

LAND INFORMATION MEMORANDUM REPORT

LIM NUMBER: L250454

8 BEECHWOOD LANE, UPPER HUTT

VALUATION NUMBER:	1519062900
LEGAL DESCRIPTION:	LOT 37 PART LOT 38 DP 7447
LIM APPLICANT:	Mr T R Norkett
LIM ISSUE DATE:	23/09/2025

NOTES TO THE APPLICANT:

1. This Land Information Memorandum has been prepared for the purposes of section 44A of the Local Government and Official Information and Meetings Act 1987 and includes all of the information required to be provided pursuant to section 44A(2) that is known to the Upper Hutt City Council relevant to the land described.
2. It contains all the information described in section 44A(2) that is held by Upper Hutt City Council in relation to the land, as at the date above. It is based on a search of the Council's records only and there may be other information relating to the land which is not held by the Council. The records may not show illegal or unauthorised structures or other work on the land.
3. Every care has been taken to ensure that the information supplied by the Council on this form is accurate. The Council relies on the information available to it and will not be held responsible for incomplete or inaccurate information provided, or for any errors or omissions made in good faith.
4. Property boundaries shown on attached copies of computer generated plans or aerials are based on the Digital Cadastral Data Base and photogrammetric methods. The accuracy of the two methods of data capture is different and the relationship of buildings to boundaries cannot be relied on. Council does not hold official property boundary information. Relevant records of title and boundary dimension information should be obtained from the Land Information New Zealand.

44A (2)(a) Information Identifying Special Features or Characteristics of the Land

The Upper Hutt Region is an earthquake Zone 3 as cited in NZS3604:2011 Timber-framed buildings and NZS1170.5:2004 Structural design actions – Part 5: Earthquake actions – New Zealand.

44A (2)(b) Information on Private and Public Stormwater and Sewerage drains

Stormwater and Sewage

The property wastewater (sewer) drain discharges to the public wastewater reticulation in the street.

All wastewater from Te Marua (including Beechwood Lane) discharges to a public wastewater pump station. To avoid blockages with the operation of the pumps we seek the co-operation of the properties connected to a pumped system to avoid flushing paper towels, wipes and other non-flushable material into the wastewater system that could clog the pumps. Although some material may be advertised as bio-degradable they are detrimental to the effective operation of the pumps.

Stormwater drainage serving the property is private. Private is either on-site soakage or private through to the point of discharge to the public stormwater drainage.

Plumbing and Drainage Permits

- 15/10/1979 Plumbing Permit 5468 Plumber - S G Weddell Sanitary Plumbing for Additions to New Dwelling Approved
- 15/10/1979 Drainage Permit 5472 Drainlayer - W Bull Sanitary Drainage for Additions to New Dwelling Approved
- 25/05/1979 Plumbing Permit 5321 Plumber - S G Weddell Installation of Wetback in Existing Open Fireplace Approved
- 17/10/1978 Drainage Permit 4964 Drainlayer - Wayne Bull Connect Sewer from Septic Tank to New Sewerage Connection Approved

44A(2)(ba) Section 69ZH Health Act 1956

No information located.

44A(2)(bb) Drinking Water Supply

Public network supply – refer to the UHCC Water Supply Bylaw: <https://www.upperhuttcity.com/files/assets/public/community/water-supply-bylaw-2008-2022-04.pdf>

Onsite Water Supply

The point of supply for water is the water toby valve in the street.

44A(2) Any rates owing in relation to the land

Rates owing at the LIM application date: \$160.23

Note: the above figure is the amount of rates owing for the applicable quarter and does not account for full rates of a year (July 1st – June 30th).

For further information regarding rates, contact rates@uhcc.govt.nz

Warm Wellington Insulation Grant

Please contact Greater Wellington Regional Council to find out if a Warm Greater Wellington financial advance is associated with this property on 0800 496 734 or warm@gw.govt.nz

44A(2)(d); (da); (e) - consent, certificate, notice, order, or requisition the land or any Buildings on the Land

Alcohol Licenses

No information is held by Upper Hutt City Council.

Registered Environmental Health Premises

No information is held by Upper Hutt City Council.

Resource Consents

Note: if the land is part of a cross lease title or unit title, consents and permits for the other flats or units may be included in this LIM. If the land has been subdivided there may be consents and permits included that relate to the original property. It is recommended that the full property file is viewed and compared with the actual structure(s) and activities on the land to identify any illegal or unauthorised building works or activities.

- No information is held by Upper Hutt City Council.

If you require more information about a resource consents, contact resourceconsents@uhcc.govt.nz

Building Consents and Permits

- 1/06/1994 BUILDING CONSENT 3824: F/S FIRE & WETBACK (KENT SPECTRA): Code Compliance Certificate 11/08/1994
- 26/06/1986 Building Permit D065924 New Garage: Approved
- 12/10/1979 Building Permit J92615 Additions: Approved
- 3/05/1971 Building Permit 72717 Shower Room and Toilets: Approved
- 23/09/1954 Building Permit 11889 Addition to Dwelling: Approved

If you require more information about a building consent or permit, please contact the building team at buildingadmin@uhcc.govt.nz

Notes:

1. Code Compliance Certificate may only be issued for Building Consents. When a Building Consent is amended the amendment becomes part of the original Building Consent. The Code Compliance Certificate when issued also certifies the work described in the amendment and a separate Code Compliance Certificate for the amendment will not be issued.
2. Code Compliance Certificates were only issued from 1 July 1992 onwards.
3. Final inspections on buildings were not mandatory prior to 1 January 1993. Should an evaluation of the building be required an independent qualified person should be consulted. In the interests of safety, an inspection of any fireplace within the dwelling may be requested of Council at any time, after paying the appropriate fee.

Pools

No pool is registered to this site. If you do have a Spa Pool or Pool please contact the Council on pools@uhcc.govt.nz.

Spa pools and swimming pools need to comply with F9 Code Clause, Means of restricting access to residential pools.

44A(2)(ea) Information notified to Council under Section 124 Weathertight Homes Resolution Services Act 2006

No information is held by Upper Hutt City Council.

44A(2)(f); (g); (h) - Classification of Land and Buildings

Earthquake prone buildings (Section 124 Building Act 2004)

No information is held by Upper Hutt City Council.

Conditions of Notice to Rectify

No information is held by Upper Hutt City Council.

Conditions of Dangerous and Insanitary Buildings

No information is held by Upper Hutt City Council.

Zoning

District Plan Zone: General Residential Zone.

Full details of the zone requirements can be found in the Upper Hutt City Council Operative District Plan 2004 (<https://www.upperhuttcity.com/Your-Council/Plans-policies-bylaws-and-reports/District-Plan>)

District Plan Overlays or Features:

Hazards:

A map showing known hazards in the area (if any) is attached to this report.

- Slope Hazard.

Other Features or Overlays

- Southern Hills Overlay (Landscape and Visual)
- Precincts – Indigenous Biodiversity
- This property features a draft Significant Natural Area (UH042 Mt Marua Hillside Forest and Scrub) identified as part of Plan Change 48A. Plan change 48 seeks to give effect to Policies 23 and 24 of the Regional Policy Statement for the Greater Wellington Region. More information on this plan change can be found here: <https://www.upperhutt.govt.nz/Services/District-Plan/PC48A> or email planning@uhcc.govt.nz.

Full details of overlays and features can be found in the Upper Hutt City Council Operative District Plan 2004 (<https://www.upperhuttcity.com/Your-Council/Plans-policies-bylaws-and-reports/District-Plan>)

District Wide Proposed Plan Changes:

PC50 - Rural

Council has recently notified a plan change (Plan Change 50) relating to the rural zone. Further submissions on this plan change have now closed and Council are currently reviewing feedback. Further information can be found at: <https://www.upperhuttcity.com/Your-Council/Plans-policies-bylaws-and-reports/District-Plan/PC50> or by contacting the Planning Policy team at: UHCC.Planning@uhcc.govt.nz

PC54 - Commercial/Industrial

Commercial and Industrial zones are currently being reviewed as part of Plan Change 54 (Commercial and Industrial Captors Review). Further information can be found at: <https://www.upperhuttcity.com/Your-Council/Plans-policies-bylaws-and-reports/District-Plan/PC54> or by contacting the Planning Policy team at: UHCC.Planning@uhcc.govt.nz

44A(2)(h) - Network Utility Operators

Information related to the availability of supply, authorisations etc (eg, electricity or gas) can be obtained from the relevant network utility operator.

Other Information – 44A(3)

No title search has been done on this property. Upper Hutt City Council may hold information that is additional to the information provided in this LIM. This can be obtained by making an official information request under the Local Government Official Information and Meetings Act 1987.

Plumbing and Drainage

L250454 - SERVICES



PROPERTY INFORMATION	UHCC 3 WATERS SERVICES
Land Parcel	Water Hydrant
Title	Water Service Valve
Non-Primary Parcel	Water Valve
PRIVATE DRAINAGE	Fire Service Valve
Stormwater Inlet	UHCC Water Reservoir/Tank
Stormwater Joint	Other Water Reservoir/Tank
Stormwater Lamphole	Water Pumpstation
Stormwater Manhole	Water Pump
Stormwater Outlet	Water Meter
Stormwater Soakpit	Water Fitting
Stormwater Sump	Water Transmission Main
Wastewater Manhole	Water Pipe
Wastewater Septic Tank	Water Rider Main
Water Tank	Wastewater Pumpstation
Water Valve	Wastewater Pump
Unknown	Wastewater Manhole
Stormwater Pipe	Wastewater Lamphole
Wastewater Pipe	Wastewater Valve
Potable Water Pipe	Wastewater Chamber
Abandoned Stormwater Pipe	Wastewater Pump or Pumpstation
Abandoned Wastewater Pipe	Wastewater Wastewater Node
Abandoned Potable Water Pipe	Wastewater Pressure Pipe
	Wastewater Trunk Main
	Wastewater Main
	Other Wastewater Pipe Value
	UHCC Wastewater Connection Pipe
	Private Wastewater Connection Pipe
	Other Wastewater Connection Pipe
	Stormwater Pumpstation
	Stormwater Manhole
	Stormwater Inlet
	Stormwater Outlet
	Stormwater Node
	Stormwater Open Channel
	Stormwater Pipe
	Other Stormwater Pipe Value
	Stormwater Connection Pipe
	Abandoned Water Pipe - Asbestos Cement
	Abandoned Water Pipe - Not Asbestos Cement
	Abandoned Wastewater Node
	Abandoned Stormwater Node
	Abandoned Wastewater Pipe
	Abandoned Stormwater Pipe

This map is provided in good faith for indicative purposes only and by using it you acknowledge that UHCC is not liable to you for any costs, losses or damages you suffer as a result of relying on this map. UHCC assumes no responsibility for the completeness or accuracy of the data displayed. Property boundaries may not be survey-accurate and can only be verified by a licensed cadastral surveyor. Cadastral information is derived from Land Information New Zealand. Crown Copyright Reserved.
Map printed 12 September 2025.

Upper Hutt City Corporation

See Plan Over.

APPLICATION

FOR PERMIT TO HAVE DRAINAGE AND PLUMBING WORK CARRIED OUT.

I, the undersigned (name in full) _____ hereby make application for permission to have the work prescribed herein, and set out in the plans hereto, carried out in the premises situated:—

Lot 37 D.P. _____ Section _____

Street 8 Beechwood Lane

Owner _____ BUILDER'S NAME _____

Description of Work Sanitary Plumbing & Drainage for

additions to new dwelling.

I hereby nominate the following Registered Tradesman,

Plumber S G Woodell Signature of Registered Plumber [Signature]

of _____ (full address) Date 5-11-79

Drainlayer W Bull Signature of Registered Drainlayer _____

of _____ (full address) Date _____

to carry out this work, all of which will be carried out in accordance with the by-laws of the Upper Hutt City Corporation, and the Drainage and Plumbing Regulations.

Value of Proposed Work (including materials):

Estimate cost of: Plumbing \$ 800-00 Permit Fee \$ 33-00

Drainage \$ 100-00 Permit Fee \$ 5-50

TOTAL \$ _____ \$ _____

Signature of Applicant _____

Address: _____

Date: _____ 19 _____

FOR OFFICE USE ONLY.

Plumbing Permit No. 5468 Date 15th Oct 19 79

Receipt No. 1936 Date 5th Oct 19 79

Drainage Permit No. 5472 Date 15th Oct 19 79

Receipt No. 1936 Date 5th Oct 19 79

Plumber Completing Work: Name _____

Drainlayer Completing Work: Name _____

Date of Inspection _____ 19 _____

Completion Certificate No. _____ Date _____ 19 _____

Water Connection _____

Remarks _____

Upper Hutt City Corporation

See Plan Over.

APPLICATION

FOR PERMIT TO HAVE DRAINAGE AND PLUMBING WORK CARRIED OUT.

I, the undersigned (name in full) _____ hereby make application for permission to have the work prescribed herein, and set out in the plans hereto, carried out in the premises situated:—

Lot 38 D.P. 2647 Section _____
Street 8 BEECHWOOD LANE TE-MARUA
Owner M.A. HAASE 269-776 BUILDER'S NAME
Description of Work Installation of wet back in existing open fire place and connect to Hot Water Cylinder

I hereby nominate the following Registered Tradesman,

Plumber S. G. Weddell Signature of Registered Plumber [Signature]
of 32 Moonskin Rd. (full address) Date 25-5-79
Drainlayer _____ Signature of Registered Drainlayer _____
of _____ (full address) Date _____

to carry out this work, all of which will be carried out in accordance with the by-laws of the Upper Hutt City Corporation, and the Drainage and Plumbing Regulations.

Value of Proposed Work (including materials):

Estimate cost of: Plumbing \$ 900 Permit Fee \$ 5-50
Drainage \$ _____ Permit Fee \$ _____
TOTAL \$ _____ \$ _____

Signature of Applicant [Signature]

Address: 8 BEECHWOOD LANE

Date: 25-5-79 1979

FOR OFFICE USE ONLY.

Plumbing Permit No. 5321 Date _____ 19____
Receipt No. 13069 Date _____ 19____
Drainage Permit No. _____ Date _____ 19____
Receipt No. _____ Date _____ 19____
Plumber Completing Work: Name _____
Drainlayer Completing Work: Name _____
Date of Inspection 14/6 1979
Completion Certificate No. _____ Date _____ 19____
Water Connection _____
Remarks _____

Upper Hutt City Corporation

APPLICATION

FOR PERMIT TO HAVE DRAINAGE AND PLUMBING WORK CARRIED OUT.

See Plan Over.

I, the undersigned (name in full) _____ hereby make application for permission to have the work prescribed herein, and set out in the plans hereto, carried out in the premises situated:—

Lot 38 D.P. 7447 Section _____

Street BEECHWOOD LANE

Owner M. A. HAASE BUILDER'S NAME _____

Description of Work Connect sewer from septic tank to new sewerage connection

I hereby nominate the following Registered Tradesman,

Plumber _____ Signature of Registered Plumber _____

of _____ (full address) Date _____

Drainlayer Wayne Bull Signature of Registered Drainlayer _____

of 16A Maher Street U.H. (full address) Date 16-10-78

to carry out this work, all of which will be carried out in accordance with the by-laws of the Upper Hutt City Corporation, and the Drainage and Plumbing Regulations.

Value of Proposed Work (including materials):

Estimate cost of: Plumbing \$ _____ Permit Fee \$ _____

Drainage \$ 100-00 Permit Fee \$ 5-50

TOTAL \$ _____ \$ _____

Signature of Applicant _____

Address: _____

Date: _____ 19____

FOR OFFICE USE ONLY.

Plumbing Permit No. _____ Date _____ 19____

Receipt No. _____ Date _____ 19____

Drainage Permit No. 4964 Date 17th Oct 1978

Receipt No. 152076 Date 17th Oct 1978

Plumber Completing Work: Name _____

Drainlayer Completing Work: Name _____

Date of Inspection 17th Oct 1978

Completion Certificate No. _____ Date _____ 19____

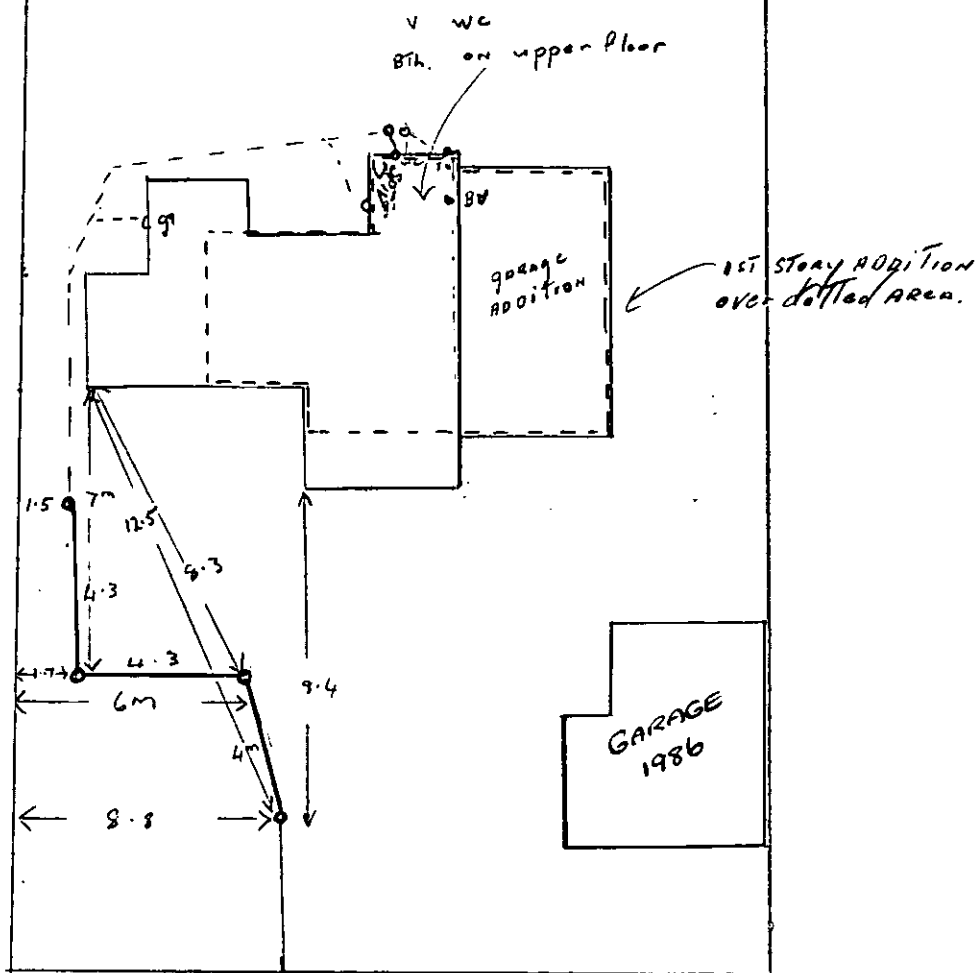
Water Connection _____

Remarks _____

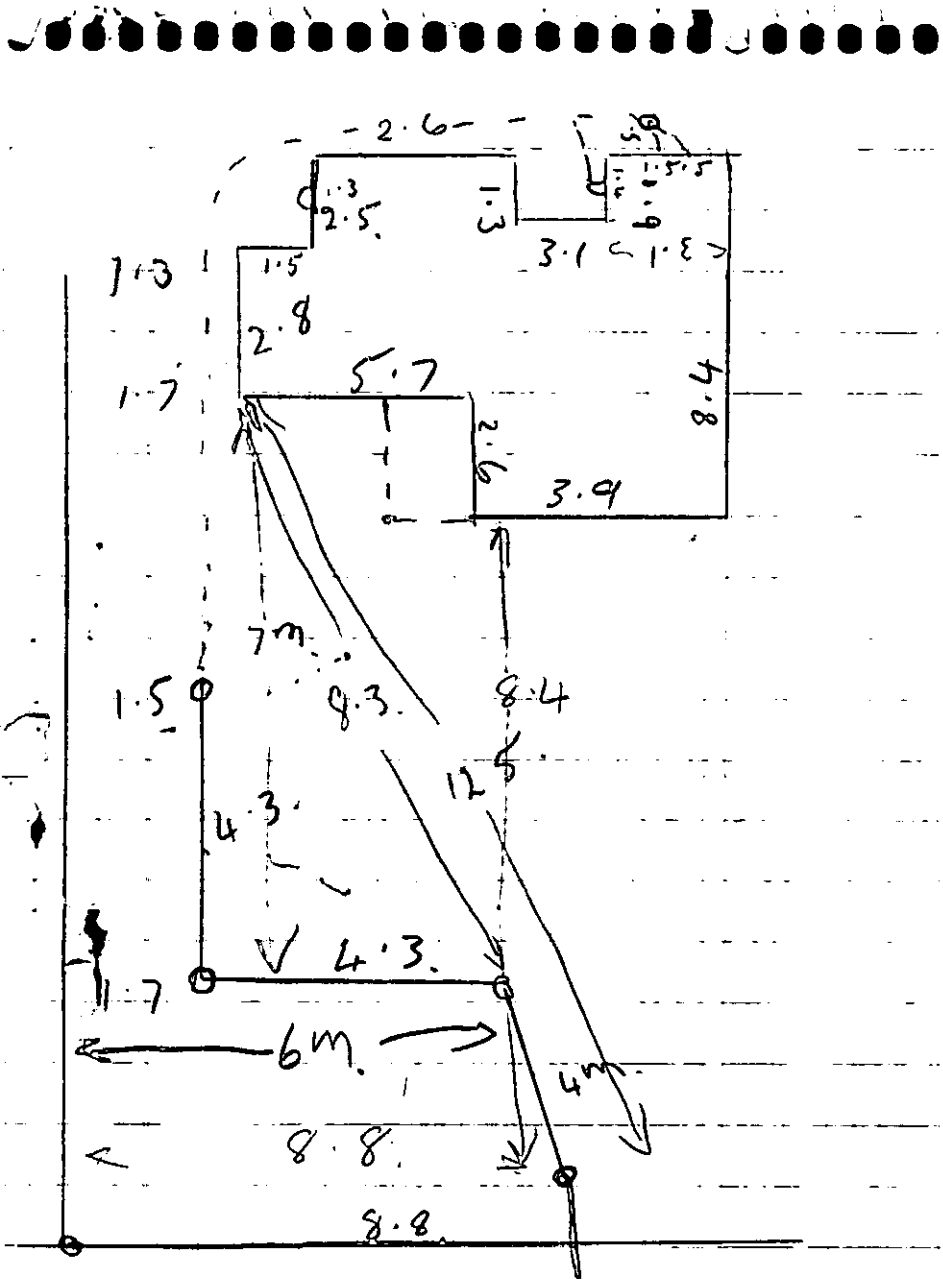


METRIC SCALE

1:200.



FRONT BOUNDARY CANNOT be defined.



8 Beechwood Lane
 W Burt Lake 12/10/78.



Building



Upper Hutt City Council

CODE COMPLIANCE CERTIFICATE No: **3824**

(Cross each applicable box and attach relevant documents)

Building Consent No: **3824**

PROJECT	
New or relocated building	☐
Alteration	☒
Intended use(s) (In detail)	
F/S FIRE TO EXT. WET BACK SYSTEM.	
Intended life:	
Indefinite but not less than 50 years	☐
Specified asyears	☐
Demolition	☐
Being stage.....of an intended stages.	

PROJECT LOCATION
Street address (If any): 8 BEECHWOOD LANE TEMARUA U/H
Legal description : LOT 37 DP 7447
COUNCIL CHARGES
The Council's total charges payable on the uplifting of this code compliance certificate, in accordance with the attached details, are:
\$.....
Receipt No:.....

This is

- ☒ A final code compliance certificate issued in respect of all of the building work under the above building consent
- ☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent
- ☐ This certificate is issued subject to the conditions specified in the attachedpage(s) headed "Conditions of Code Compliance Certificate No....." (being this certificate)

Signed by or for and on behalf of the council:

Name: **J. Baker**

Position: **INSPECTOR**

Date: **11 / 8 / 94.**

Upper Hutt City Council

BUILDING CONSENT No: 3824

OWNER	PROJECT
Name: <u>Wallis</u>	New or relocated building ☐
Mailing Address: <u>8 Beechwood Lane</u>	Alteration ☐
Contact: <u>16</u>	Demolition ☐
Phone: <u>526</u> Fax: <u></u>	Intended use: <u>FS Fire + W' Back</u>
Application Received: <u>27, 5, 94</u>	Floor Area <u></u> m ²
COUNCIL CHARGES	Intended life:
(The Council's charges payable upon application for this building consent.)	Indefinite but not less than 50 years ☐
Receipt No: <u>18629</u> Date: <u>27, 5, 94</u>	Specified as <u></u> years
FEES: (herewith incl of GST)*	Stage <u>1</u> of an intended <u>1</u> stages
B.R. Levy \$ <u></u>	Estimated Value (incl. GST): \$ <u>1500</u>
B.I.A. Levy \$ <u></u>	PROJECT LOCATION:
Building Consent Fee \$ <u>73</u>	Street address(if any): <u>8 Beechwood Lane</u>
Water Connection Fee \$ <u></u>	Legal Description: <u>LOT 37 DP 7447</u>
Sewer Connection Fee \$ <u></u>	
SW Connection Fee \$ <u></u>	
Other Fees \$ <u></u>	

SUBTOTAL \$ <u>73</u>	GST = Subtotal = \$ <u>8.11</u>
Builders Deposit \$ <u></u>	Builder: <u></u>
Water Deposit \$ <u></u>	Address: <u></u>
Road Reinst. Dep. \$ <u></u>	<u></u>
TOTAL FEES PAYABLE: \$ <u>73</u>	Application Fee: <u>73</u>
	Final Fee: <u></u>
	Adjustment: <u></u>
	To Pay/Refund
	Receipt No: <u></u>

*Actual costs may be recovered when they exceed the basic fee. This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act. This building consent is issued subject to the conditions specified in the attached.....pages headed "Conditions of Building Consent No....."

Signed for and on behalf of the Council: Name: J. Newer
Position: Inspector Date: 1.1.6.1.24



Upper Hutt City Council

PROJECT INFORMATION MEMORANDUM No:.....3824.....

(Cross each applicable box and attach relevant documents)

APPLICANT

Name:.....Wallis.....

Mailing Address:.....8 Beechwood Lane.....

Contact:.....

Phone: 526 8793 Fax:.....

Application received: 27 / 5 / 94

COUNCIL CHARGES

The Council's total charges payable on the uplifting of this project information memorandum, in accordance with the attached details, are: \$.73.....

Receipt No: 18629.....

PROJECT

New or relocated building ☐

Alteration ☐

Intended use(s) (In detail)

.....FS FIRE & LBACK.....

Intended life:

Indefinite but not less ☐

than 50 years

Specified as.....years ☐

Demolition

PROJECT LOCATION

Street address [If any]

.....8 Beechwood Lane.....

Legal description:.....

.....LT 31 DP 7447.....

This project information memorandum is:

- ☐ Confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991 and any requirements of the building consent.

Not yet applied for ☐
No:.....attached ☐
- ☐ Notification that other authorisations must be obtained before a building consent will be issued.
- ☐ Notification that the proposed building work may not be undertaken because a necessary authorisation has been refused.

PROJECT INFORMATION MEMORANDUM NO. 3824

8 BEECHWOOD LANE - WALLIS - F/S FIRE & WETBACK

LOT 38 DP 7447

1. Upper Hutt is a high earthquake risk area and this section is in a high wind zone, otherwise Council is unaware of any special feature of the land that is likely to affect this construction.
2. All work and materials must comply with the NZ Building Code and approved documents.
3. No building work is to commence until the Building Consent has been uplifted.
4. For other services e.g. gas, telephone and electricity, contact other Utility Operator Offices.
5. A tempering valve must be fitted.
6. Seismic restraint required to free standing fire.

1/6/94

CHECK LIST FOR ALL BUILDINGS INCLUDING COMM. & INDUSTRIAL

1. ENTER IN REGISTER.
2. CHECK BUILDING FILE ENVELOPE FOR CONDITIONS (attach to application)

3. **FOUNDATION:** Height.....
 Footing sizes.....
 Steel reinforcement.....
 table 2 sub floor braces.....
 bracing lines 5 metre maximum.....

4. **PILE TYPE:** ANCHOR.....
 BRACED.....
 CANTILEVER.....

note: Foundations over 2m in height require specific design

5. **FLOOR:** Joist sizes and spacings.....
 Floor type.....
note: check diaphragm requirements if applicable

6. **WALLS:** stud height.....
 stud sizes.....
 stud spacings.....
 linings.....
 plate sizes.....
 bracing.....
 bracing.....
 masonry veneer walls.....
 appendix F.....

7. **CEILINGS:** Joists.....
 Linings.....
 structural diaphragm where applicable.....

8. CHECK BRACING SCHEDULE

9. **ROOF:** type.....
 pitch.....
 bracing.....
 roof plane bracing.....
 timber sizes.....

note: roof pitch greater than 45° requires specific design

10. **INSULATION:** floor.....
 walls.....
 ceilings.....
 roof.....

11. **SPECIFICATIONS:** DO THEY RELATE TO THE BUILDING PLANS.....

12. ROOM SIZES.....
 WINDOW SIZES.....
 UNDERFLOOR VENTILATION.....

COMMERCIAL & INDUSTRIAL BUILDINGS ONLY

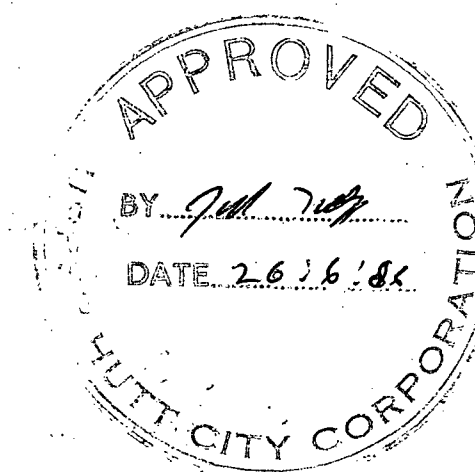
Check List for NZSS 1900 Chapter 5 completed.....

Access for handicapped persons checked.....

Copy of plans and specifications sent to Fire Officer date:

THE UPPER HUTT CITY COUNCIL

Siting TSC Approved 19/6/86
 Rod EBF

APPLICATION for
BUILDING PERMIT

STREET.....

DATE RECEIVED : : :

DATE ISSUED 26 : 6 : 86

OWNER'S NAME

APPLICATION FOR BUILDING PERMIT

FOR OFFICE USE
COMMENT SHEET

DATE 11-6-1986

TO THE CITY ENGINEER,
The Upper Hutt City Council.Postal Address:—
The Upper Hutt City Council,
Private Bag.

APPLICANT TO PROVIDE FULL INFORMATION TO ITEMS BELOW — EXCLUDING ITEM 6

I, the undersigned do hereby apply for a PERMIT to erect BUILDINGS in accordance with the under

mentioned particulars in 8 Beechwood Lane Te Mania STREET.

1. NATURE OF BUILDINGS 2 NEW GARAGE
Dwellings etc.; new, additions or alterations.

2. ALLOTMENT: Lot 37 D.P. 7447 Section

3. OWNER'S NAME GRANT JAMES SPENCE

ADDRESS 8 Beechwood Lane Te Mania

4. ESTIMATED VALUE OF BUILDINGS 1000 \$1000

ESTIMATED VALUE OF PLUMBING \$

ESTIMATED VALUE OF DRAINAGE \$

5. FLOOR AREA OF WORK M2 Total \$1000

6. FEES (herewith)

B.R. Levy \$

Building \$30

Crossing Fee \$

Builders Deposit \$

Water Connection \$

Plumbing Fee \$

Drainage Fee \$

Reserve Fund Cont. \$24

Total Fees Payable \$6.00

7. Name of
Registered Plumber8. Name of
Registered Drainlayer9. Name of
Registered Engineer

Receipt No. 7087

Date 25-6-86

10. NOTE:—The following MUST accompany this Application:—

- Site Plans of Proposed Work:
- Elevations:
- Sections: Cross and Longitudinal:
Site Plan must show position of all sanitary fittings.
- Two Copies of Specifications of BUILDING and Materials to be used.
- SITE PLAN to be drawn to a scale of 1:200 showing proposed layout of all sewer and s/water.
Two Plans required for GARAGES, SHEDS, ADDITIONS and ALTERATIONS.
PLANS must be submitted in TRIPLICATE for NEW DWELLINGS and FLATS only.
- A SEPARATE DRAINAGE and PLUMBING APPLICATION FORM must be filled in and a PERMIT obtained before commencing any DRAINAGE or PLUMBING WORK.
- A Deposit must be paid where building material is taken ACROSS A FOOTPATH.

11. SIGNATURE OF APPLICANT as BUILDER or OWNER

PHONE No. 267651

12. ADDRESS 8 Beechwood Lane Te Mania

13. BUILDER'S NAME AND ADDRESS
If not the applicant.
PHONE No.

All work will be carried out in accordance with The Upper Hutt City Council By-laws.

	Init	Date		Init	Date
TOWN PLANNING	B	20/6/86	BUILDING INSPECTOR	ST	11/6/86
STRUCTURAL ENGINEER			PLUMBING AND DRAINAGE	76W	13/6/86
HEALTH INSPECTOR					

BUILDING:

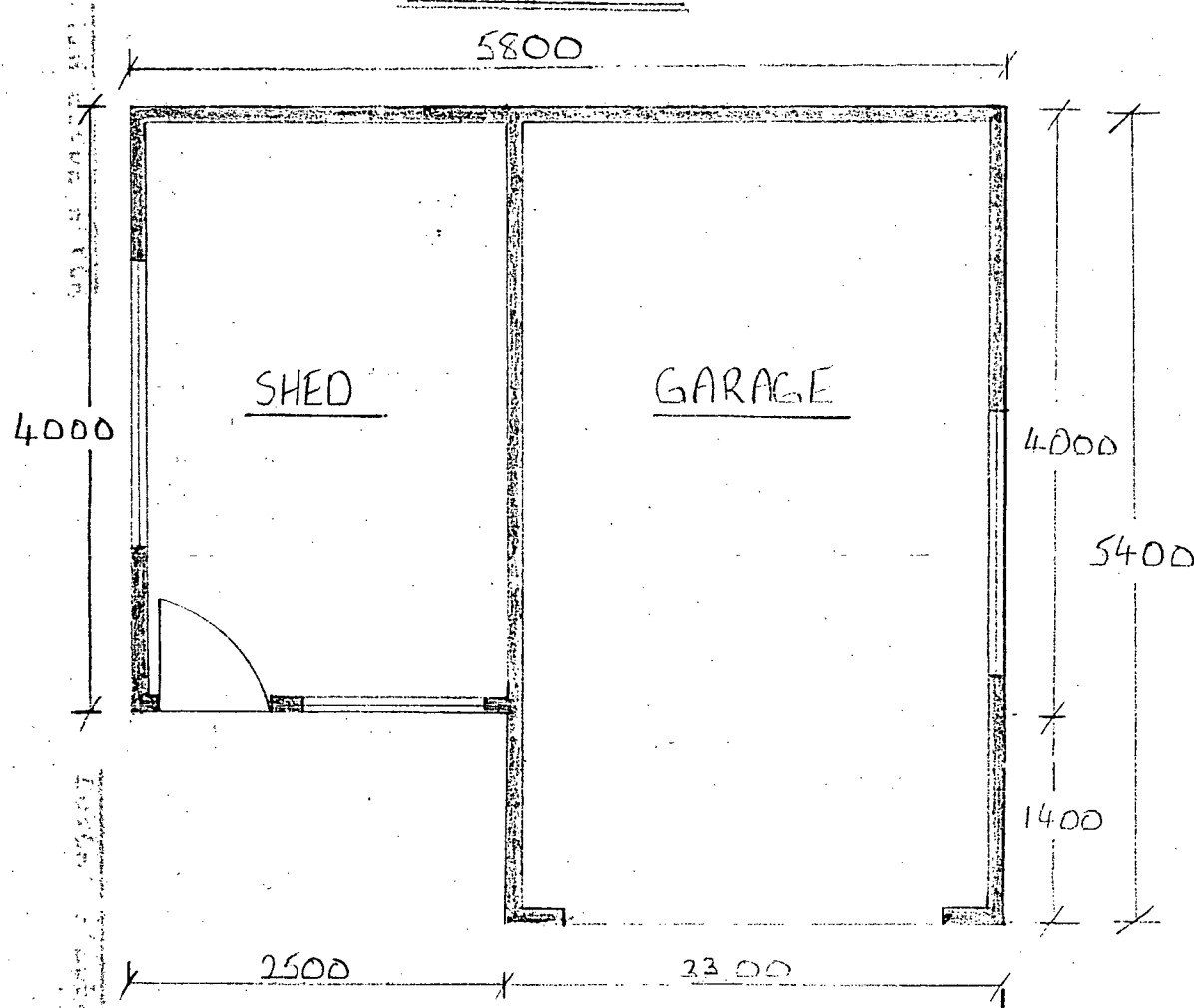
PLUMBING, DRAINAGE & HEALTH:

NO FEE

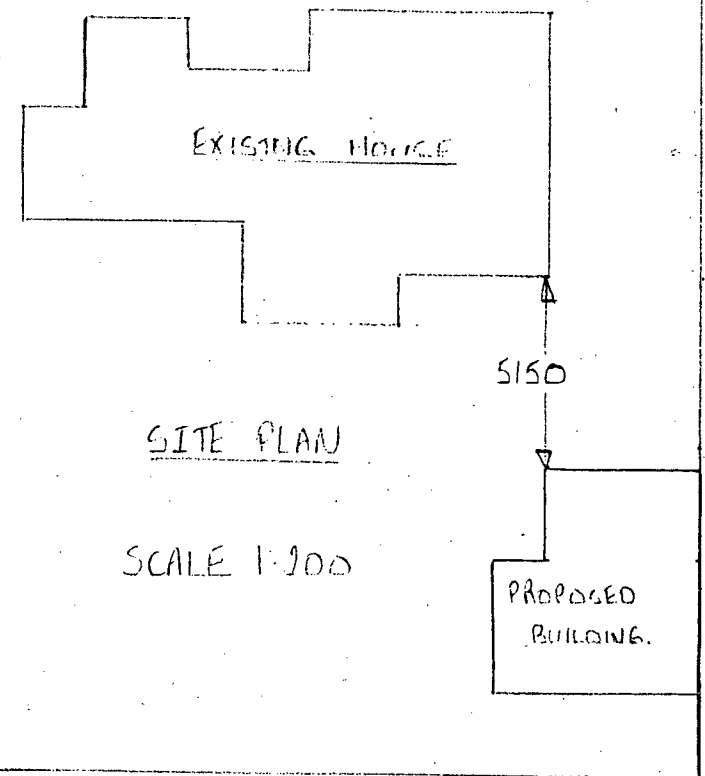
TOWN PLANNING:

ENGINEERS:

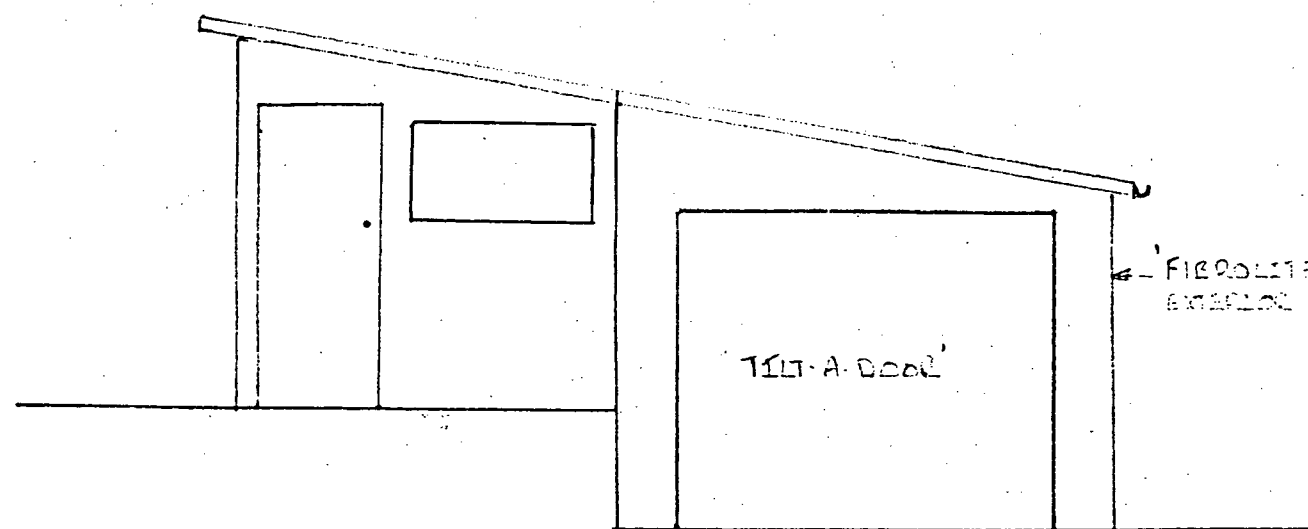
FLOOR PLAN



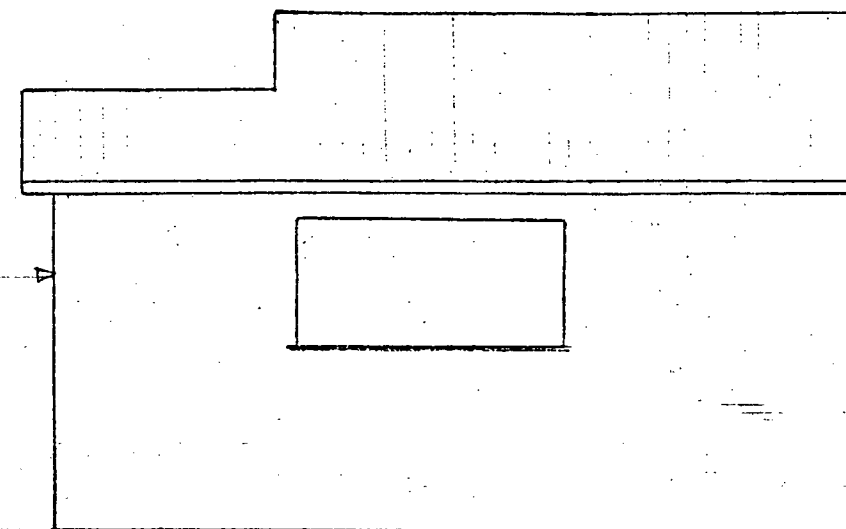
SCALE: 1:50



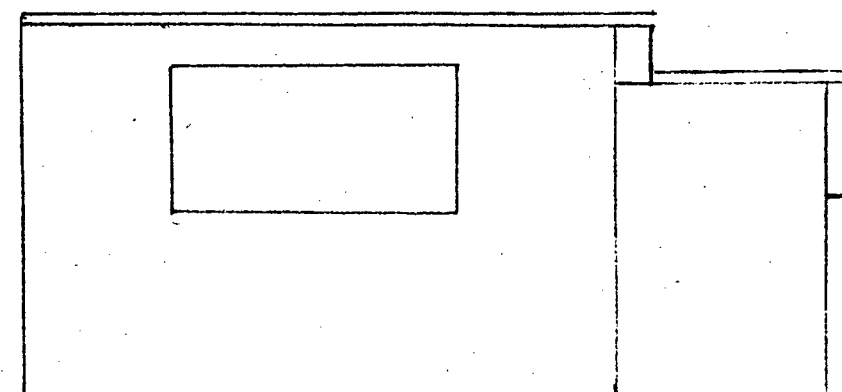
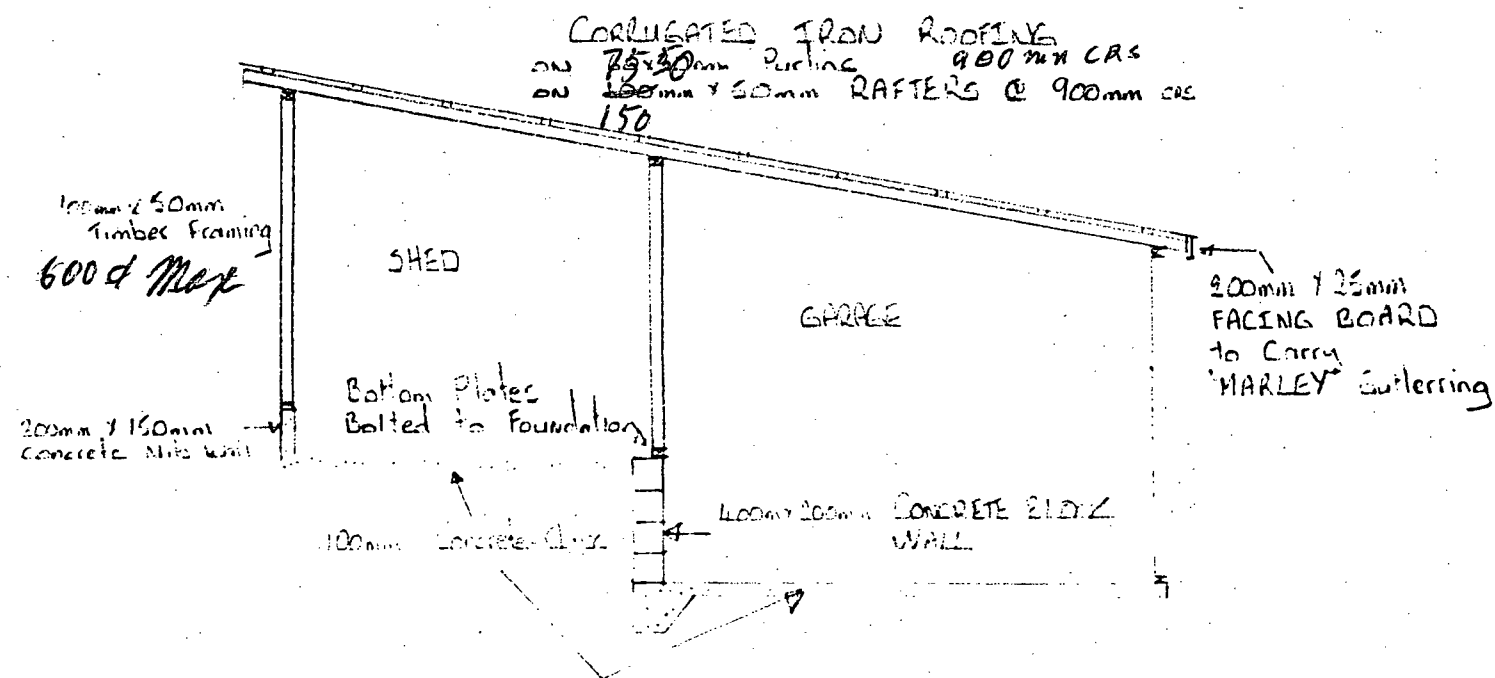
PROPOSED GARAGE/SHED
2 BEECHWOOD LAKE TE MARUA.



FRONT



EAST ELEVATION



WEST ELEVATION

SCALE: 1:50

PROPOSED GARAGE / SHED
 @ BEECHWOOD LANE TE MARUA.

1 : 200.

Hand-drawn floor plan of a house with dimensions and a garage addition. The plan shows a main house structure with a garage addition on the right side. The main house has a front porch area with a width of 8.8 and a depth of 4.3. The main house has a total width of 12.5 and a depth of 9.3. The garage addition is 9.4 wide and 4.3 deep. The main house has a front porch area with a width of 8.8 and a depth of 4.3. The main house has a total width of 12.5 and a depth of 9.3. The garage addition is 9.4 wide and 4.3 deep. The main house has a front porch area with a width of 8.8 and a depth of 4.3. The main house has a total width of 12.5 and a depth of 9.3. The garage addition is 9.4 wide and 4.3 deep.

1ST STORY ADDITION
OVER DOTTED AREA.

FRONT Boundary cannot be defined.

UPPER HUTT CITY
COUNCIL
SITING
APPROVED
DATE 5th October 1979

J 92615
CITY OF UPPER HUTT

STAG

CHECKED	
UPPER HUTT CITY COUNCIL	
Initial	Date
STRUCTURAL ENGINEER	
HEALTH INSPECTOR	
BUILDING INSPECTOR	<u>1/10/79</u>

DRAINS SITING
CHECKED BY
R.D. 11th Oct 79

*2 doors require of between
we compartment to change
ventilation isolation compartment
to the open air*

APPLICATION for BUILDING PERMIT

STREET 8-BEECHWOOD LANE.

DATE RECEIVED 1:10:79.

DATE ISSUED 12:10:79

OWNER'S NAME

M. A. HANSE

OFFICE REMARKS:

NOTE: —

Plans of reinforced concrete work shall show clearly, plans, cross sections, dimensions of all members, and the size, length, shape, position and overlap of all reinforcements.

FURTHER:—

All steel calculations and computations must be submitted with application and signed by architect, engineer, or designer for major work.

APPLICATION FOR BUILDING PERMIT

DATE 1-10- 1979

TO THE CITY ENGINEER,
Upper Hutt City Council.

Postal Address:—
Upper Hutt City Council,
Private Bag.

I, the undersigned do hereby apply for a PERMIT to erect BUILDINGS in accordance with the under-mentioned particulars in Beechwood Lane STREET.

1. NATURE OF BUILDINGS Additions
Dwellings etc.; new, additions or alterations.

2. ALLOTMENT: Lot 37 CT634/37 D.P. 74447 Section _____

3. OWNER'S NAME HAASE M.A.
ADDRESS 8 Beechwood Lane, Te Marua

4. ESTIMATE VALUE OF BUILDINGS \$ 8000 : 00.

ESTIMATE VALUE OF PLUMBING \$ 800 : 00.

ESTIMATE VALUE OF DRAINAGE \$ 20 : 00.

5. FLOOR AREA OF WORK 558 (sq. ft.) ✓ Total \$ 8820 : 00

6. FEES (herewith)

B.R. Levy \$ 9 : 00

Building \$ 58 : 00

Crossing: Dep: NA \$: .

Crossing Fee \$: .

Water Connection \$: .

Builder's Deposit \$: .

Plumbing Fee \$ 33 : 00

Drainage Fee \$ 5 : 50

Total Fees Payable \$ 105 : 50

Name of Registered Plumber S.G. Weddell

Name of Registered Drainlayer W. Bull

No. of Receipt 1986

KJM
5-10-79

NOTE:—The following MUST accompany this Application:—

- (a) Ground Plans of Proposed Work:
- (b) Elevations:
- (c) Sections: Cross and Longitudinal:
Ground Plan must show position of all sanitary fittings.
- (d) Two Copies of Specifications of BUILDING and Materials to be used.
- (e) SITE PLAN to be drawn to a scale of 1:200 (1/16"=1'0")
Two Plans required for GARAGES, SHEDS and additions.
PLANS must be submitted in TRIPLICATE for DWELLINGS and FLATS only.
- (f) A SEPARATE DRAINAGE and PLUMBING APPLICATION FORM must be filled in and a PERMIT obtained before commencing any DRAINAGE or PLUMBING WORK.
- (g) A Deposit must be made where building material is taken ACROSS A FOOTPATH.

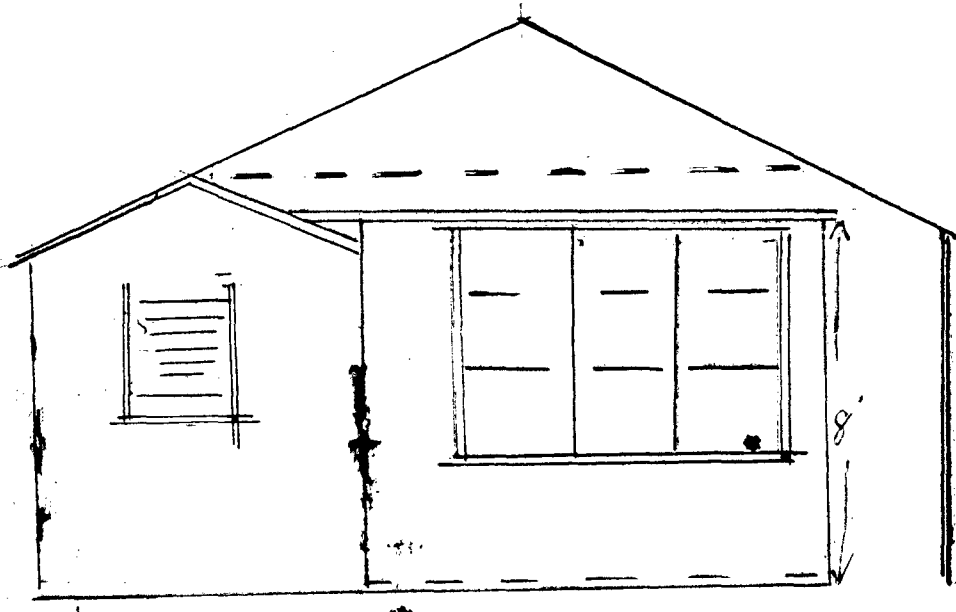
SIGNATURE OF APPLICANT M. Haase as BUILDER or OWNER

ADDRESS 8 BEECHWOOD LANE

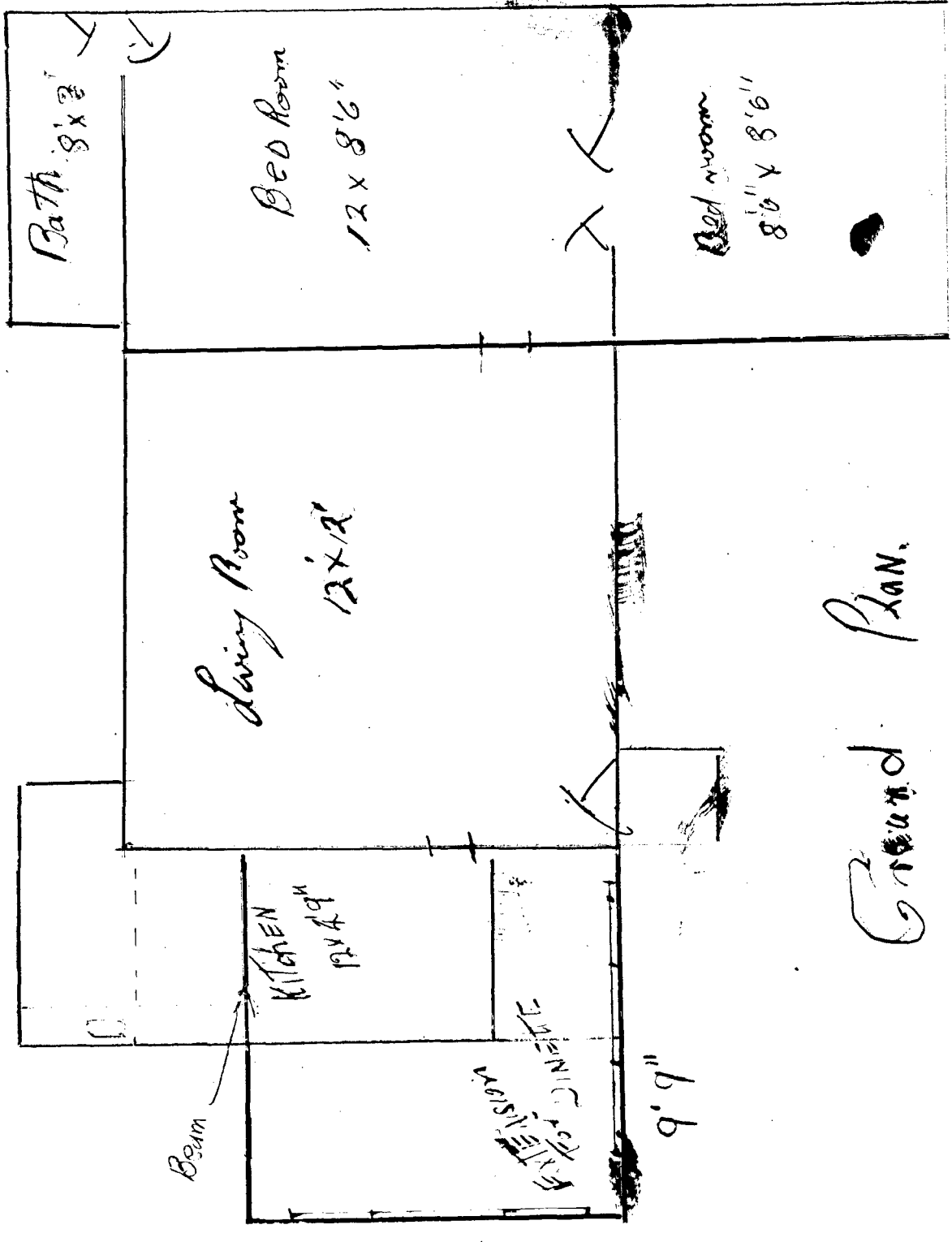
BUILDER'S NAME { If not the appli-
AND ADDRESS { cant.

All work will be carried out in accordance with Upper Hutt City By-laws.

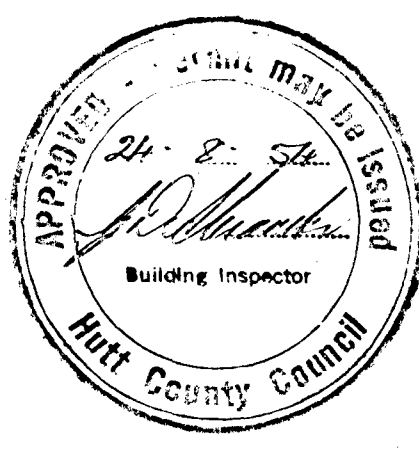
Proposed DINETTE for Mrs WHEELEN TE. Marua.



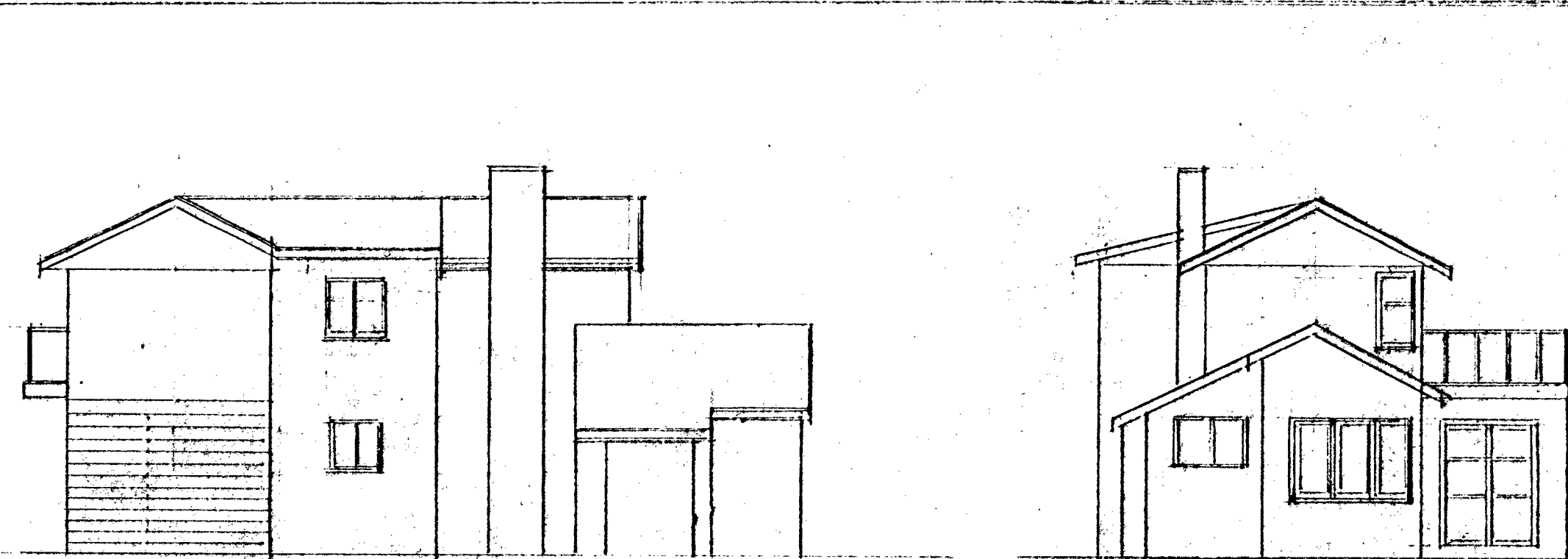
East Elevation.



Ground Plan.



- Specifications
- Concrete Floor
 - White sheathing
 - 4"x2" ~~FRAMING~~ FRAMING
 - 4x2" ceiling joists
 - Flatiron Roof
 - 6x1" SANKING
 - PINE LINING
 - Stud height 8ft.



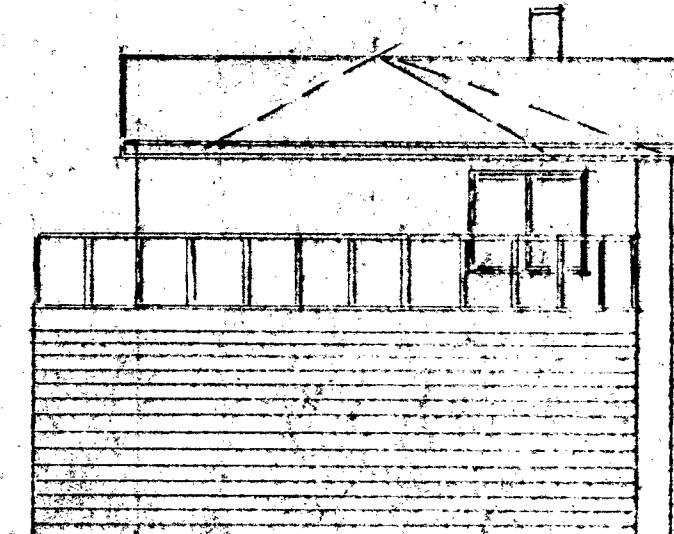
SOUTH

EAST

FIBROLITE EXTERIOR CLADDING.



NORTH



WEST

ELEVATIONS

1:100

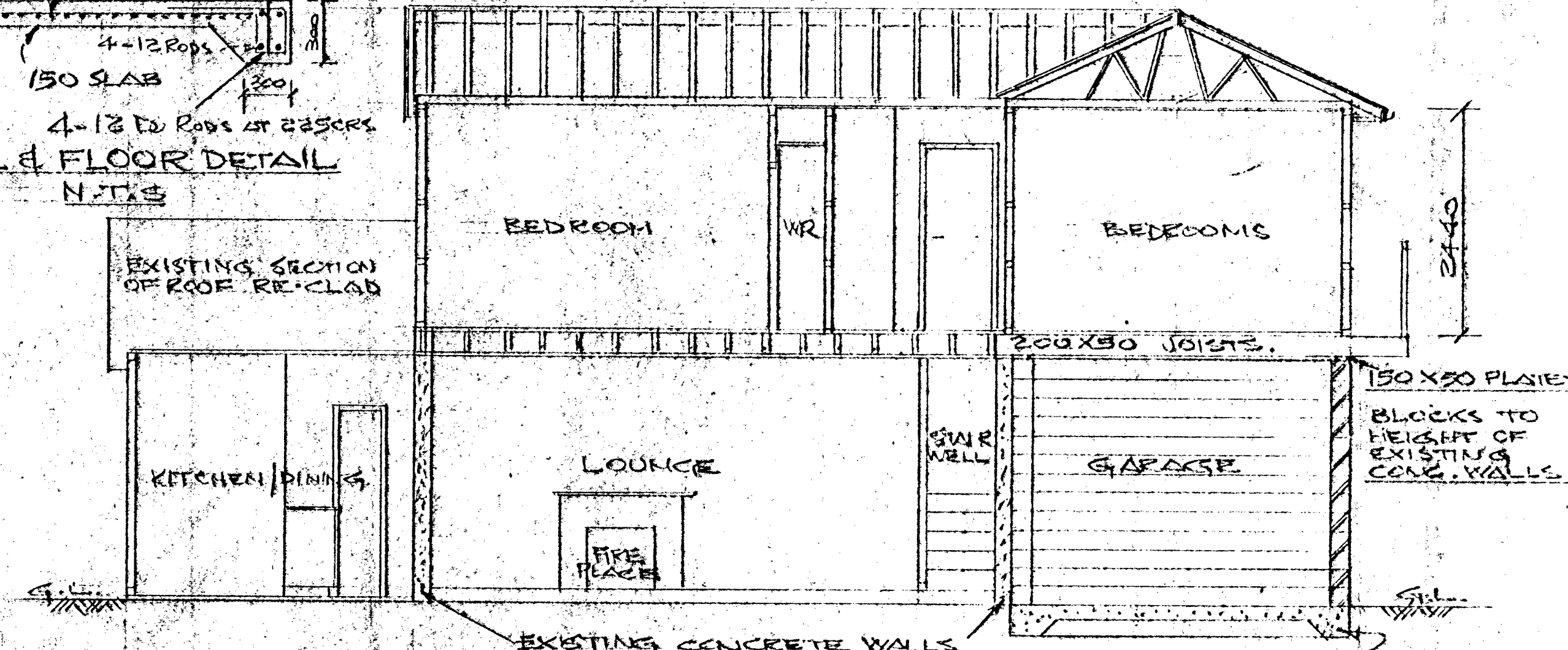
2-12D RODS
IN BOND BEAMS
14 RISERS
APPROX 198

REFER ALSO TO
DHCC PLAN 3503

STAIR DETAIL
N.T.S

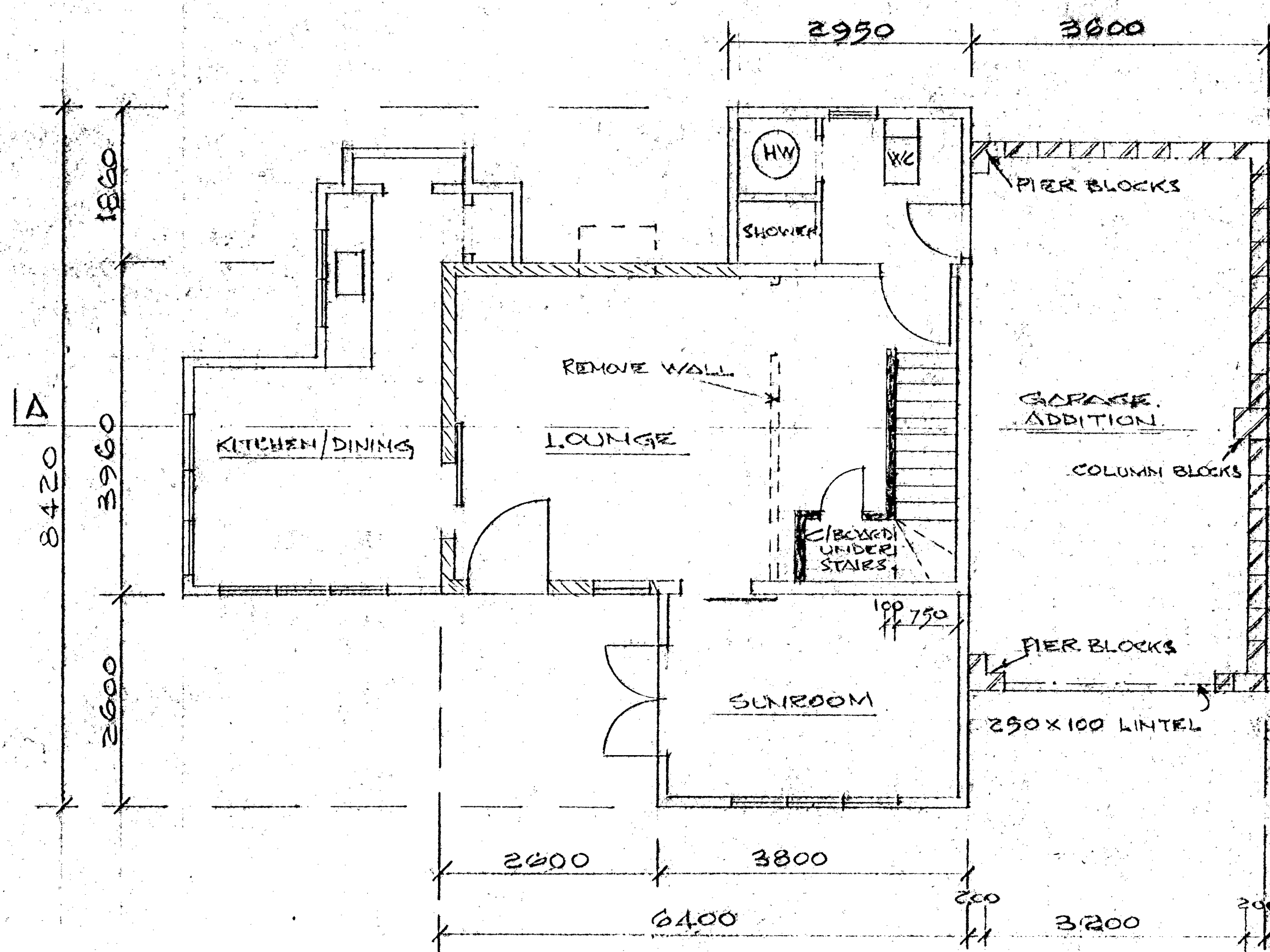
665 MESH
150 SLAB
4-12D RODS AT 225 CRS
WALL & FLOOR DETAIL
N.T.S

C.I. ROOF
100 X 50 TRUSSES AT 900 CRS.



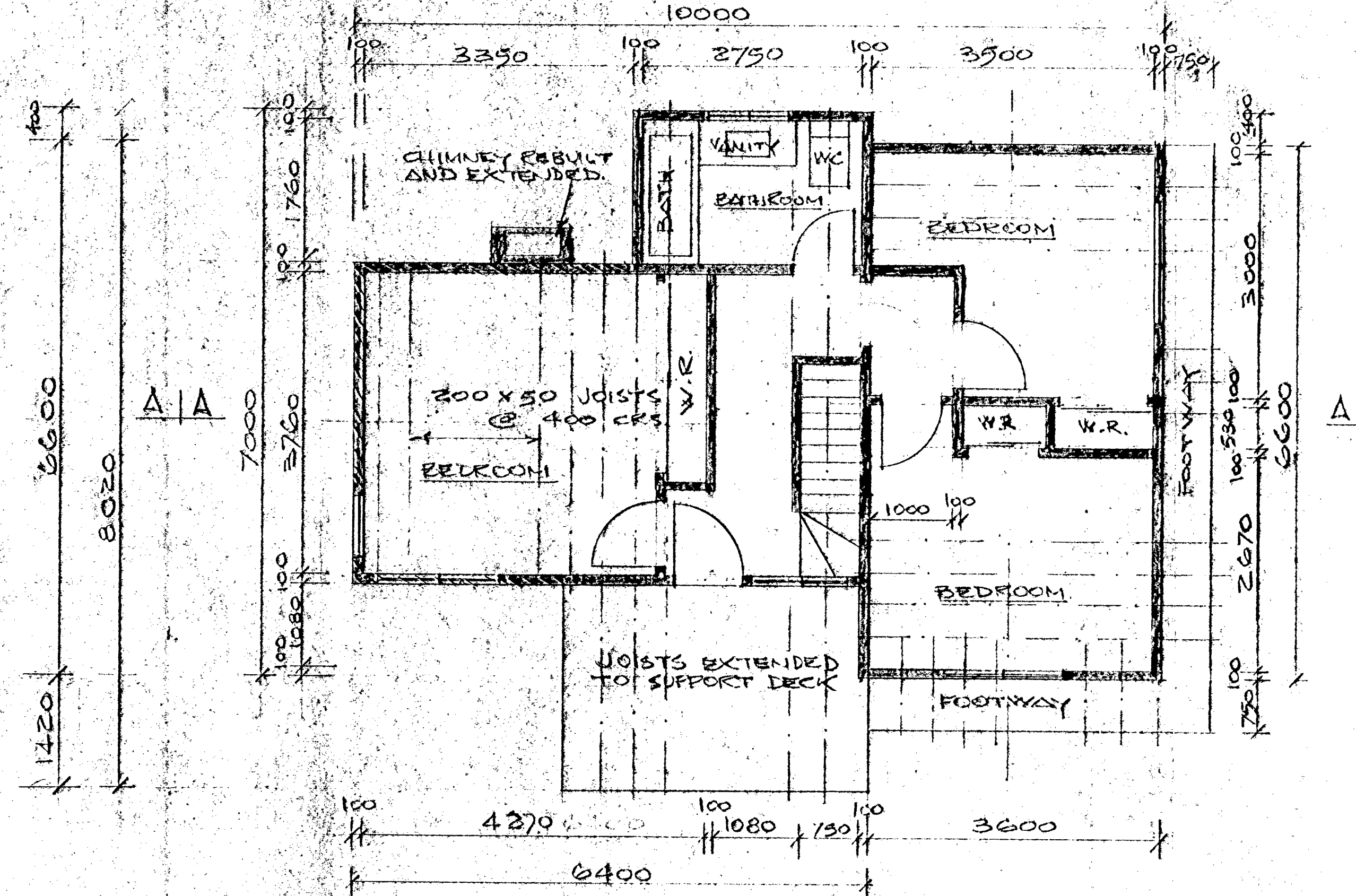
CROSS SECTION A-A 1:50

SEE WALL & FLOOR DETAIL

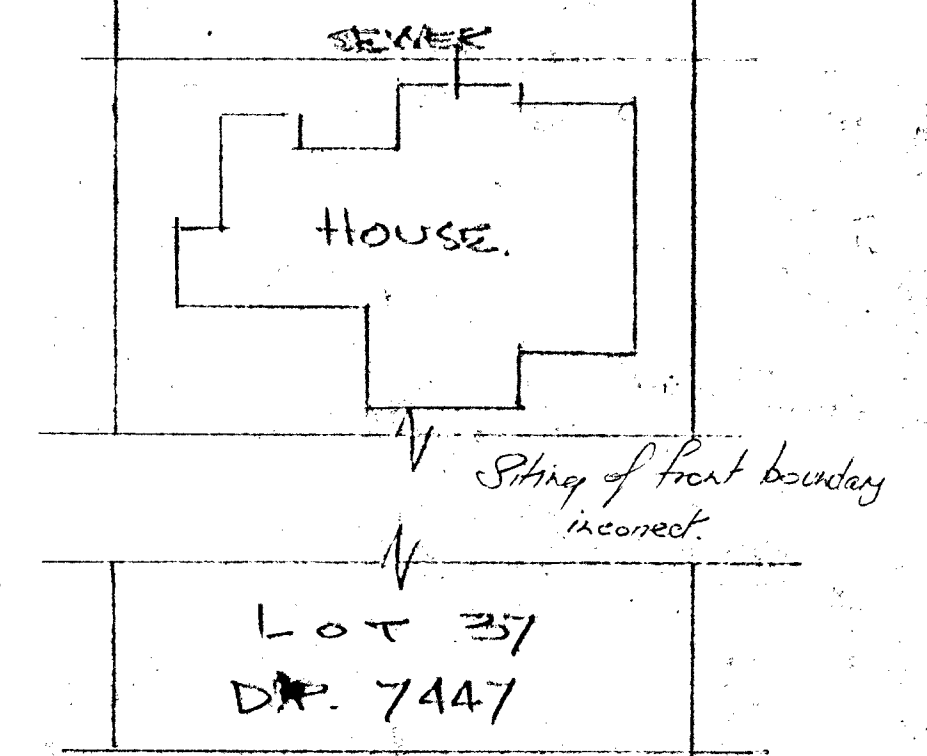


GROUND FLOOR PLAN

1:50



UPPER FLOOR PLAN.



BEECHWOOD L.N.
SITE & DRAINAGE PLAN
1:200

ALL DIMENSIONS ARE DERIVED FROM
EXISTING BUILDING AND MUST BE
CHECKED ON SITE AND DURING
CONSTRUCTION.
ALL WORK AND MATERIALS TO MATCH
THE EXISTING BUILDING AS NEARLY
AS POSSIBLE.
TIMBER FRAME CONSTRUCTION AND
200 MM FULLY REINFORCED BLOCK
WALL TO GARAGE.
ALL WORK TO BE CARRIED OUT IN A
TRADESMANLIKE MANNER IN ACCORDANCE
WITH N.Z.S. 3604:1978 AND LOCAL
BODY BY LAWS.
ALL ELECTRICAL FITTINGS AND LIGHTS
TO BE SITED BY OWNER.

ADDITION OF UPPER STOREY FOR MR. M. HAASE, BEECHWOOD LANE, TE MARUA. 22.9.78

HUTT COUNTY COUNCIL

Valuation No.

Date Received:

Application for Building Permit

To: The Building Inspector,
P.O. Box 8012, Govt. Blds.,
WELLINGTON.

I (the undersigned), RICHARD JOHN STROUD (Full Name)
of 8 BEECHWOOD LANE, TE MARUA (Address)

**ERECT
ADD-
ALTER**

hereby make application for permission to **REINSTATE** SHOWER ROOM & TOILET
with a floor area of 54 sq. ft. as prescribed herein and set out in the plans and specifications attached
hereto, in premises at:

No. 8 BEECHWOOD LANE Street or Road TE MARUA Township

Lot No. 37 D.P. 7447 RIMUTAKA Riding

The owner of the premises is R. J. STROUD (Name)

BEECHWOOD LANE, TE MARUA (Address)

Previous owner ☐ If Section
has been
recently
transferred

Estimated value of: Building only \$ 432.00

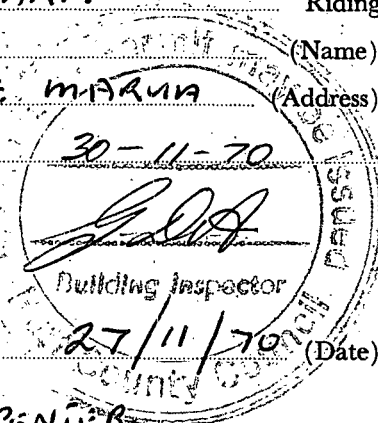
Plumbing and Drainage \$ 295.00

Total \$ 727.00

Signature of Applicant R. J. Stroud (As Builder
or Owner)

Builder's Name and Address: ☐ If not
the
applicant

EMPLOYING CARPENTER



FOR OFFICE USE ONLY

Receipt No. Road Deposit No. A/c. No. 9360

Fees:

Building Permit \$ 3.00

Kerb Crossing \$

Road Deposit \$

\$ 3.00

Date 2-12-70

Permit No. 72717

Date Issued 3-5-71

TOWN PLANNING DISTRICT
Conforms/Non-Conforming.

Operative
Undisclosed

Checked by District Engineer. (Date) (Initials)

Remarks:

Hutt County Council

PERMIT NO.

11889

LOCALITY

Le Manua

DATE RECEIVED 16 : 8 : 54.

DATE ISSUED 23 SEP 1954

Application For Building Permit

OWNER'S NAME

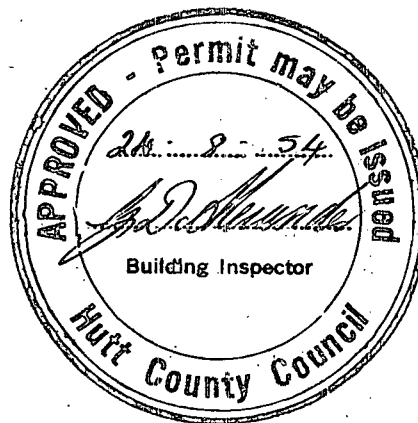
W. DOROTHY MAUD WHEELER

FOR OFFICE USE ONLY.

REMARKS:

*Framing hole 4" x 2"
Stud height hole 8'
c/c 1988*

31 AUG 1954



20/3/11

Note:- For New Dwellings Only
3 PLANS & 2 SPECIFICATIONS REQUIRED

NOTE.—

1. Buildings must NOT be erected within Five feet of adjoining properties.
2. All Plans and Specifications to be in ink.

Application For Building Permit

TO THE BUILDING INSPECTOR,
Hutt County Council,
Bowen Street,
Wellington.

Postal Address: Hutt County Council,
P.O. Box 12,
Government Buildings,
Wellington.

I, the undersigned do hereby apply for a PERMIT to erect BUILDINGS in accordance with the undermentioned particulars in Mangarua RIDING.

1. Type of Building: addition to dwelling.
Dwellings etc.; additions or alterations.

Materials NEW
(State if new or second hand and where from.)

2. Allotment: Lot: 37 D.P.: 7447 Section: _____
Area: 1rd. 14.59p Block: _____ S.D. Locality: Le Marua

3. Owner's Name Mrs W Heeler (Dorothy M.)
Address Plateau Rd. TE Marua.

4. Previous Owner { If Section has been recently transferred } _____

5. Frontage (Length) _____ Name of Street or Road: Main Rd

6. Estimated Value of Building (excluding Sanitary Fittings) £ 200 : - : -

7. Fees £ 1 : - : - : - No. of Receipt: 7527
See Scale of Fees on Back Page.

All work will be carried out in accordance with Hutt County Council's By-laws.

NOTE:—The following MUST accompany this Application:—

Plans and Specifications in Duplicate, including—

- Ground Plans of Proposed Work showing position of all sanitary fittings and names of various rooms.
- Where the building is on a sloping site the correct height of foundations must be shown.
- Front and Side Elevations.
- Cross section showing framing with bracing.
- Where a building requires Plumbing and Drainage work a Separate Application Form must be filled in and Permit obtained before commencing any such work.
- A Deposit of £2 must be made where building material is taken across a Footpath.

Signature of Applicant E. Andrews (Andrews) as BUILDER or ~~OWNER~~
Address Plateau Rd. TE Marua.

Builder's Name { If not the applicant } _____
and Address _____



Planning

L250454 - AERIAL



URBAN MAP 10

	1	2			3	
5	7	8	9	10	11	12
9	20	21				
9	30					

□ Land Parcels

ZONES

- General Residential
- High Density Residential
- General Rural
- Rural Production
- Rural Lifestyle
- Settlement
- Neighbourhood Centre
- Local Centre
- Commercial
- Mixed Use
- Town Centre
- City Centre
- General Industrial
- Open Space
- Special Activity

FEATURES

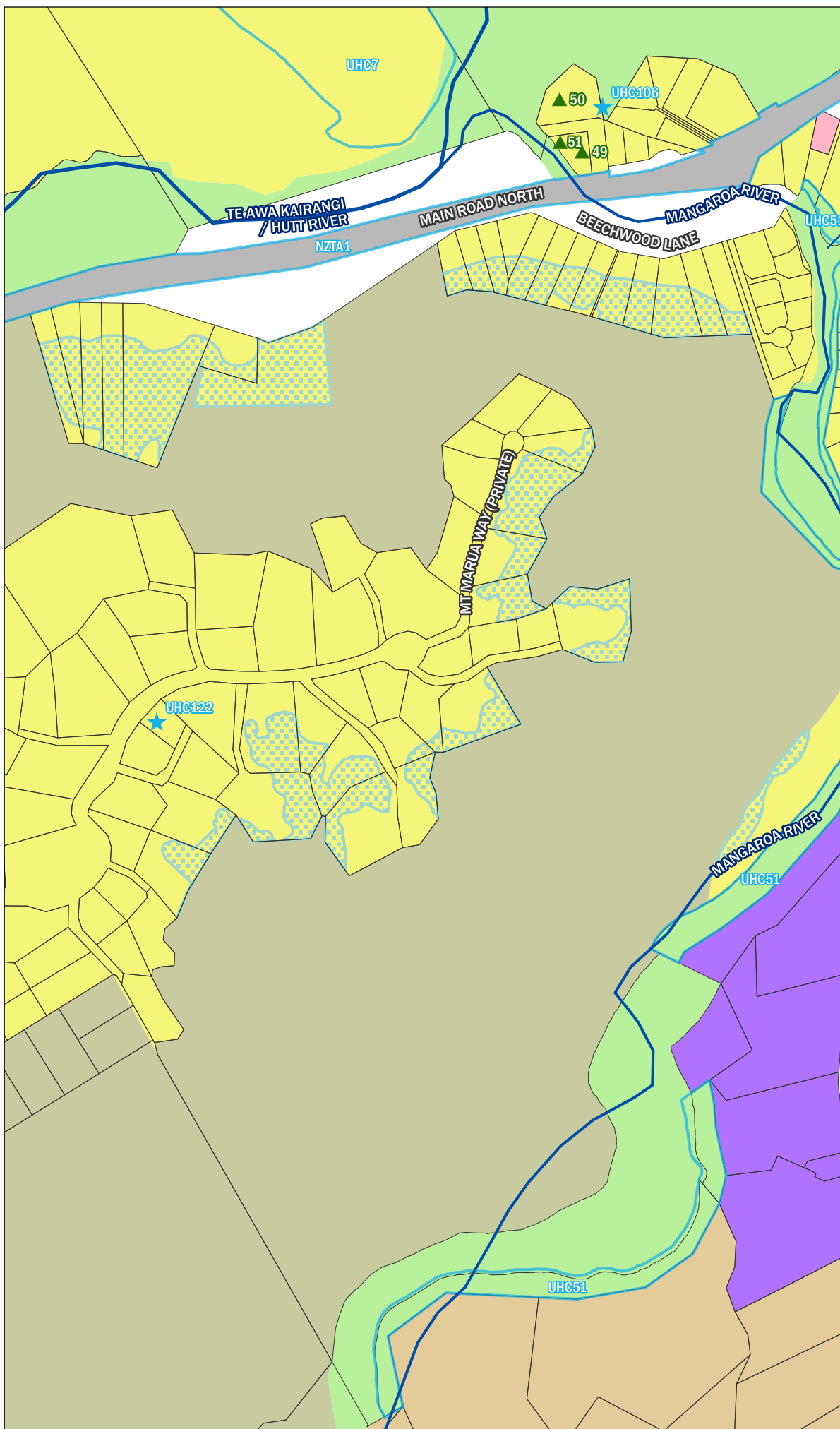
- Heritage Features
- Notable Trees
- Urban Tree Groups
- Rivers & Streams
- Active Street Frontage

DESIGNATIONS

- Utilities Designations
- General
- Highway
- Railway

PRECINCTS

- Development Area - Gabites Block
- Development Area - St Patrick's
- Overlay - Special Activity Zone Height
- Precinct - Indigenous Biodiversity
- Precinct - Industrial Eastern Hutt Road
- Precinct - St Patrick's College
- Precinct - Wallaceville - Gateway
- Precinct - Wallaceville - Grants Bush
- Precinct - Wallaceville - Living A
- Precinct - Wallaceville - Living B
- Precinct - Wallaceville - Urban
- Precinct - Wellington Speedway



L250454 - DISTRICT PLAN DRAFT PLAN CHANGES - SIGNIFICANT NATURAL AREAS AND LANDSCAPES



PROPERTY INFORMATION

- Land Parcel
- Title
- Non-Primary Parcel
- QEII Covenant
- Encroachments

DISTRICT PLAN FEATURES

- Heritage Feature
- Notable Tree
- Urban Tree Group
- River/Stream
- Protected Ridgeline
- Utilities Designation
- General Designation
- Highway Designation
- Railway Designation
- Active Street Frontage
- Southern Hills - Ecological
- Southern Hills - Landscape
- Southern Hills - Visual

DISTRICT PLAN HAZARDS

- National Grid Line
- Wellington Fault Band - Well Defined
- Wellington Fault Band - Well Defined - Extension
- Wellington Fault Band - Uncertain - Constrained
- Wellington Fault Band - Uncertain - Poorly Constrained
- Wellington Fault Band - Distributed
- Mangaroa Peat Overlay
- 100 year Flood Extent
- Pinehaven Catchment Overlay
- Pinehaven Stream Corridor
- Pinehaven Overland Flow
- Pinehaven Ponding Area
- Mangaroa Erosion Hazard Area
- Mangaroa River Corridor
- Mangaroa Overflow Path
- Mangaroa Ponding Area
- Slope Hazard Overlay

DISTRICT PLAN PRECINCTS

- Development Area - Gabites Block
- Development Area - St Patrick's
- Overlay - Special Activity Zone Height
- Precinct - Blue Mountains
- Precinct - Indigenous Biodiversity
- Precinct - Industrial Eastern Hutt Road
- Precinct - St Patrick's College
- Precinct - Wallaceville
- Precinct - Wellington Speedway

DISTRICT PLAN ZONES

- General Residential
- High Density Residential
- General Rural
- Rural Production
- Rural Lifestyle
- Settlement
- Neighbourhood Centre
- Local Centre
- Commercial
- Mixed Use
- Town Centre
- City Centre
- General Industrial
- Open Space
- Special Activity

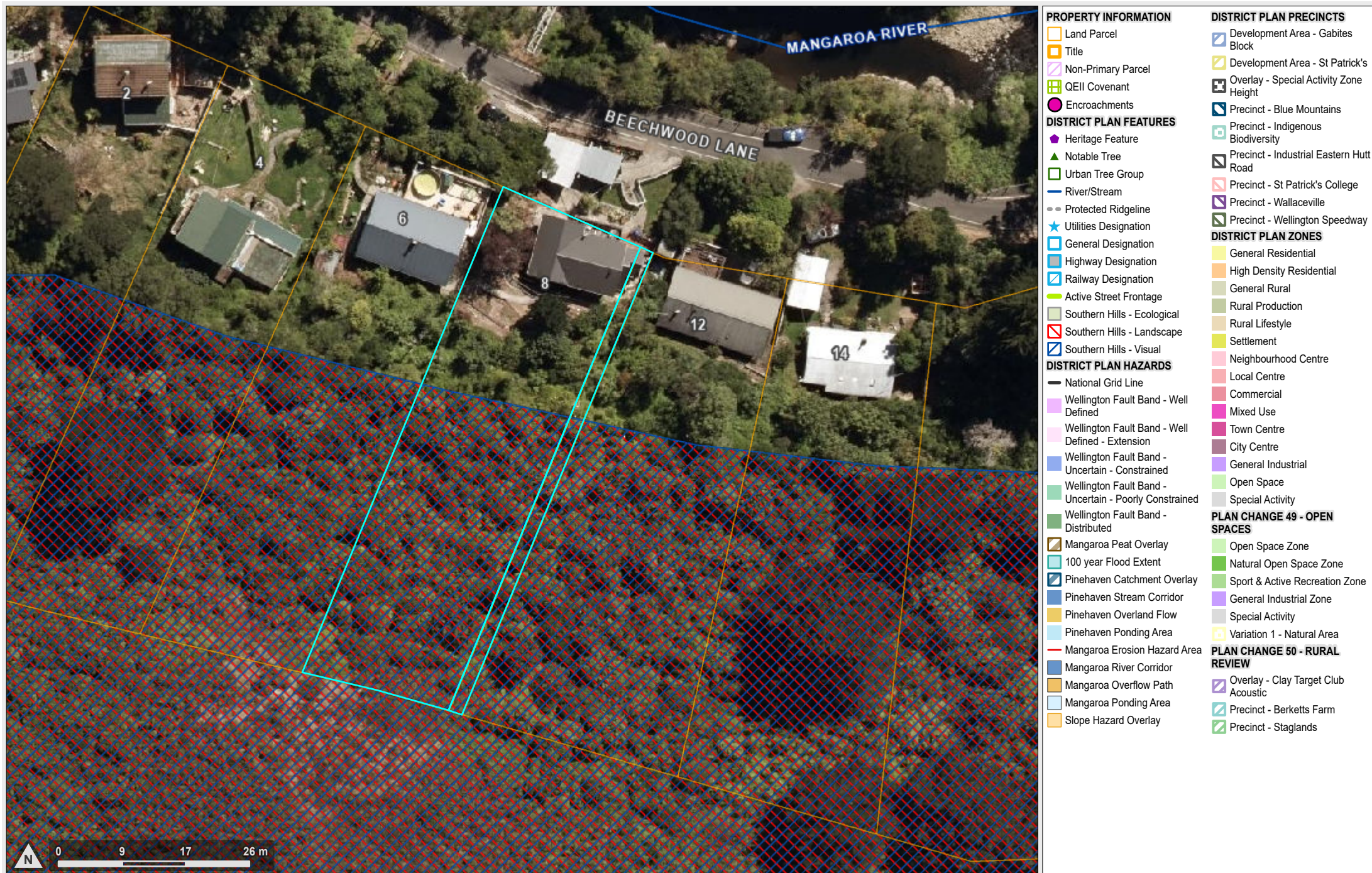
PLAN CHANGE 49 - OPEN SPACES

- Open Space Zone
- Natural Open Space Zone
- Sport & Active Recreation Zone
- General Industrial Zone
- Special Activity
- Variation 1 - Natural Area

PLAN CHANGE 50 - RURAL REVIEW

- Overlay - Clay Target Club Acoustic
- Precinct - Berketts Farm
- Precinct - Staglands

L250454 - DISTRICT PLAN FEATURES - SOUTHERN HILLS OVERLAY



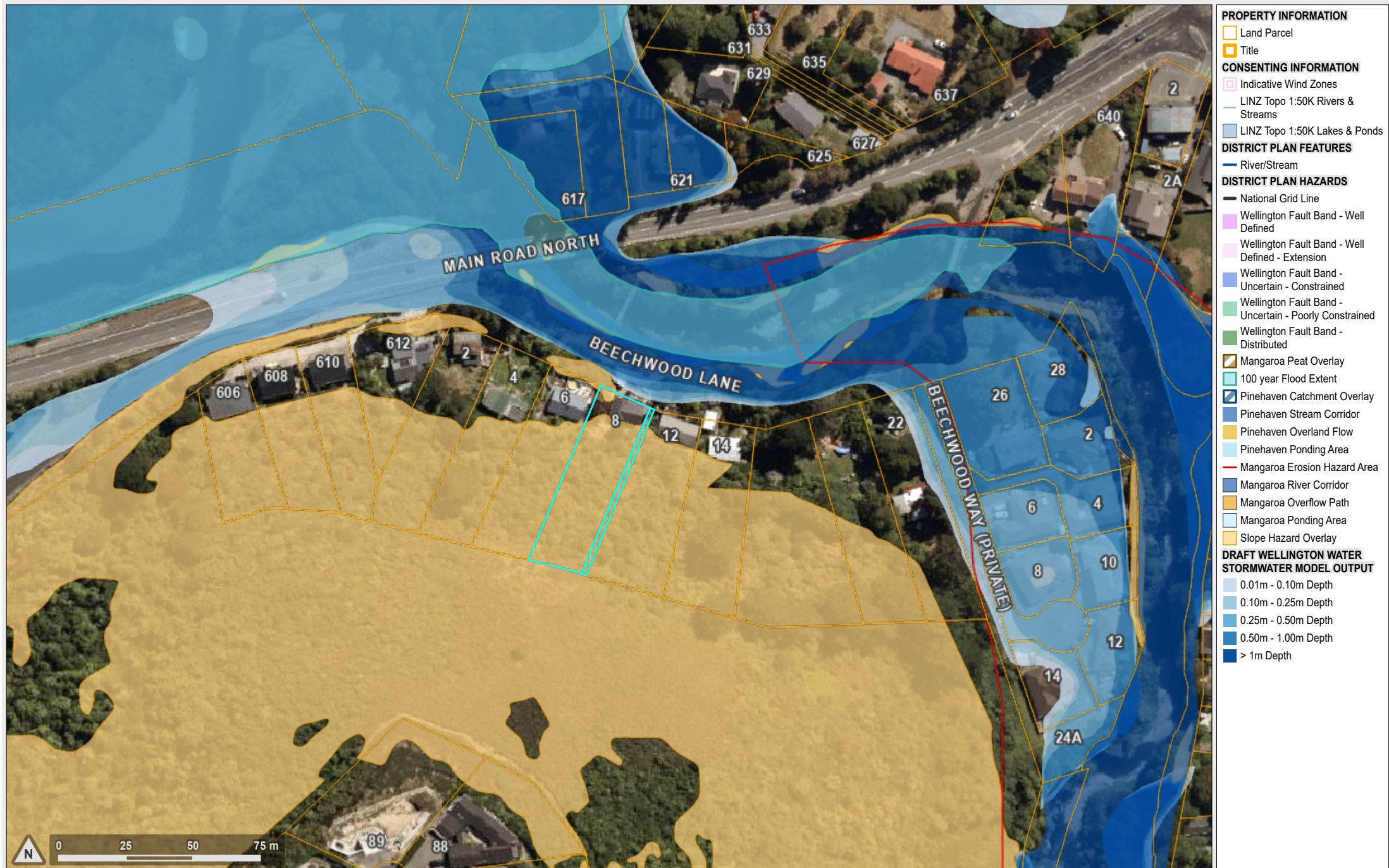
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L250454 - DISTRICT PLAN PRECINCTS - INDIGENOUS BIODIVERSITY



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L250454 - KNOWN HAZARDS



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