49, 53-55, 57-61, 63-94, 96-105, 109-110, 119, 900-904: Controlled (Ordinance 6.3.5); Lots 4, 18, 25, 37-39, 51-52, 56, 62, & 111-113: Discretionary (Ordinance 6.3.5 & 6.2.9); Lots 23-24, 50, 95, 106-108, & 114-118: Non-complying.
SITE DESCRIPTION: The proposed 119 residential lots are the tenth stage of subdivision at Riverstone Terraces, with Stages 1-6 having been completed, Stage 7 has resource consent having yet to be completed, and Stages 8 and 9 will be applied for at a later date. The subject land is located on the undeveloped northeastern portion of Riverstone Terraces and is located east of the developed sections at Kirton Drive. The land contains rolling topography and is currently utilized for pastoral grazing by livestock. The application states: <p><i>"The proposed subdivision is Stage 10 of Riversatone Terraces situated on the western side of the Hutt River on elevated land between Moonshine Road to the south and the Whakatiki River to the north.</i></p> <p><i>The site for Stage 10, located on Kirton Drive, is situated on land that lies to the east of Kirton Drive between Kirton Drive and Bulls Run Road on a northwest-southeast trending spur that rises in height from RL145m to RL170M. This land is the balance parcel resulting from the earlier 'Stage 6' subdivision to the south and is currently used as farmland, grazing cattle.</i></p>	

The legal description of the subject land for this application is Lot 700 LT 326871 (yet to deposit) comprised in Certificate of Title 109110 (yet to issue). It should be noted that Stage 10 will precede the approved Stage 7 subdivision. As a result Stage 7 will no longer refer to being a subdivision of Lots 700 and 701 LT 326871, as per the approved Stage 7 scheme plan, but rather a subdivision of Lot 701 LT 326871 and the balance allotment Lot 904 of this application (Stage 10)."

Neighbouring land to the west and north adjoining Kirton Drive and Grace Nicholls Grove is zoned for Residential purposes and has been subdivided and developed for residential housing. Land immediately to the south of the proposed Stage 10 subdivision is zoned for residential purposes and has yet to be subdivided for residential development and is currently utilised for pastoral grazing. Land further to the south at Riverstone Drive and James Nairn Grove has been subdivided into residential lots (Stage 6 subdivision of Riverstone Terraces). Stage 7 subdivision which involves the extension of Riverstone Drive has received resource consent. Adjoining land to the east contains a paper road from where the land falls away in an eastern direction to the gully containing the Whakatiki River. This area of land is zoned Rural (Hill) under the Proposed District Plan and contains a mixture of mature and regenerating bush.

ASSESSMENT OF EFFECTS:

The following is an evaluation of the proposed Stage 10 residential subdivision at Riverstone Terraces:

- **Subdivision Density and Development**

Riverstone Terraces is zoned for residential development, and in this regard the development of a further 119 residential lots is in accordance with the Objectives and Policies of the Transitional and Proposed District Plans as follows. Clause 1.2 of the Transitional District Plan contains Council's principal Objectives in the review of the District Plan including the following Objective: "1.2(a) To contain urban development within the limits of present zoning leaving the balance of the City in rural use." Policy 4.4.11 of the Proposed District Plan includes the following:

"4.4.11 To provide for new residential development within the City in a sustainable manner.

The edge of the urban area is defined primarily by a rural interface. Council generally intends to contain new residential development within the existing zoned urban area. Continuous expansion at the City's edge, while large parts of the urban areas remain undeveloped, does not constitute sustainable management."

Accordingly, the visual and environmental effects of the proposed 119 residential lots on Riverstone Terraces are anticipated and provided for by the residential zoning of the site under the Transitional and Proposed District Plans. The environmental effects arising from the construction effects of implementing the subdivision and infrastructure to service the Stage 10 subdivision will be temporary, and Resource Consent was granted on 10 March 2004 for the earthworks necessary to implement the Stage 10 subdivision. The Resource Consent for earthworks already granted was for a cut to fill volume of some 11000m³ with an excess fill volume of approximately 6000m³. The proposed Stage 10 subdivision is a logical extension of the existing residential subdivision at Kirton Drive. The proposed residential lots are in accordance with the density standards for the Residential Zone of the Proposed District Plan (PDP). Given the above, the environmental effects of the proposal, which include the density and form of the subdivision and the visual effects of urban development at Riverstone Terraces, are in accordance with that envisaged for the zone and locality under the Proposed District Plan.

Clause 13 of the Transitional District Plan contains Council's Development Control Objectives, and in respect of Subdivision Standards states:

"13.5 Subdivisional Standards

.....The planning objective of subdivisional controls is to ensure, as far as possible:

That the size and shape of allotments is appropriate to the range of uses and/or developments permitted in the particular zone concerned; and

That safe and adequate building sites are available in respect of the lots to be created."

The proposal satisfies the abovementioned Objective and is also in accordance with Objective 9.3.1 of the Proposed District Plan which states:

"9.3.1 The promotion of subdivision and development that is appropriate to the natural characteristics and landforms of the City, significant areas of indigenous vegetation and habitats of indigenous fauna, is consistent with the sustainable use of land, and has regard for walking, cycling and public transport."

The layout and density of the subdivision is appropriate to the natural characteristics of the land. In this respect the application states:

"The subdivision has been designed to relate to the site topography and to allow for views over the Hutt Valley. Relatively small volumes of earthworks are required to provide for access and house sites, with small gullies and areas of vegetation being retained where possible to maintain the natural features of the existing landform. As noted above, the layout of the subdivision has been modified to remove a link road to the Stage 7 subdivision, in order to avoid the need for large cuts and removal of vegetation."

All of the proposed 119 residential lots fully comply with the required subdivision standards of the Proposed District Plan which is the dominant District Plan. No references have been received to the subdivision standards of the Residential Zone of the Proposed District Plan and deemed to be operative as they are beyond the stage that they can be challenged or changed.

The proposed subdivision is in accordance with the following Objectives and Policies of the Transitional and Proposed District Plans which envisage the provision of a variety of types of residential development having due regard to environmental considerations and amenity values as follows:-

Clause 3 of the Transitional District Plan includes the following Policies on Residential Activities:

- "Clause 3.1 To maintain the maximum practical freedom of choice in the use and development of residential sites, while ensuring that all residential development provides and maintains a high standard of living environment."*
- "Clause 3.2 To provide for an adequate amount of choice of housing styles that respect the differing physical qualities and limitations of areas within Upper Hutt."*
- "Clause 3.6 To design development standards that provide for a variety of housing styles and development options, achieve acceptable standards of privacy, daylight receipt, design and onsite amenity, and are simple to understand and administer."*
- "Clause 3.8 To protect or enhance the distinctive quality and character of residential areas with particular features or amenity values."*
- "Clause 3.15 To recognise the varied terrain and development patterns of Upper Hutt and other unusual circumstances and provide flexibility of control through dispensation and waiver provisions and other forms of application for the Council's consent."*

The Proposed District Plan also envisages a choice of living styles in the Residential Zone as follows:

- "Objective 4.3.1 The promotion of a high quality residential environment which maintains and enhances the physical character of the residential areas, provides a choice of living styles and a high level of residential amenity."*
- "Objective 4.3.3 The management of the adverse effects of subdivision within residential areas."*
- "Policy 4.4.1 To provide for a range of building densities within the residential areas which takes*

into account the existing character of the area, topography and the capacity of the infrastructure."

"Policy 4.4.7 To promote a safe and efficient roading network which avoids, remedies or mitigates the adverse effects of road traffic on residential areas."

"Policy 4.4.11 To provide for new residential development within the City in a sustainable manner."

"Policy 4.4.12 To promote subdivision and residential development with a high level of amenity and ensure that it has adequate access to infrastructural requirements."

The proposed subdivision is in accordance with the abovementioned Objectives and Policies and residential development is anticipated and zoned for at Riverstone Terraces by the Transitional and Proposed District Plans.

Earthworks

The application states:

"All the necessary resource consents from Upper Hutt City Council and The Wellington Regional Council in connection with the earthworks required for this Stage have been applied for and granted. These earthworks relate mostly to the roading formation, along with some benching within selected allotments that front the proposed roads."

Council issued Resource Consent on 10 March 2004 for the earthworks necessary to implement the Stage 10 subdivision, and Council was satisfied that with the conditions of consent the environmental effects of the earthworks will not be more than minor, is consistent with the anticipated development for the site for residential purposes by the District Plans and is consistent with the overall Objectives and Policies of the Proposed and Transitional District Plans.

- **Socio-economic Effects**

It could reasonably be expected that the proposal could have a positive socio-economic effect for the City given the additional community involvement and revenue if development of an additional 119 residential lots is implemented.

- **Traffic**

In accordance with a condition of the Stage III subdivision approval at Riverstone Terraces, the applicant has completed improvements to the surrounding road network including the two laning of Moonshine Bridge and the upgrading of the intersection of Moonshine Hill Road and State Highway 2 to the requirements of Transit New Zealand for the entire future subdivision of Riverstone Terraces. Given the abovementioned earlier roading improvements to the roading network, and having regard that the traffic movements generated by an additional 119 residential lots will be dispersed throughout the day, the surrounding roading infrastructure will satisfactorily accommodate the proposed subdivision. The concept plan originally designed for Craigs Flat (re-named Riverstone Terraces) included a loop road. However, at the design stage of Stage VII it became evident to the subdivider that the steep topography of the land to the north provided practical limitations on achieving the loop road without providing significant earthworks which would have an adverse and significant environmental effect on the existing landform. In respect of traffic generation and access the application states:

"The roading infrastructure associated with the Riverstone Terraces subdivision has been designed to ensure that traffic volumes generated by the future development of the residential zoned land can be accommodated. This includes both the internal roading, and Moonshine Road and its intersection with State Highway 2. All roads therefore have the capacity to accommodate the growth in vehicle trips that will result from this residential subdivision."

In addition to the roads to be provided, it is proposed that the subdivision would include linkages to the pedestrian access and cycleways that were proposed as part of the Stage 7 subdivision. Further investigation has been undertaken on the Stage 7 accessway proposals and it has been found that the gradients of some parts of the pedestrian access linking to Stage 11 are too steep and large cuts would be required through the reserve to provide access. Accordingly, this section of pedestrian access has been removed from the plan. The revised plan is shown on Plan SK10, contained in Appendix 4.

The Stage 10 development would include the construction of a pedestrian accessway through the proposed recreational reserve. This accessway would be a bush track and would provide passive amenity during daylight hours, rather than a more active connection. The bush track would be timber edged and would be unlit.

Consideration has been given to 'Crime Prevention Through Environmental Design', as requested by Council in the design of these tracks. An active connection between the stages 11 and 7 would be constructed at the time of the Stage 11 subdivision. This track would be a pedestrian accessway and cycleway and would be sealed, open and well lit. It would therefore be considered to provide safe passage to users."

The application describes the proposed roading as follows:

"The new principal road (Road 1) is an extension of Kirton Drive from the north, running south approximately 500 metres to a cul de sac head that will be come the hub of a proposed loop road around the proposed Stage 11. This road is part of Lot 504 and has a proposed carriageway width of 12.5 metres that includes a 2.5 metre wide median strip. Footpaths shall be provided for on both sides of the carriageway, with a total road reserve width of 19 metres proposed.

Three additional roads are proposed to feed onto this main road. Roads 2 and 4 are both cul de sac's which access to the northeast and the southwest respectively while Road 3 is a crescent that provides loop access to the east. All are proposed to have carriageway widths of 6 metres and road reserves of 11 metres. Footpaths of 1.2 metres in width are to be provided on one side only for all 3 roads.

Three private ways have been included to provide access to the rear lots at the west of the subdivision. ROW 1 provides access to Lots 28 to 34 at the southern end of Road 4 and has a carriageway width of 4.5m with a 1.2 metre wide footpath to one side that provides pedestrian and cycle access through to the recreational reserve that will vest. This ROW is approximately 100 metres in length and incorporates a 1m wide passing bay midway to allow for practical two-way access. Both of the two other ROW's have 4.5 metre carriageway widths and a mountable kerb on one side but no footpath. ROW 2 is accessed from Road 4 and provides access to Lots 19 to 22 while ROW 3 comes off Road 1, near the entrance to the subdivision, and provides access to Lots 1, 2 and 4 to 6."

The abovementioned assessment indicates that the proposed roading system will satisfactorily accommodate the traffic needs of the proposed subdivision and will satisfactorily integrate with the existing roading network. Council's engineers have recommended conditions in respect of roading.

- **Ecosystems**

The subject land at Riverstone Terraces is zoned for residential development, and the proposed subdivision will result in the eventual erection of dwellings on the site. The erection of a single dwelling on its own site is within the 'Permitted Baseline' established by the Transitional and Proposed District Plans for the subject land. The design of the subdivision respects the existing landform by establishing the residential lots on the existing pastoral land with the lots being located clear of the vegetated gullies to the west and east of Stage 10. Stage 10 includes the vesting of the vegetated gully to the west of the proposed residential lots as recreation reserve. Resource Consent has already been granted for the earthworks to implement the Stage 10 subdivision of the site, and appropriate conditions of consent

have been included to mitigate any potential adverse environmental effects arising from the earthworks. The earthworks resource consent authorised the filling in of a small tributary gully that is currently open to stock grazing in the vicinity of Lots 69 & 70, 90 & 91 and 97 & 98 to be filled. Other than this small gully the proposed subdivision does not encroach into the existing vegetated gullies to the west and east of the Stage 10 site which assists in mitigating effects on the ecosystems of the Whakatiki River and the vegetated gullies. The application also states *"The balance Lot 900 is extensively bush clad and as such is intended to be vested as reserve at a later stage. The remaining balance Lots 901, 903 and 904 are to be subject to further residential subdivision that will entail Stages 7, 9 and 11 and may also result in further retained areas of bush being vested as reserve."*

- **Esplanade Reserve**

The proposed residential lots in the Stage 10 subdivision do not adjoin the Hutt or Whakatiki Rivers. Accordingly, an Esplanade Reserve is not required for the Stage 10 subdivision. The balance Lots 900, 904 and the balance land surrounding the approved Stage 7 adjoin the Hutt and Whakatiki Rivers and are likely to be the subject of further subdivision. The vesting of Esplanade Reserves adjoining the Hutt and Whakatiki Rivers will be applied at the time of the subdivision of the land adjoining the rivers.

- **Reserve Contribution**

The Transitional District Plan requires the reserve contribution on the basis of 4% of the land being subdivided, and the Proposed District Plan requires that where land is provided that it be at the rate of 130m² per each additional allotment created. On the basis of an additional 119 residential lots the Proposed District Plan requires a reserve contribution of 15,340m². Under the Transitional District Plan 4% of the net site area of the proposed 119 residential lots is 3,379.6m². In respect of the reserve contribution requirement the application for Stage 7 (the previously approved stage) stated:

"7.2 The reserve requirements of this proposed subdivision of 5200m² (40 x 130) are satisfied from the credit established by the vesting of land for reserves at Stages 5 and 6. After allowing for the lots created by those stages, a credit of 132 lots remains. The 40 lots created by this stage will then leave a credit of 92, less any allocation for other 'infill' developments at Riverstone Terraces."

The Stage VI subdivision of Riverstone Terraces included the vesting of a 1.1553ha recreation reserve (Lot 702 LT 326871) plus 20m wide Esplanade Reserve, and the Stage V subdivision of Riverstone Terraces included the vesting of a 1.5274ha recreation reserve (Lot 601 DP 322821) plus 20m wide Esplanade Reserve. The Recreation Reserves vested as part of the Stages V, VI and VII subdivisions are more than the District Plan requirement and result in a credit of reserve contribution for some 80 lots. The proposed subdivision has 119 residential lots, which with a credit of reserve contribution for 80 lots from the recreation reserves vested during Stages V, VI and VII, results in a Reserve Contribution requirement for 38 lots for the proposed Stage 10 subdivision. The proposed subdivision proposes to include the further vesting of a 6.36ha recreation reserve (proposed Lot 902) which contains a gully in regenerating bush, and the application proposes to include the development of a pedestrian walkway through the proposed reserve. The application states:

"In terms of reserves, it is proposed that a recreational reserve of approximately 6.36ha is vested in Council. This recreational reserve will provide passive recreational opportunities and the retention of the bush in this area will enhance the amenity of the subdivision. Consideration has also been given to opportunities for developing a active recreation area specifically for children in the vicinity of the Stage 10 subdivision. Two sites have been identified, being an area on Kirton Drive near the interface of Stages 6 and 9, or within Stage 11. The exact location of this reserve will be addressed at the time of the subdivision of these stages."

Council's Parks and Reserves Manager has considered the proposed vesting of proposed Lot 902 as recreation reserve and the Parks and Reserves Manager advises as follows:

"The proposed Recreation Reserve is a heavily vegetated steep sided gully which has the potential to be developed as a pedestrian walkway, linking various areas within the subdivision."

The provision of walkways is considered to be a desirable development, especially in built up areas, as it provides safe, interesting walking links to residents living in the area.

Council is still desirous of obtaining a reasonably level recreation area suitable for developing a local play area in the central area of the subdivision, especially where the section sizes are 500 to 1000 square meters.

Upper Hutt Developments have acknowledged this need and have agreed to make allowance for such a Reserve which will be addressed at the next stage of the subdivision.

Conclusion

The vesting of Lot 902 as Recreation Reserve would satisfy the subdivisional requirement for Stage 10 of the development on the understanding that an area suitable for a local play area will be provided in the next stage of development."

Accordingly, the reserve contribution requirement is satisfied by the previous recreation reserves vested and the 6.36ha (proposed Lot 902) to be vested in this Stage 10 application.

Hazards

The proposal is not affected by any known hazards. The Planning Maps (Urban Map No.s 14 & 24) of the Proposed District Plan indicate that the fault band of the Wellington Fault is located south of the proposed subdivision and approximately follows the alignment of the Hutt River in this location. The Assessment of Effects on the Environment submitted with a previous stage of subdivision at Craigs Flat/Riverstone Terraces stated "A comment on the Concept Plan in 1989 by the then Department of Scientific and Industrial Research⁷ stated that the Wellington Fault lies to the south of the development and is at least 50 metres, but more likely 700 metres, away from the nearest residential lot. The comment was made that the development shown on the concept plan was not considered to be exposed to the hazard of rupture by the Wellington fault."

Power Pylons

Rule 18.1 of the Proposed District Plan states that "Subdivision which creates building platforms within 20m of high voltage (110Kv or greater) electricity transmission lines" is a Limited Discretionary Activity. The nearest residential lot in Stage 10 is located some 110m from the power pylons.

• Cumulative Effects

With the conditions of resource consent addressing the physical and servicing aspects of the subdivision, and having regard that the visual effects of resultant development on the landscape are provided for by the zoning of the site under the Transitional and Proposed District Plans, it is considered that the cumulative environmental effects of the proposal are consistent with the environmental effects anticipated to occur in the locality by the District Plans.

Any mitigation measures or conditions:	See recommendation.
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This proposal is not contrary to the overall Objectives and Policies of the Transitional and Proposed District Plans.

EXPERTS CONSULTED & COMMENTS RECEIVED -

Engineers	An engineering memorandum from the Works Engineer dated 30 March 2004 is attached and recommends conditions in respect of general engineering standards, roading, water, wastewater disposal, stormwater, and easements.
Building	N/A
Environmental Health	N/A

Parks and Reserves	A memorandum from the Parks and Reserves Manager is attached and supports the vesting of Lot 902 as Recreation Reserve on the understanding that an area suitable for a local play area will be provided in the next stage of development. The submitted application addresses this matter, and a separate letter to the applicant will accompany the Notice of Decision advising the applicant of the need for a flat area of land to be provided for a local play area at the next stage of subdivision.
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CONCLUSION:

Riverstone Terraces is zoned for residential development and the proposal is in accordance with the density standards for residential development. The layout and servicing of the subdivision together with the land modification that is to occur has been designed to work with the natural contours and topography of the site. The proposed residential subdivision is in accordance with the form of development envisaged for the locality by the Proposed and Transitional District Plans. The infrastructure will satisfactorily meet the servicing needs of the proposed subdivision and will have no adverse environmental effects for the locality. In view of the above, together with the imposition of the recommended conditions of consent, it is considered that the actual, potential and likely cumulative environmental effects of allowing the proposed subdivision are consistent with the environmental effects anticipated to occur in the locality by the District Plans. Accordingly, the application can be approved.

RECOMMENDATION:

THAT pursuant to Sections 104, 104A, 104C, 108 and 220 of the Resource Management Act 1991, Council grant consent to the Plan of Subdivision creating 119 residential lots with balance lots, roads and recreation reserve to vest, and associated infrastructure and easements to facilitate the subdivision of Lot 700 LT Plan 326871 on the undeveloped north eastern portion of land at Riverstone Terraces.

Consent is granted subject to the following conditions:

- 1.0 That the subdivision shall be substantially in accordance with the plans and details submitted with the Resource Consent application.
- 2.0 That the attached engineering conditions 1.0 to 6.3 inclusive contained in the Memorandum dated 30 March 2004 from the Works Engineer shall be complied with.
- 3.0 That Council accepts the vesting of Lot 902 as Recreational Reserve including the construction of the walkway to satisfy the Reserve Contribution for the Stage 10 subdivision.

REASONS FOR RECOMMENDATION:

- 1.0 Riverstone Terraces is zoned for residential development and the subdivision is in accordance with the development that is anticipated for the locality by the Proposed and Transitional District Plans.
- 2.0 With the conditions of Resource Consent addressing the physical and servicing aspects relating to the subdivision, the environmental effects of the proposal are consistent with the environmental effects anticipated to occur in the locality by the District Plans, and the subdivision represents an efficient use of urban land.
- 3.0 The proposal is consistent with the overall residential Objectives, Policies and Density Standards of the Proposed and Transitional District Plans.

Report Prepared By:



Brendan Hogan
PRINCIPAL PLANNER
(CONSENTS)

Report Approved By:

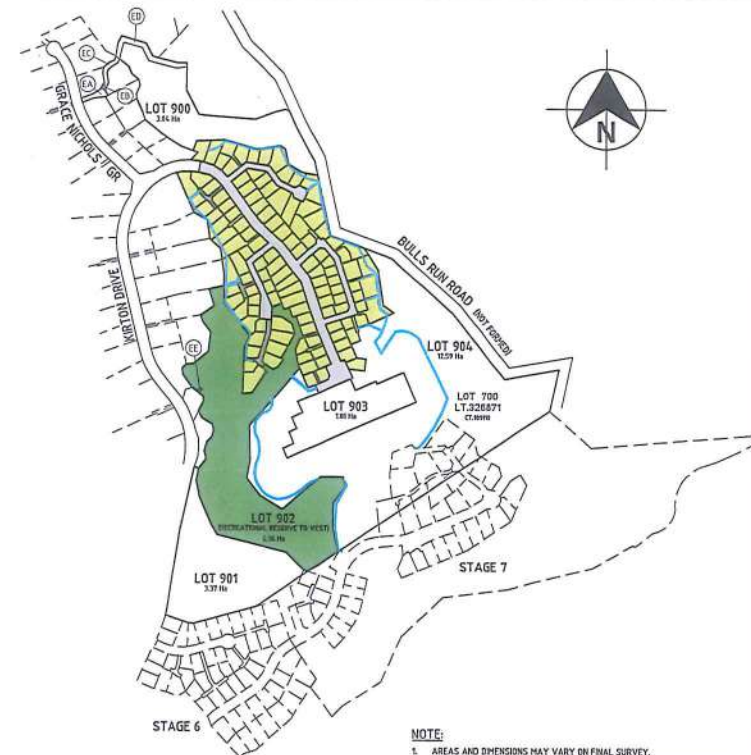
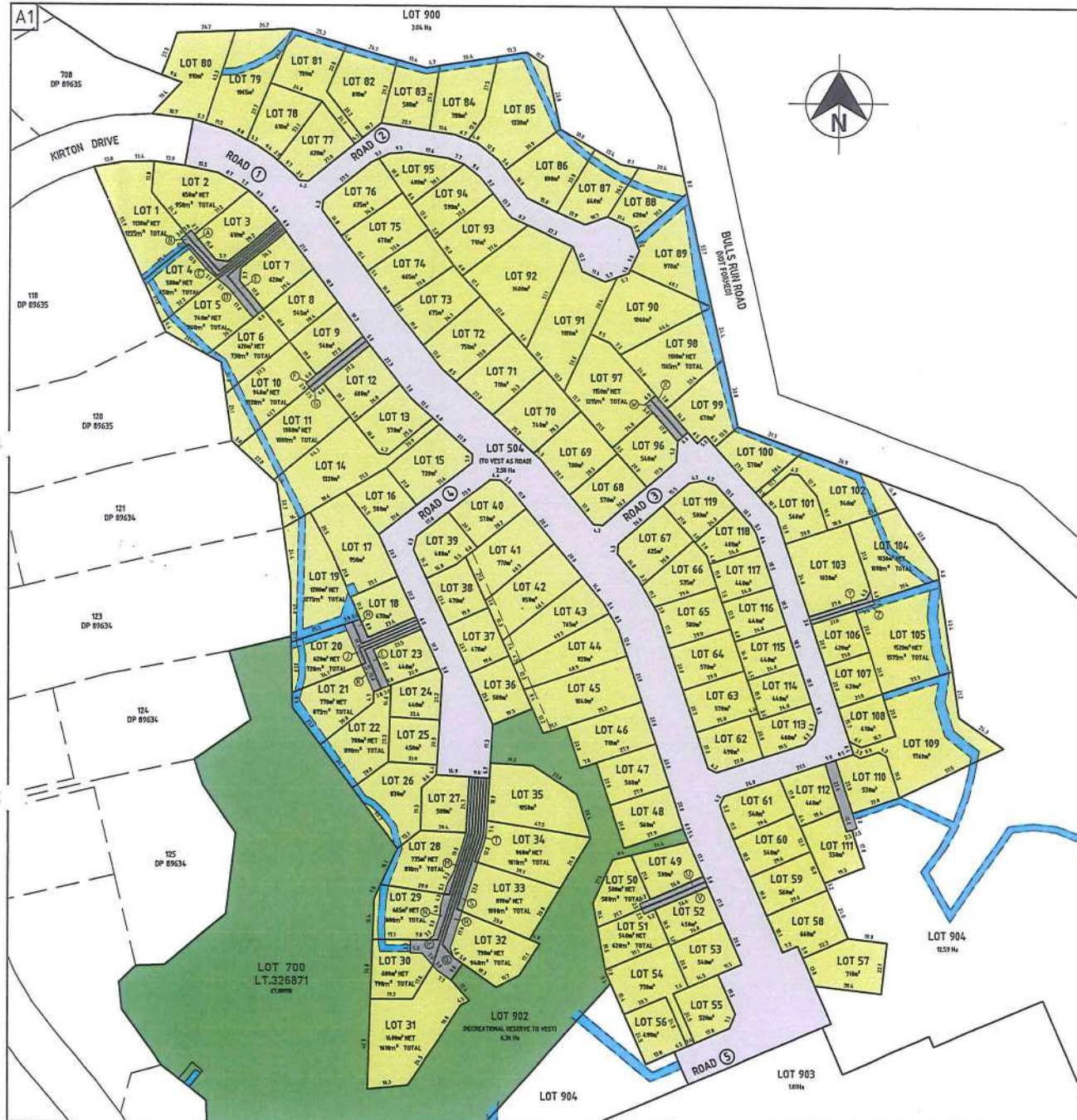


Graham Miller
DIRECTOR OF ENVIRONMENTAL SERVICES

Consent Granted on 19 April 2004 By:



B Dodson
CITY SECRETARY



OVERALL SCHEME PLAN
SCALE 1:5000

- NOTE:**
- AREAS AND DIMENSIONS MAY VARY ON FINAL SURVEY.
 - OTHER EASEMENTS MAY BE REQUIRED FOR DRAINAGE LINES ACROSS LOTS.
- LEGEND:**
- DRAINAGE EASEMENT TO BE CREATED IF REQUIRED BY THE UPPER HUTT CITY COUNCIL.

SCHEDULE OF EXISTING EASEMENTS			
PURPOSE	SHOWN	SERVIENT, TEN.	GRANTED BY
RIGHT OF WAY, RIGHTS TO: DRAIN SEWAGE & WATER CONVEY WATER SUPPLY, ELECTRICITY SUPPLY, GAS & TELECOMMUNICATIONS.	(A) (B) (C) (D)	LOT 900	E.C.B.796938.7
RIGHT TO WATER DRAINAGE.	(E)	LOT 902	
RIGHT TO DRAIN SEWAGE (IN GROSS)	(F) (G)	LOT 900	T.B.8796938.8

SCHEDULE OF PROPOSED EASEMENTS			
PURPOSE	SHOWN	SERVIENT, TEN.	DOMINANT, TEN.
RIGHT OF WAY, RIGHTS TO: DRAIN SEWAGE & WATER CONVEY WATER SUPPLY, ELECTRICITY SUPPLY, GAS & TELECOMMUNICATIONS.	(A) (B) (C) (D) (E) (F) (G) (H) (I) (J) (K) (L) (M) (N) (O) (P) (Q) (R) (S) (T) (U) (V) (W) (X) (Y) (Z) (AA)	LOT 2 LOT 1 LOT 4 LOT 5 LOT 6 LOT 10 LOT 11 LOT 19 LOT 20 LOT 21 LOT 22 LOT 28 LOT 29 LOT 30 LOT 31 LOT 32 LOT 33 LOT 34 LOT 50 LOT 51 LOT 97 LOT 98 LOT 104 LOT 105 LOT 106	1, 4 - 6 2, 4 - 6 1, 2, 5 & 6 1, 2, 4 & 5 11 10 19 & 21-22 19, 20 & 22 19-21 29-34 29 & 30-34 29, 29 & 31-34 29-30 & 32-34 29-31, 33 & 34 29-32 & 34 29-33 51 50 10 97 105 104 111

PRELIMINARY

Connell Wagner

Connell Wagner Limited
Lumley House, 3 Hunter Street (PO Box 1591)
Wellington New Zealand
Telephone: +64 4 472 9680
Facsimile: +64 4 472 9022
Email: connell@connellwagner.com

Client:

UPPER HUTT
DEVELOPMENTS (7) LTD

Project:

RIVERSTONE TERRACES
UPPER HUTT
STAGE 10

Drawn	Signed	Date
DWSB	[Signature]	16.03.04
Designed	Signed	Date
JDL	[Signature]	16.03.04
Verified	Signed	Date
MCG	[Signature]	16.03.04
Approved	Signed	Date
BAM	[Signature]	16.03.04

Drawing Title:

LOTS 1 - 119, 504 AND 900-904
BEING A SUBDIVISION OF
LOT 700 LT. 326871

CW Project No.	7400 50 LL
Scale	1:1000 - A1 1:2000 - A3
Drawing No.	SU101
Rev.	01

Rev.	Date	Revision Details	By	Ver.	App.
01	08/03/04	FOR INFORMATION	JDL		

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Website: www.upperhuttcity.com

Damibri Ltd
4 Carlow grove
UPPER HUTT

File: 352/62/851
Ref: SP:kp

4 October 2006

Dear Sir

RE: APPLICATION FOR RESOURCE CONSENT - 14 RONALD SCOTT GROVE

NOTICE OF DECISION

Pursuant to Section 101 of the Resource Management Act 1991, I hereby notify the decision of the Upper Hutt City Council's Hearings Committee (under delegated authority) in respect of this application for a Resource Consent.

If you are dissatisfied with the decision you have the right to appeal to the Environment Court. Your appeal must be filed (and a copy served on the Council) within fifteen (15) working days of notice of the decision being received by you. This letter is notice of the decision.

For your information, the office of the Environment Court is on the 5th Floor of the District Court Building, which is situated on the corner of Balance and Stout Streets (with entrance from Balance Street). The postal address is:

The Registrar
Environment Court
P O Box 5027
WELLINGTON

Telephone: (04) 915-8300
Fax: (04) 915-8303

The decision, with reasons, is as follows:

DECISION

The Committee's decision was to GRANT consent to the undertaking of earthworks on the property at 14 Ronald Scott Grove, Upper Hutt (Lot 20 DP 340295) subject to the following conditions:

1.0 General

- 1.1 The proposal shall proceed in accordance with the modified plans and details submitted including those attached marked A and B and all**

conditions specified below.

- 1.2 All areas of exposed earthworks shall be grassed or hydroseeded within 3 months of their substantial completion.
- 2.0 Engineering
 - 2.1 The applicant for this Landuse Consent shall comply with the sections of Council's Code of Practice For Civil Engineering Works which are relevant to this application except as modified by conditions below:
 - 2.2 The IQP for this development will be the Upper Hutt City Council.
 - 2.3 Should the developer plant any trees/shrubs within the drainage easements on this property then the Council will not be responsible for any damage caused to the trees/shrubs when having to carryout maintenance and/or the replacement of the existing pipes within the property.
- 3.0 Earthworks:
 - 3.1 The Developer shall ensure that work associated with the development of the site, especially the earthworks, does not result in dirt, clay, rocks, debris etc being deposited on any public roads. Should this occur then the Developer shall take immediate measures to clean it up.

Note: The developer shall bring to the attention of his contractor the presence of the wastewater and stormwater mains located on the property.
 - 3.2 Stormwater Control:
 - 3.2.1 As required in the Code of Practice the Developer shall control all surface water and sub-surface water from the area of the earthworks. All erosion and sediment control measures shall be designed and constructed in accordance with that Greater Wellington guideline document entitled "Erosion and Sediment Control Guidelines for the Wellington Region dated September 2002".
 - 3.2.2 The developer shall be responsible for maintaining the erosion and sediment control measures referred to in Condition 3.2.1 above throughout the construction period and until ground cover is established.
 - 3.2.3 Where the development work alters the flow of surface water on or from the area of the development, then the developer shall put in place adequate measures to deal with both the surface water and stormwater runoff generated from the development so as to not cause any nuisance or damage to other land.

REASONS FOR THE DECISION

- 1. The modified proposal is consistent with the overall objectives and policies of the District Plan.
- 2. With conditions addressing the physical and servicing aspects relating to the earthworks, the environmental effects of the modified proposal will not be more than minor.

3. Given the sloping topography of the site the proposed earthworks are considered reasonable and necessary to provide a practical building platform and the proposed dwelling and earthworks comply with sunlight access standards of the District Plan. The modified proposal is consistent with the standard of residential amenity anticipated for the site and locality by the District Plan, and is in keeping with the standard of earthworks on many sites at Riverstone Terraces.

BACKGROUND

This was an application by Michael Pye and Bronwyn Hussey to undertake earthworks to create a building platform, driveway, and landscaped garden area on the property at 14 Ronald Scott Grove, Upper Hutt.

The application was the subject of limited notification and attracted one submission. After the closing date for notification, the applicants submitted a modified proposal. The modified proposal was circulated to the submitter and to the other adjoining property owner.

ACTIVITY STATUS

In accordance with Rule 23.1 of the District Plan the proposal requires consent as a limited discretionary activity due to not complying with permitted activity standards for the depth of fill and the physical extent of earthworks as prescribed by Rules 23.3 and 23.5 of the District Plan.

The maximum depth of fill will be approximately 2 metres [compared to the permitted depth of 0.5 metres] and the physical extent of the earthworks will be approximately 750 square metres [compared with the permitted standard of 150 square metres].

RELEVANT STATUTORY PROVISIONS

The Committee considered that Sections 104 and 104C of the Resource Management Act 1991 were relevant to the consideration of this application.

Section 104C of the Resource Management Act 1991 states that a consent authority must consider only those matters specified in the plan to which it has restricted the exercise of its discretion and may grant or refuse the application. If it grants the application it may impose conditions under Section 108 only for those matters specified in the District Plan over which it has restricted the exercise of its discretion.

RELEVANT DISTRICT PLAN OBJECTIVES AND POLICIES

The following objectives and policies were considered by the Committee to be relevant:

1. **Objective 9.3.1** The promotion of subdivision and development that is appropriate to the natural characteristics, landforms, and visual amenity of the City, significant areas of indigenous vegetation and habitats of indigenous fauna, is consistent with the sustainable use of land, and has regard for walking, cycling and public transport.
2. **Policy 9.4.1** To ensure that earthworks are designed and engineered in a manner compatible with natural landforms, significant areas of vegetation and habitats of indigenous fauna, the amenity of an area, and the mitigation of natural hazards.

Clause 23.12 of the District Plan lists the matters to which Council's discretion is limited, and may impose conditions on, when assessing this application for Resource Consent. The relevant Clause lists the following matters:

23.12 Policies

- 9.4.1, 9.4.2 Council will limit its discretion to, and may impose conditions on:
- Avoiding, remedying or mitigating effects related to the standard in question.
 - Financial contributions.

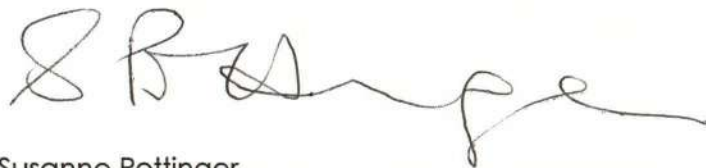
EVIDENCE

The evidence that the committee had before it was:

1. The application made by the applicant including the modified proposal.
2. The submission from Sun Homes Ltd.
3. The Planner's report.
4. The submissions made and evidence given at the hearing, on behalf of the applicant

MAIN FINDINGS OF FACT

The Committee was satisfied that the modified proposal was reasonably required to achieve the development of the site and that, with the conditions of consent, the development would not impact adversely on neighbouring properties.



Susanne Pottinger
CORPORATE PLANNING OFFICER