



STATEMENT OF PASSING OVER INFORMATION

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LAND INFORMATION MEMORANDUM

14 MATUHI STREET TIROHANGA

Produced by Hutt City Council

08/07/2025

Reference: LIM250812

Martin Renovations Ltd Att: Shannon Martin
37 Seaton Road Murrays Bay
AUCKLAND 0630

Dear Martin Renovations Ltd Att: Shannon Martin,

Land information memorandum for 14 Matuhi Street TIROHANGA 5010

Please find enclosed your land information memorandum (LIM).

The LIM contains information Hutt City Council holds on record about the property and is required to provide in accordance with the requirements of section 44A of the Local Government Official Information and Meetings Act 1987, together with information it considers is relevant.

This LIM Report is an accurate representation of the information held on file and has been provided in good faith. It is not the result of any site visits. If you are unsure of what you are looking for, or how to read your LIM report, it is recommended you have your lawyer check it over with you.

While every care has been taken to ensure the information is correct, its accuracy cannot be guaranteed as third parties may have provided some of the details. Please also bear in mind the age of the building in assessing the comprehensiveness of this LIM. The older the building is, the greater the likelihood that alterations may have been made to it without the council having been informed, or that council's archives do not record the street address or legal description.

Hutt City Council accepts no liability for any errors in the report, in particular the exact location of property boundaries and private drains.

Other sources of information that may be of help include:

- Building inspectors: A building inspector can help to resolve questions about the building's structural soundness and the quality of workmanship. A register of independent building advisers can be found at the New Zealand Institute of Building Surveyors [website](#).
- Building consents and permits: More detailed information about building consents and building permits granted for work on the property can be viewed online for free using council's [Building Information Search](#) or at Council's consents counter, 30 Laings Road, Lower Hutt.
- Council's plan for the city: The [Long Term Plan](#) outlines our priorities for the next 10 years, including what we plan to do. Council's [Annual Plan](#) is an operational look at the financial year ahead to ensure we're on track.
- The Proposed Lower Hutt District Plan was publicly notified on 6 February 2025. This is proposed to replace the current District Plan. The Proposed District Plan contains information, including new hazards and risks overlays, that may be relevant to this property. It is important to note that information from the Proposed District Plan has not been included in this LIM. Please refer to the District Plan section of this LIM for more information.
- Greater Wellington Regional Council: This council may hold information on the property. Ring 04 384 5708.
- Utilities: Electricity and gas companies may also hold information on the property.

If you have any questions, please refer to the relevant contact details found in each section of this report.

Yours sincerely,

Rebecca Aumua
LIM Officer

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OVERVIEW

PROPERTY ADDRESS

14 Matuhi Street TIROHANGA

LEGAL DESCRIPTION

LOT 18 DP43081 WN15B/1129

VALUATION NUMBER

1610475600

LAND AREA

636 m²

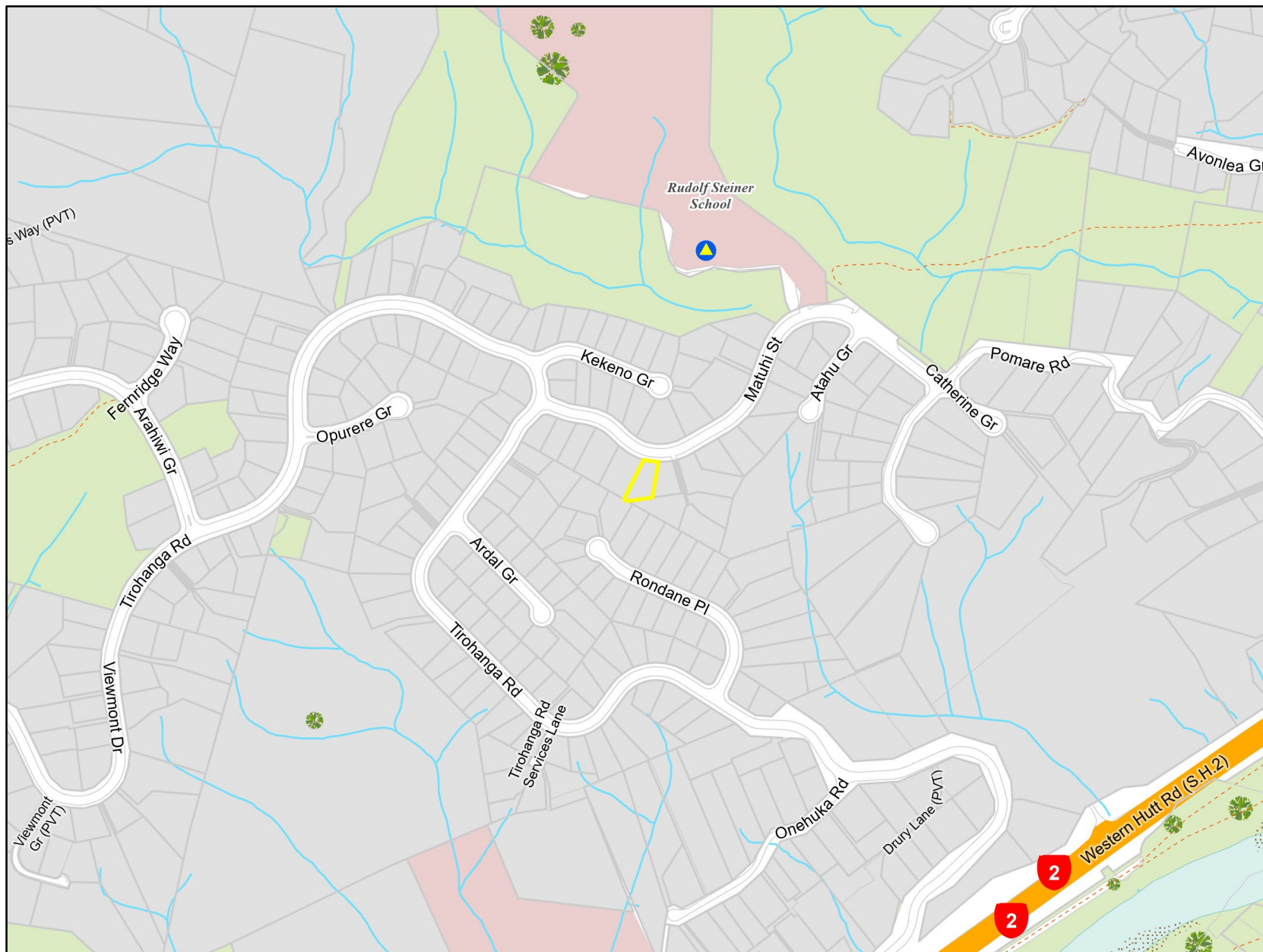
DEPOSITED PLAN











See the attached deposited plan.

Contacts	Position	Phone
Deposited Plan	Engineering Records Officer	04 570 6666

PROPERTY DETAILS

Type	Description
Suburb	Tirohanga
Ward	Western Ward
Rubbish Collection Day	Wednesday
District Plan - Activity Area	Medium Density Residential
Tsunami Evacuation Zone	No Evacuation Tsunami Zone (Green Zone)
Exposure Zone (Sea spray)	NZS 3604:2011 - 4.2.3.2 Zone C: Medium
Wind Zone (Indicative only)	This land is in a high wind zone in accordance with NZS 3604:2011.
Geological and Nuclear Sciences 1:50,000 Soil Type	Deformed and indurated sandstone and mudstone.
National Grid Yard - (Transmission (High Tension) Lines)	National Grid Yard
National Grid Corridor	National Grid Corridor



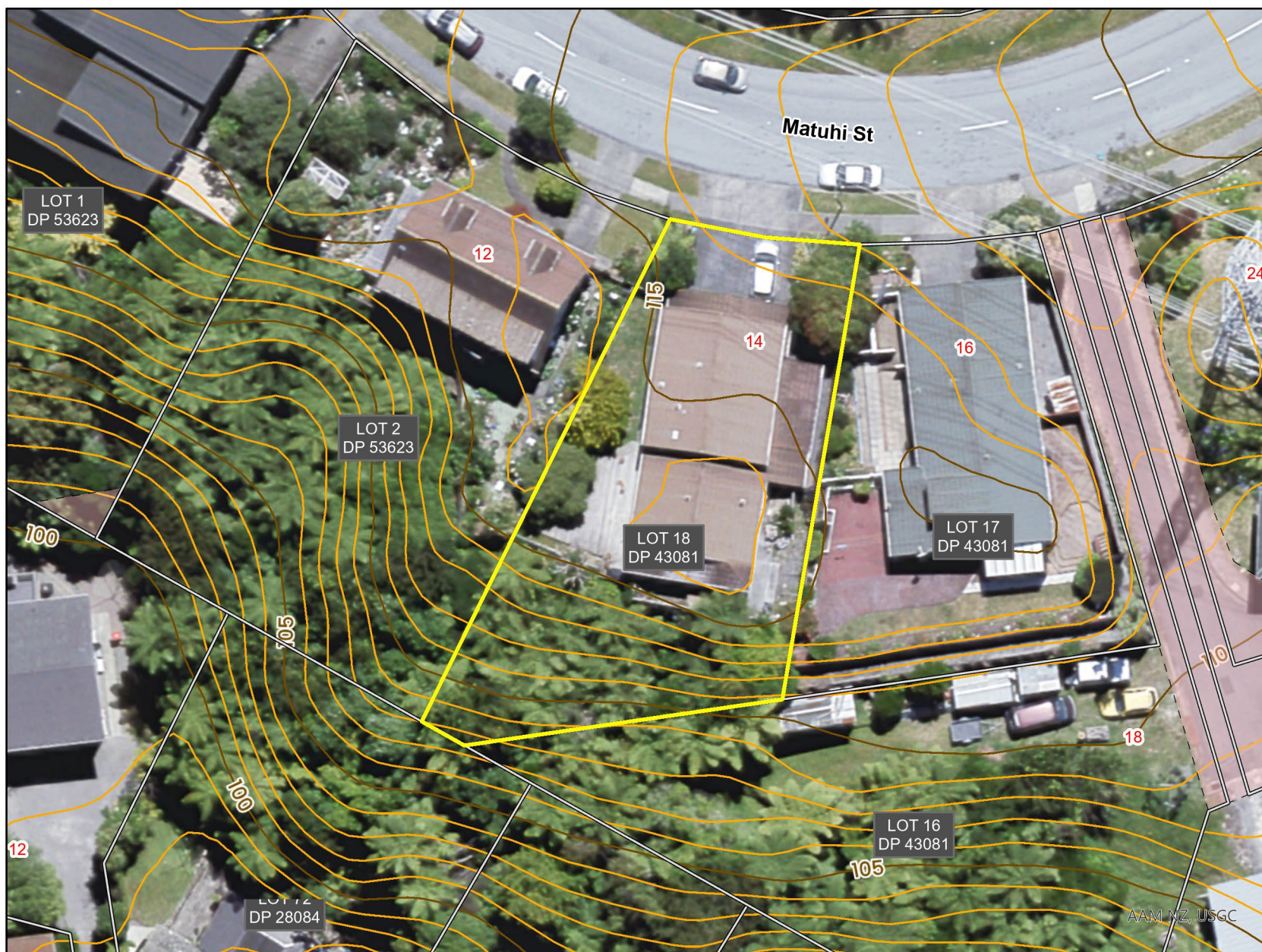
-  LIM Property
-  Properties
-  Land Parcels
-  Schools
-  Reserve
-  Waterbody
-  Streams and Rivers
-  State Highway
-  Access Track
-  Community Emergency Hub



LOCALITY MAP

Scale: 1:5,000

- LIM Property
- Contours
- Properties
- Land Parcels
- Easements



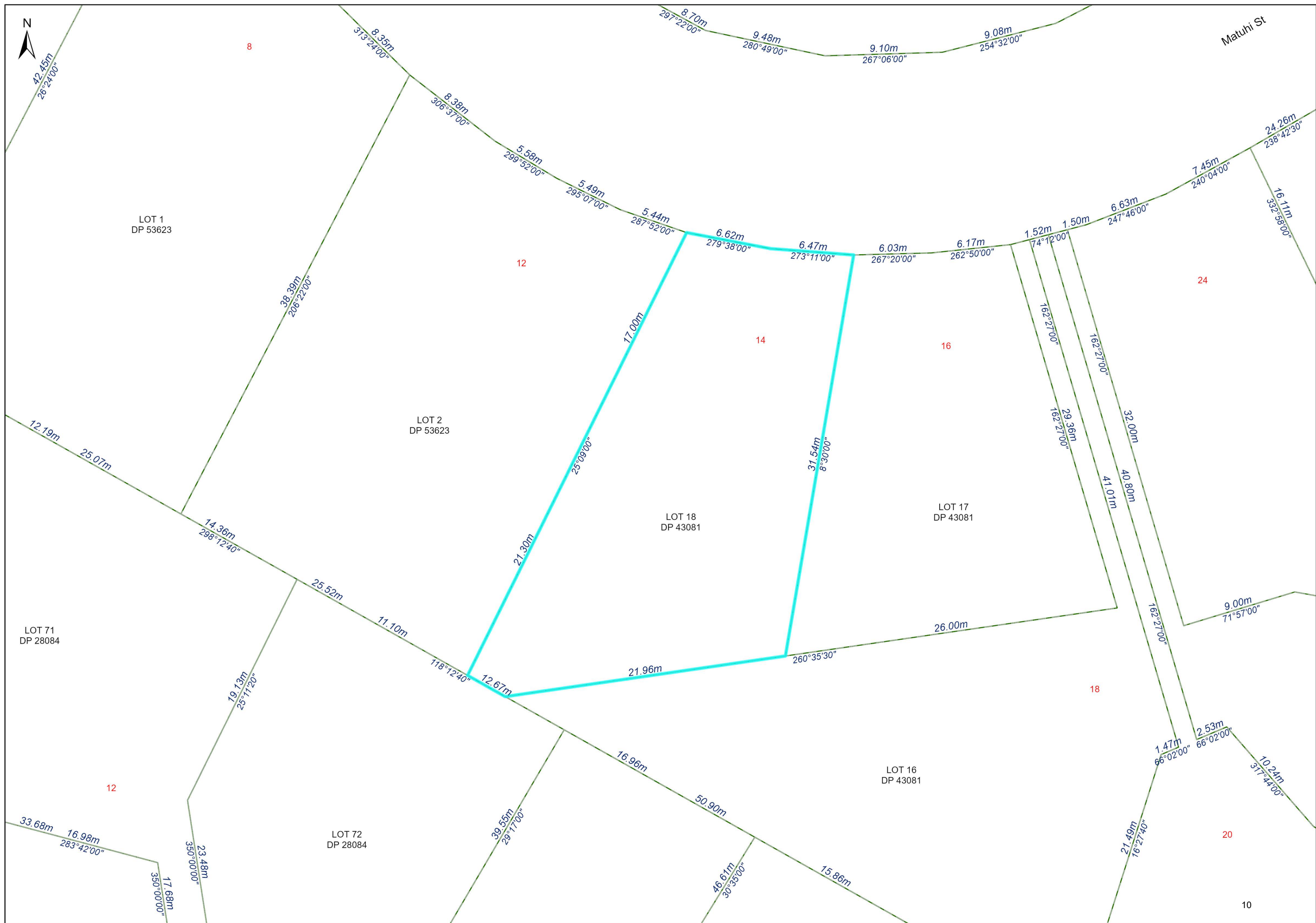
2021 AERIAL PHOTOGRAPH

Scale: 1:392

Although the information displayed has been prepared with care and in good faith, It is an information service and is designed to be illustrative only. The Council cannot guarantee the accuracy or completeness of the information and accepts no liability for any loss suffered as a result of reliance on the information. Parcel boundaries sourced from Land Information New Zealand data supplied under license to Hutt City Council. Crown Copyright Reserved.

Aerial photography flown in Jan-Mar 2021 and produced by AAM NZ Ltd for Hutt City Council and GWRC under the Creative Commons New Zealand Attribution v3.0 license. <http://creativecommons.org/licenses/by/3.0/nz/>

Deposited Plan



Current Record of Title



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy




R.W. Muir
Registrar-General
of Land

Identifier **WN15B/1129**

Land Registration District **Wellington**

Date Issued 05 November 1975

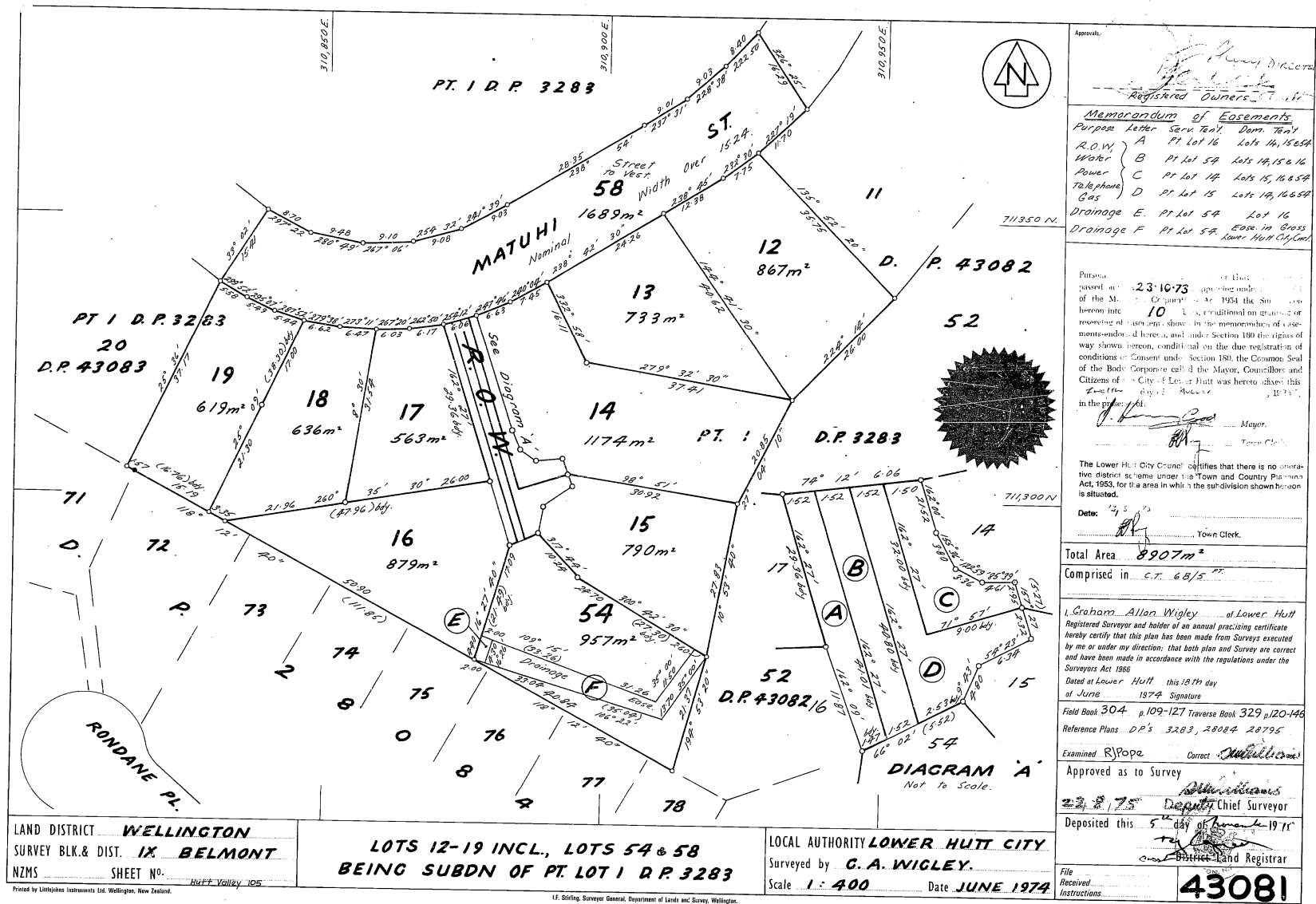
Prior References

WN6B/5

Estate	Fee Simple
Area	636 square metres more or less
Legal Description	Lot 18 Deposited Plan 43081
Registered Owners	
Martin Renovations Limited	

Interests

082392.1 Conditions of Consent by the Lower Hutt City Council to the granting of the rights of way specified in DP 43081
- 5.11.1975 at 9.17 am



RATES

The following rates are based on the capital value of the property at the start of the current financial year beginning 1 July 2024.

ANNUAL RATES

The general and targeted rates charged on a property during the rating year (1st July 2024 to 30th June 2025.)

Rates: \$5,982.23

RATES DUE AND PAYABLE

Any rates that are past the due date and remain unpaid.

Rates: \$0.00

CAPITAL VALUE

This value is used to calculate the general rates component of the property's annual rates. (It is a combination of the land value and the value of buildings and other improvements.)

Current: \$920,000.00

Effective 1 July 2025: Not Available

LAND VALUE

The land value is one component of the capital value.

Current: \$480,000.00

Effective 1 July 2025: Not Available

RATING CATEGORY

Residential - Dwelling houses.

WARM GREATER WELLINGTON HOME INSULATION SCHEME

Greater Wellington Regional Council (GWRC) offers the Warm Greater Wellington home insulation scheme by way of voluntary targeted rate to help fund the cost of home insulation. In other words, GWRC fund a specific activity (eg, insulation) on behalf of an individual ratepayer because the activity meets council policy objectives as well as benefits the ratepayer. While the scheme is currently on hold for new applications, please email warm@gw.govt.nz to check if the property has an existing Warm Wellington funding attached to it.

For information on how rates are calculated and how they are used, please visit our [website](#).

Contacts	Position	Phone
Rates details	Rates Officer	04 570 6666

BUILDING WORK

BUILDING PERMITS AND CONSENTS

The building card (also called “Building Permit Record” or “Drainage and Plumbing Register”), contains a list of all known building permits and building consents for the property up until the early 2000s, at which point the records were digitised. Borough councils may have issued some of these building permits before their amalgamation into Hutt City Council.

Note: Building consents and code compliance certificates came into existence with the passing of the Building Act 1991. Before then, councils issued only building permits. Building work carried out earlier than July 1, 1992 may quite legitimately have no code compliance certificate.

For further information and copies of pre-1991 permits that may not be included in this report but held on file, you can search online for free using council’s [Building Information Search](#).

Alternatively you can also order a copy of this information in electronic or hard copy format ([fees apply](#)):

- by phoning us on 04 570 6666/0800 HUTT CITY
- or sending an [email](#)
- or request in person from our team at the [council offices](#).

MATTERS RELATING TO THE WEATHERTIGHT HOMES RESOLUTION SERVICES ACT 2006

The Ministry of Business, Innovation and Employment has sent council no correspondence about the building(s) on the property as it relates to the Weathertight Homes Resolution Services Act 2006.

BUILDING WARRANTS OF FITNESS

No building warrant of fitness is needed for a single household residence unless it has a cable car. A building warrant of fitness is a statement from a building owner confirming that the specified system has been properly maintained.

If you’re unsure or require further information, please click [here](#) or contact the council’s building warrant of fitness officer on 04 570 6948.

FENCING OF SWIMMING POOLS

Residential pools are required by law to have physical barriers compliant with the pool safety provisions enacted by the Building Act 2004, regardless of whether there are young children living at the property. This requirement applies also to temporary pools and to small heated pools such as spa pools or hot tubs.

Please note that the Fencing of Swimming Pools Act 1987 was repealed on 1 January 2017 and replaced by provisions for fencing of pools in the Building Act 2004.

HEALTHY HOMES

Eco Design Service:

Hutt City Council offers free and impartial advice on house performance with an Eco Design Advisor service.

The EDA assessment is about houses being warm, dry and healthy. It assesses how well the house will retain heat, heating, moisture control, indoor air quality and energy use. It can also cover building materials, water and waste.

House assessments take one to one-and-one half hours, and you will receive a report/action plan for future reference. If you would like to make an appointment with an Eco Design Advisor, please phone 04 570 6666 or email ecodesign@huttcity.govt.nz.

HomeFit Certification:

New Zealand homes can be cold, draughty, expensive to heat and make us, our friends and our whānau sick.

HomeFit is an inspection-based assessment of the health, comfort, energy efficiency and safety of New Zealand homes. It covers a range of topics that a panel of experts believes to be essential for a home to be livable and provides an independent check as to whether the house meets the Healthy Homes Standards.

Check the [Homefit website](#) to do an online check and to find out how to get your home certified.

Rental Properties:

The healthy homes standards became law on 1 July 2019.

The healthy homes standards introduce specific and minimum standards for heating, insulation, ventilation, moisture ingress and drainage, and draught stopping in rental properties.

Landlords are responsible for maintaining and improving the quality of their rental properties. These standards will help ensure landlords have healthier, safer properties and lower maintenance costs for their investments.

The standards will also make it easier for tenants to keep their homes warm and dry. For more information on the criteria and deadlines of the standards, please visit the [Tenancy Services](#) website.

New Build:

Are you building a new home? Consider Homestar, a national rating tool that measures the health, warmth and efficiency of New Zealand houses. A home is rated on a scale from 6 to 10 and provides assurance that a house will be better quality - warmer, drier, healthier and cost less to run - than a typical new house built to building code. A 10 Homestar rating means you've built a world leading home. Check the [NZ Green Building Council](#) website for more information.

LEAD BASED PAINT

Lead based paint was widely used in and around New Zealand homes until the 1980s. It is particularly important to keep yourself safe when renovating and not to contaminate your home and garden. For information on managing lead based paint, please see Worksafe New Zealand's [website](#).

ASBESTOS

Most houses built between 1950 and 2000 are likely to contain asbestos in some form, which may be a health hazard if the asbestos fibres become airborne, for example if the material is damaged, sanded or drilled into. For more information, check out the Ministry of Health [website](#).

If you are intending on renovating a home potentially containing asbestos, this [Worksafe](#) website might be of some use to you.

TREATED TIMBER

Treated timber is timber that has been treated with chemicals to preserve its quality. It can be hazardous to health when exposed to the preservative in the wood, for example, when you are cutting the wood and creating dust.

For more information and precautions when handling treated timber visit this Ministry of Business, Innovation and Employment [website](#)

Contacts	Position	Phone
Building consents and permits	Duty Building Consent Officer	04 570 6666
Weathertight Homes Resolution Services Act	LIM Officer	04 570 6666
Building warrant of fitness	Building Warrant of Fitness Officer	04 570 6666
Private swimming pools and spas	Swimming Pool Officer	04 570 6666
Eco design service	Eco Design Advisor	04 570 6666

Historic Building Card and Pre-1990 Building Permits Plans

14 P 3433200
Street: MATUHI ST D.P. 43081 Lot: 18

BUILDING PERMIT RECORD

Owner: Glover K

TYPE OF JOB	BUILDER	VALUE	DATE OF PERMIT	PERMIT No.
Dwelling	Northern Hsg Co.	\$42,601	14/9/81	43249
Alts dwelling	Glover	\$4,400	19-10-83	46060
alts dwelling	Glover	\$13,000	19-1-88	52628

SEE REVERSE SIDE FOR FEES PAID

HARTLEYS 60886

COMPLETED

Sewer Connection \$15-00
Water Connection \$20-00
Stormwater Connection \$ -
Builder's Deposit \$M.B.A.
Motor Crossing \$140-00

Drainage permit 25943 T. Gaskin 13-4-89

16mm FILM 175-54

Drainage Permit No 21339 7-3-89 J. K. K. K.

SP 24/9/03

Registration No.

LOWER HUTT CITY COUNCIL

CITY ENGINEER'S DEPARTMENT

APPROVAL FOR ISSUE OF BUILDING PERMIT

Application for DWELLING
 Name of Owner GLOVER
 Address of Job 14 MATUHI ST

Date 19 Aug 81Lot 18D.P. 43081

BUILDING INSPECTORS:

	Approved	Fees	
Builder's and Owner's name and address		\$	c
Building Research Levy	42601	43	00
Ground levels and foundations			
Use of building and description on application			
General construction dwellings, etc.	41581	204	00
Values on application			
Chimneys, heating appliances, flues, etc.			
Fee, water for builders		7	00
Special requirements - factories, boarding-houses, hotels, public buildings, picture theatres			
Vehicle crossing		140	00
Builder's deposit (footpath damage, etc.)	M.B.A.		
Temporary hoardings on footpath		394	00
Encroachments on street (foundation or overhangs)			
Issued subject to legal agreement	P.D.	188	00
Builder informed to notify for first inspection			
Street Sheet Check for Engineering restrictions		582	00
TOTAL FEES:			

Notes:

R. Williamson Building Inspector 31/8/81 Date

31/8/81 Date

DESIGN ENGINEER:

Fire Risk Area: _____ Occupancy Classification: _____ Type of Construction: _____

Means of egress: _____

Referred to Chief Fire Officer: _____

Structural calculations: _____

General construction: _____

Referred to Licensing Inspector: _____

Notes: _____

Value

Approved

Fees

\$

Sanitary Plumbing:

Drainage

Sewer Drainage requirement

Stormwater requirement

Water requirement

Health & Food Acts, Regs. etc.

Storage Dangerous Goods, Fuel, Oil, etc.

TOTAL FEES

Notes:

DRAINAGE ENGINEER:

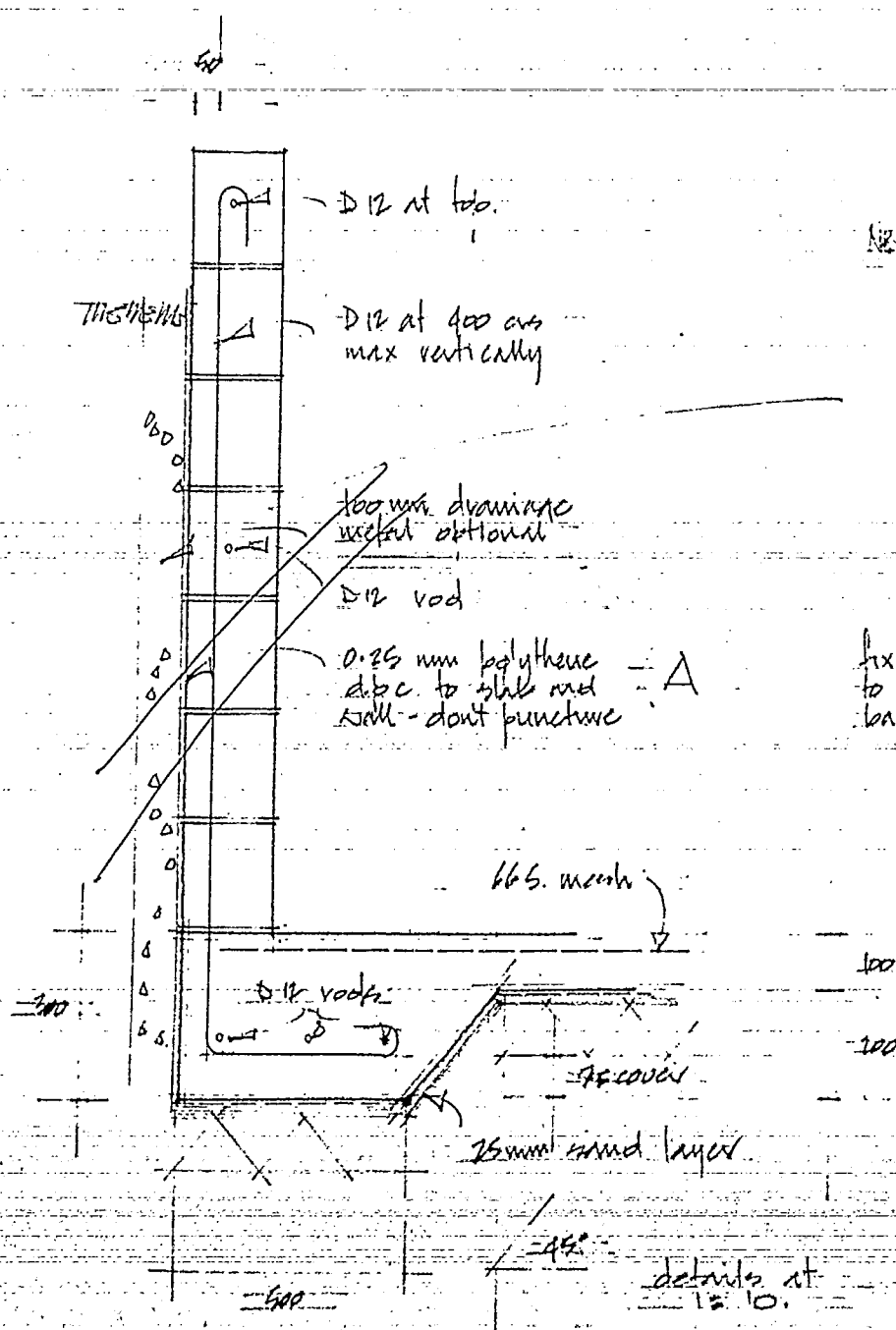
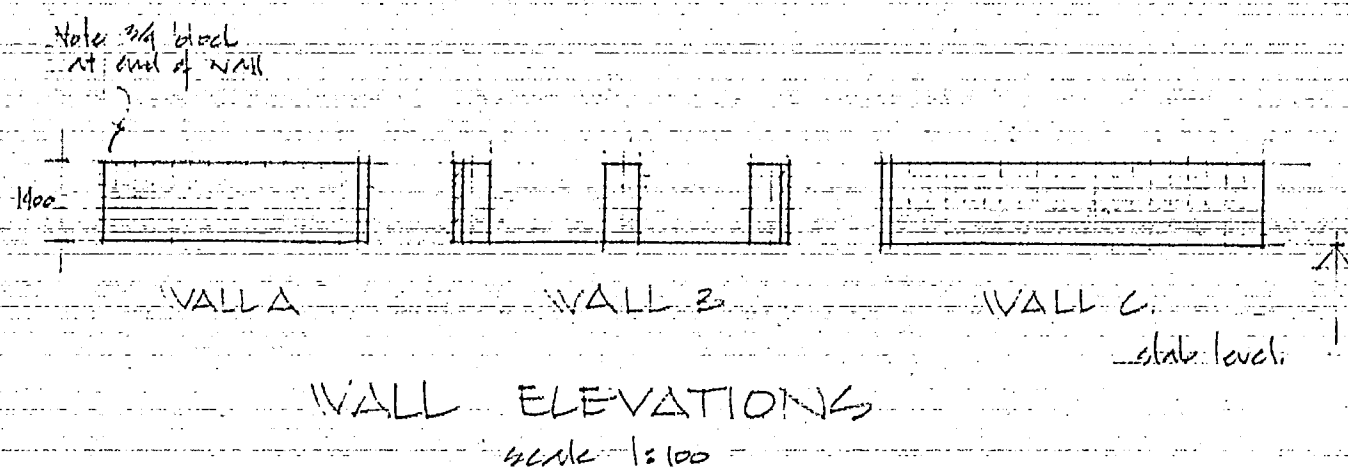
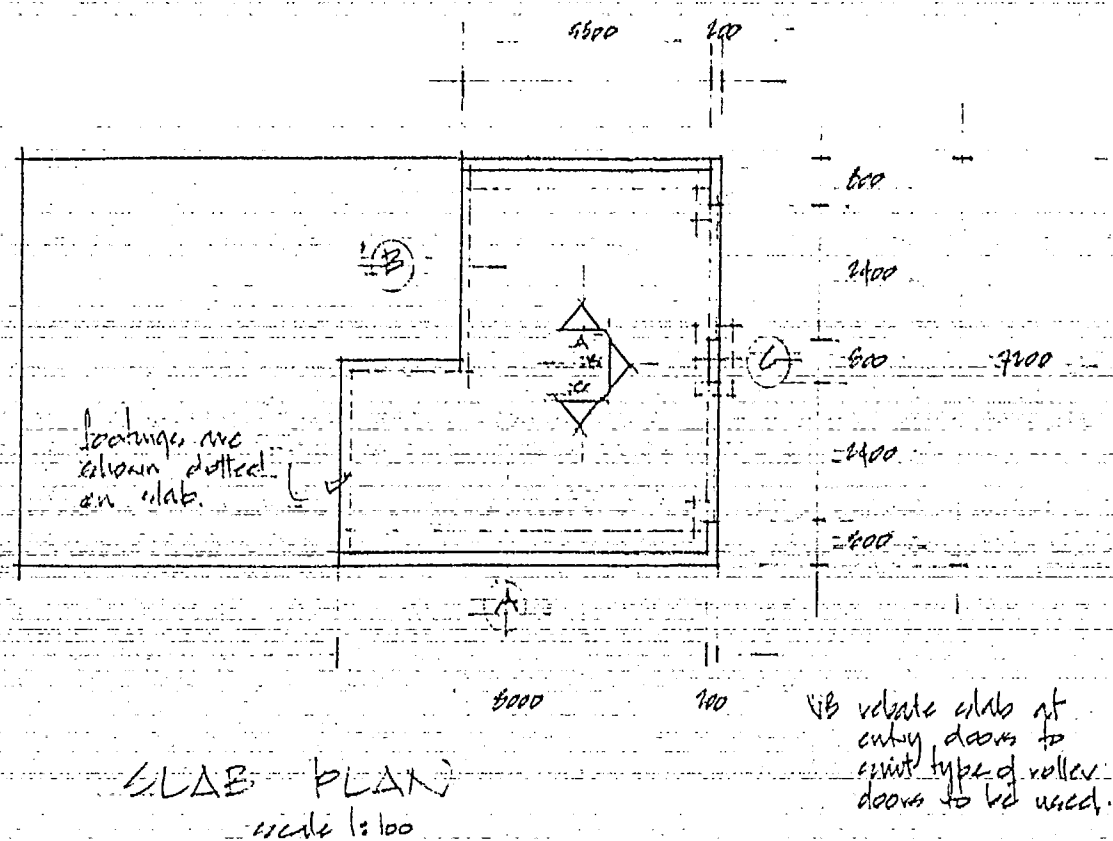
WATER ENGINEER

TOWN PLANNER

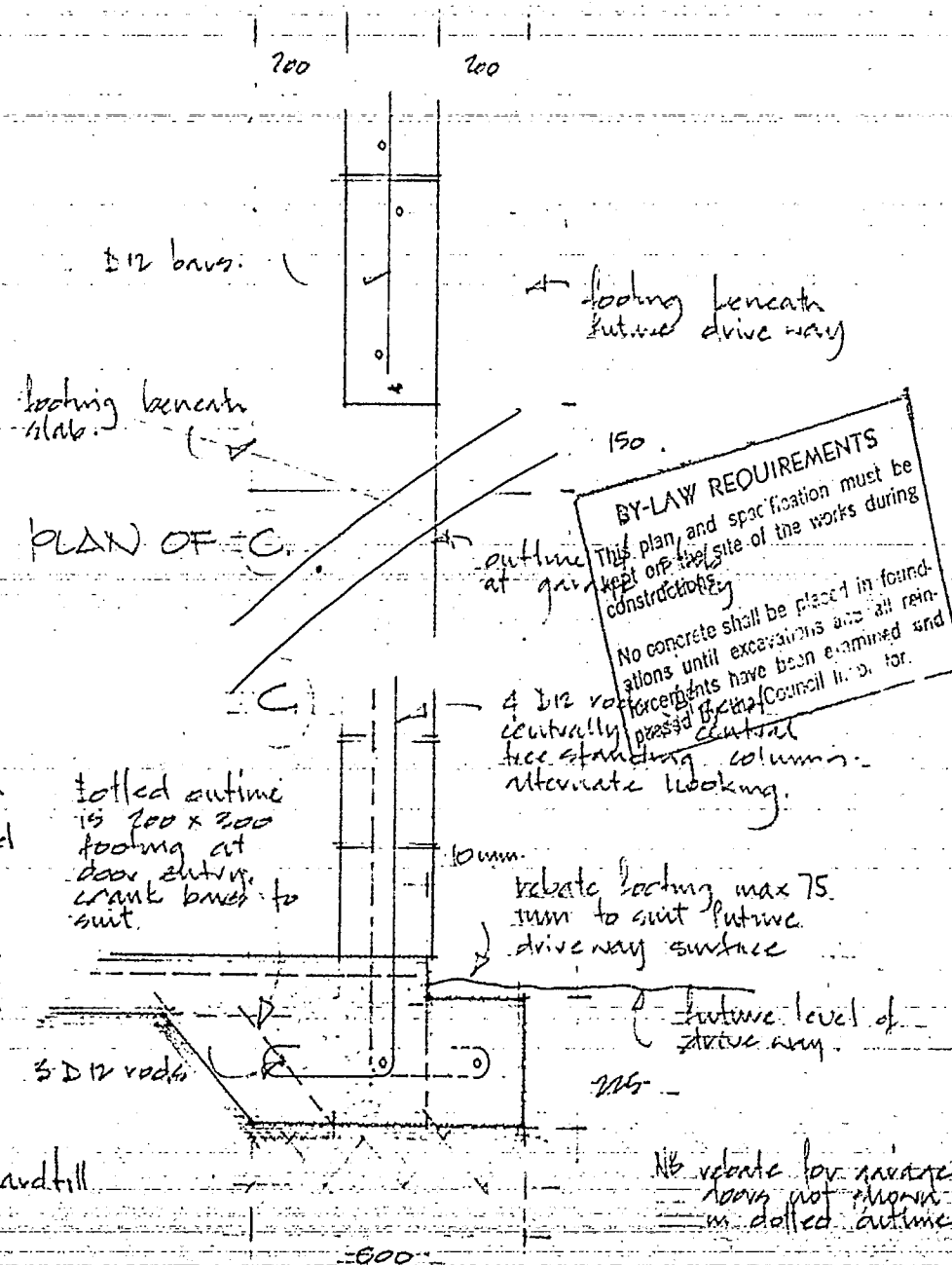
Street Sheet Check for T.P. Restrictions

Zone Res / Gen Use Residential Site Area ✓Yards ✓Height ✓ Density ✓ Coverage ✓Parking & Loading ✓Remarks (e.g. Verandahs, Amalg. of titles) ✓

FILE No. 43249PERMIT No. 43249DATE OF PERMIT 14-9-81ADDRESS 14 Matuhi StFilm 175-54



NOW TIMBER FRAME
TO NRS 3604.



BY-LAW REQUIREMENTS
This plan and specification must be kept on the site of the works during construction.

BLOCK WALL AND SLAB DETAILS : LOT 18, S.P. 43081
MATULI ROAD.

FILE No.	43249
PERMIT No.	43249
DATE OF PERMIT	14-9-81
ADDRESS	14 Matuli St.
Firm	175-54

25

branz

SHEET B

1	2	3	4	5	6	7	8
Total B.U.'s Required	Wall Line	Minimum B.U.'s Required	Label No.	Type	Rating B.U.'s/m	Length (m)	B.U.'s Provided
ALONG	DD	7.2x10	4	10	83	1.2	100
		72					100
	EE	7.2x10	5	8	67	1.2	80
		72	6	10	42	1.7	71
							151
238	TOTAL	144					251
ACROSS	AA	1.6x10	1	8	67	1.2	80
		16					80
	BB	1.6x10	2	12	42	ABSOLUTE	42
		16					42
	CC	1.6x10	3	8	67	1.2	80
		16					80
34.6	TOTAL	48					202

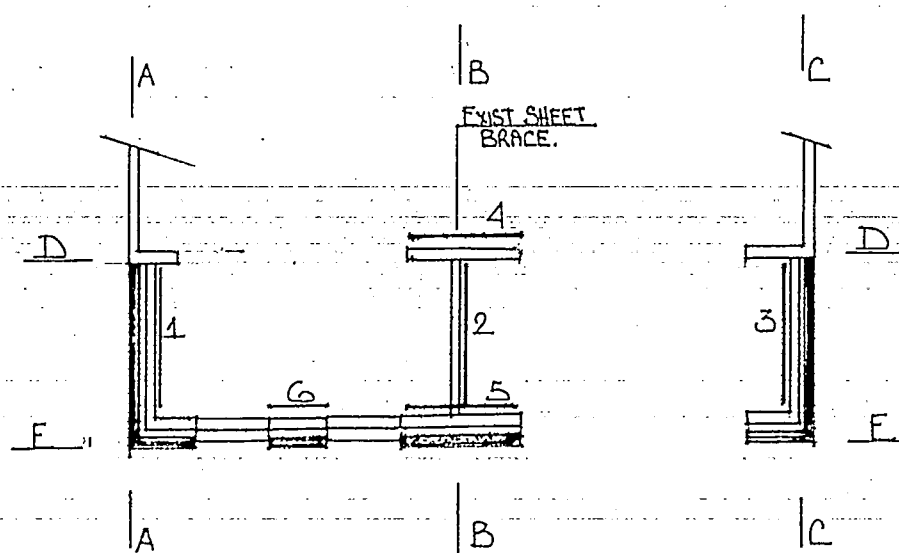
SHEET A

(CIRCLE whichever is applicable)

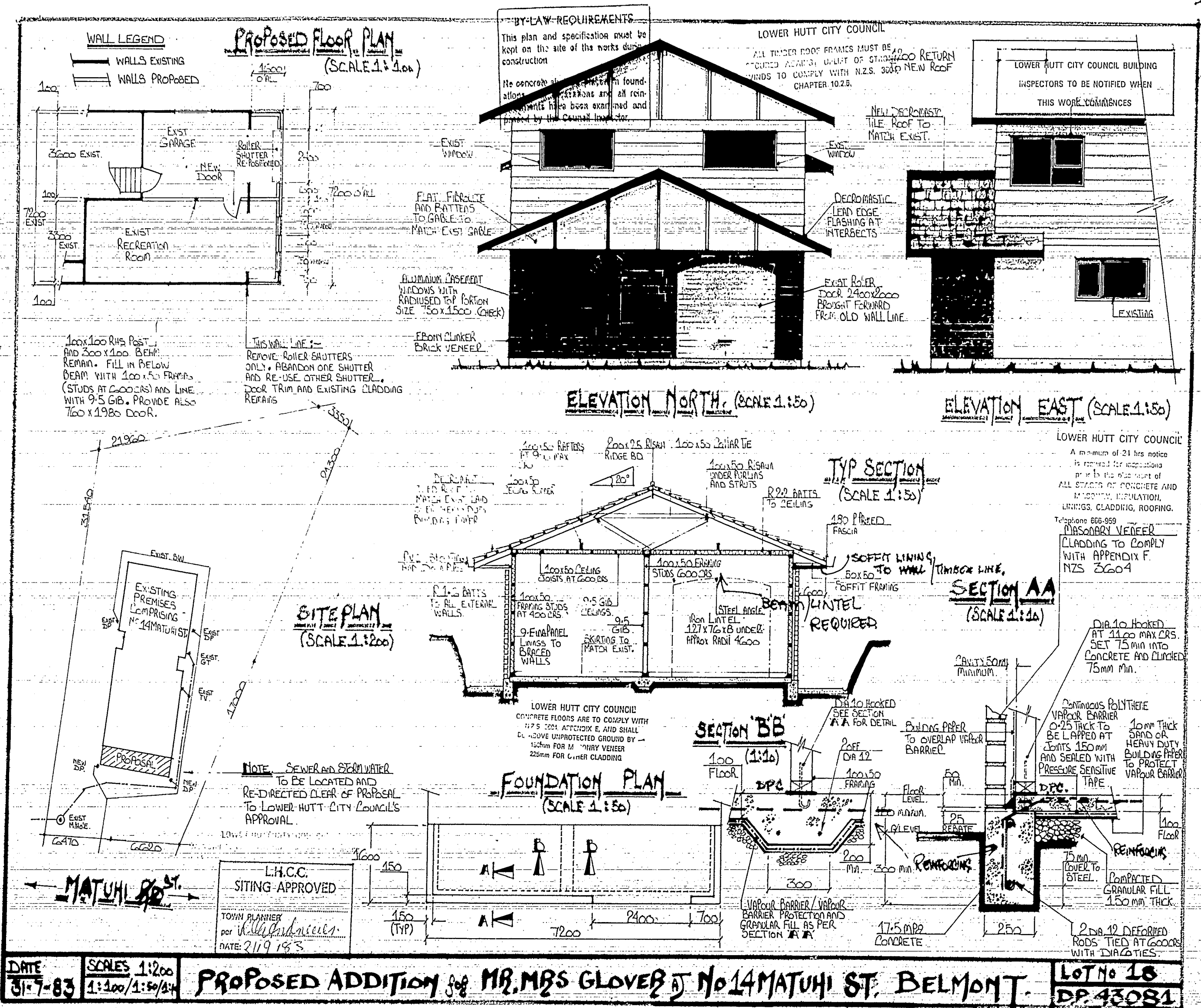
NAME: MR MRS GLOVER ADDRESS: 14 MATUHI ST. L/HUTT.

STOREY: ☒ Single or Uppermost ☐ Lower of two or middle of three ☐ Lower of three
 ROOF TYPE: ☒ Light ☐ Heavy
 ROOF PITCH: ☒ 6° - 25° ☐ 26° - 45°
 WIND AREA: ☒ High ☐ Medium ☐ Low
 EARTHQUAKE ZONE: ☒ A ☐ B ☐ C
 ROOF OR BUILDING LENGTH BL = 1.6m
 ROOF OR BUILDING WIDTH BW = 7.2m
 GROSS ROOF OR BUILDING PLAN AREA GPA = 11.52m²
 EARTHQUAKE: B.U.'s ALONG AND ACROSS E x GPA = 3 x 11.52 = 34.6 B.U.'s
 WIND: B.U.'s ALONG W x BW = 7.2 x 33 = 238 B.U.'s
 WIND: B.U.'s ACROSS W x BL = 33 x 1.6 = 53 B.U.'s

SKETCH PLAN (external and internal walls):



FILE No. 4324.9
 PERMIT No. 46060
 DATE OF PERMIT 19-10-83
 ADDRESS 14 Matuhi St.



FILE No. 43249

PERMIT No. 46060

DATE OF PERMIT 19-10-83

ADDRESS 14 Matuhi St.

52628

BUILDING PERMIT APPLICATION

Date 23-11-87

THE CITY ENGINEER,
LOWER HUTT CITY COUNCILLOWER HUTT
CITY COUNCIL
CITY ENGINEER'S OFFICE

TELEPHONE 666-950, PRIVATE BAG, LOWER HUTT, N.Z.

I hereby apply for permission to erect, alter, add to, A RESIDENTIAL PROPERTY AT
14, MATUHI STREET, TIROHANGA, LOWER HUTT, HODGKIN.
according to locality plan and detailed plans, elevations, drainage plans, cross-sections and specifications deposited
herewith, in duplicate (REFER CHECK LIST OVER)

ADDRESS OF PROPOSED WORK: 14, MATUHI STREET, TIROHANGA, C. HUTTLOT No. 18D.P. No. 43081Site Area 636 m²NAME OF OWNER MR & MRS K. GLOVERPRESENT ADDRESS 14, MATUHI STREET, TIROHANGA, C. HUTTNAME OF BUILDER MR K. GLOVERTelephone No. 666-929 x7004
(8 am to 4.30 pm)PRESENT ADDRESS AS ABOVEP.O. Box No. —

PERTAINING TO APPLICATION

ESTIMATED VALUE

Area of Basement	m ²	Building	\$ 10,000
Area of Ground Floor	20 m ²	Sanitary Plumbing Labour	\$ 1,500
Area of Top Floor	m ²	Drainage Only	\$ 1,500
TOTAL FLOOR AREA	20 m ²		
Area of Outbuildings	m ²	TOTAL	\$ 13,000

Purpose for which building is to be used or occupied (intended use of each part shown on plan). State if building is
for sale or rental (information required by Government Statistician).

New front entry and toilet facilities, with decks
around entire perimeter.

And I do hereby agree to abide by all the provisions of the Lower Hutt City Council By-laws governing and regulating
all matters the subject of the foregoing.

NAME OF PERSON DEPOSITING PLANS K. GloverTelephone 692089PRESENT ADDRESS 14, MATUHI STREET, TIROHANGA L.H.O. Box No. —

ACTING IN CAPACITY, e.g. Owner/Builder/Consultant etc.

Principal Consultant as defined in NZS 1900, Chapter One. Any queries addressed to the following:—

NAME		Phone No.
1. Architectural drawings	<u>MR F. FINLEY</u>	<u>677188</u>
2. Structural Engineering drawings	<u>MR J. CHRISTENSEN</u>	<u>729589</u>
3. Compliance with Town Planning Requirements		
4. Compliance with Fire & Egress Requirements		

Register No. 6-30

FOR LOWER HUTT CITY COUNCIL USE ONLY

Road Map Check ☐ M. File Check ☐

Documents Received (REFER OVER)

Application Fee \$ \$118.25Receipt No. 33626Accepting Officer Initial ML

LOWER HUTT CITY COUNCIL

CITY ENGINEER'S DEPARTMENT

APPROVAL FOR ISSUE OF BUILDING PERMIT

Registration No. —Application for —Date —Name of Owner —Lot —Address of Job —D.P. —

BUILDING INSPECTORS:

Notes: —no structural checking fees required. \$0

attached

letter sent

FEES/DEPOSITS SUMMARY

Calculations if Required

Application Form

Building Inspector — Chief Building InspectorDate —Date —

DESIGN ENGINEER:

Fire Risk Area: —Occupancy
Classification: —Type of
Construction: —Means of egress: —Referred to Chief Fire Officer: —Structural calculations: —General construction: —Referred to Licensing Inspector: —Notes: —Date 2/12/87Design Engineer —

Plumbing/Drainage Insp.

Value

Approved

Fees
\$DEPS
\$Sanitary Plumbing: —\$ 30049.50Drainage: —\$ 40066.00Sewer Drainage requirement: —Stormwater requirement: —Water requirement: —Health & Food Acts, Regs. etc.: —Storage Dangerous Goods, Fuel, Oil, etc.: —Notes: —

TOTAL FEES

\$ 115.50Plumbing/Drainage Insp. —Date 23-11-8724-11-87Health Inspector —

DRAINAGE ENGINEER:

WATER ENGINEER

TOWN PLANNER

Street Sheet Check for T.P. Restrictions: —Zone: —Use: —Site Area: —Yards: —Height: —Density: —Coverage: —Parking & Loading: —Remarks (e.g. Verandahs, Amalg. of titles): —Date 4/12/87Town Planner —

52628

FILE No. —PERMIT No. 52628DATE 19/1/88ADDRESS 14 MATUHI ST.

SHEET A
(CIRCLE whichever is applicable)

NAME: MR. MRS. GLOVER. ADDRESS: 14 MATUHI ST. BELMONT.

~~BUILDING BRANCH~~ Mr Butler GB/wb
14 December 1987

Mr K. Glover,
-14 Matuhi Street,
LOWER HUTT.

Dear Sir,

Proposed Additions
for Mr & Mrs Glover at 14 Matuhi Street

..... Your application dated 23 November 1987 has been approved and a building permit can now be issued. I have to advise that no deviation shall be permitted from the approved plans without approval from the Engineer - reference N.Z.S. 1900 Chapter 2 Clause 2.15.1.

Please find attached a schedule of fees and deposits relating to this permit which must be paid when uplifting the approved documents. Work should not commence until the building permit is uplifted.

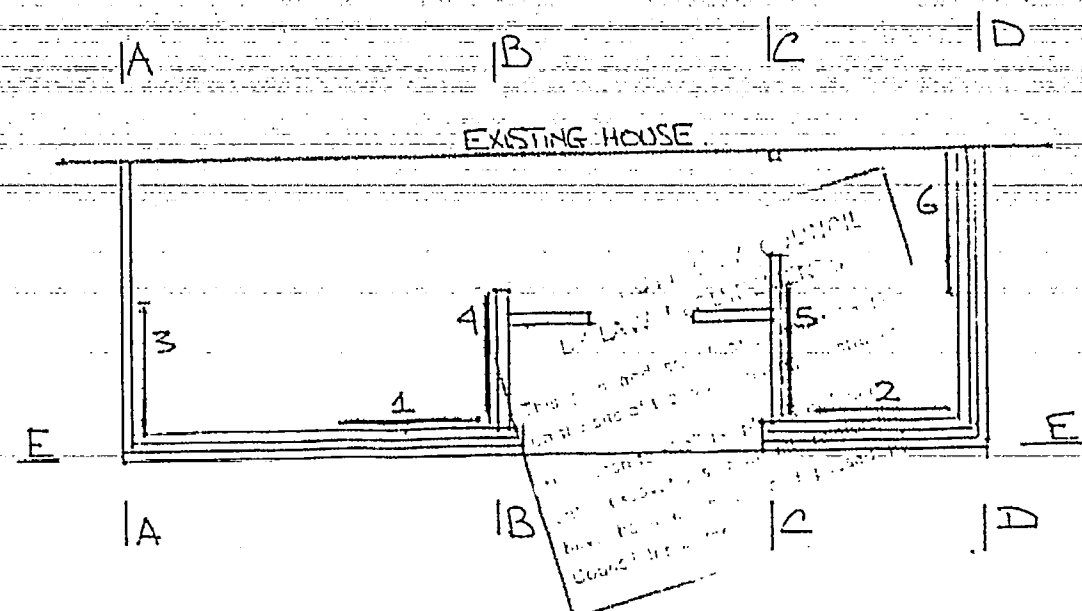
Yours faithfully,

M.S. Faulknor
CHIEF BUILDING INSPECTOR
for CITY ENGINEER

FILE No.
PERMIT No. 52628
DATE 19/1/88
ADDRESS 14 MATUHI ST.

STOREY: <u>Single or Uppermost</u> Lower of two or middle of three Lower of three	ROOF TYPE: <u>Light</u> / Heavy
WIND AREA: <u>High</u> / Medium / Low	ROOF PITCH: $0^\circ - 25^\circ$ <u>$26^\circ - 45^\circ$</u>
EARTHQUAKE ZONE: <u>A</u> / B / C	W = <u>38</u> B.U.'s/m
ROOF OR BUILDING LENGTH	E = <u>3</u> B.U.'s/m ²
ROOF OR BUILDING WIDTH	BL = <u>7.5</u> m
GROSS ROOF OR BUILDING PLAN AREA	BW = <u>2.6</u> m
EARTHQUAKE: B.U.'s ALONG AND ACROSS	GPA = <u>19.5</u> m ²
WIND: B.U.'s ALONG	E x GPA = <u>3x19.5 = 58.5</u> B.U.'s
WIND: B.U.'s ACROSS	W x BW = <u>38x2.6 = 99</u> B.U.'s
SKETCH PLAN (external and internal walls):	W x BL = <u>38x7.5 = 285</u> B.U.'s

SKETCH PLAN (external and internal walls) :



POOR QUALITY
PLANS FOR
MICROFILMING

Walt
 10-22 10:00

$$W = (0.40 \times 2 + 1.0 \text{ kPa}) \times 1.0 \approx 2.0 \text{ kN}$$

dead floor
live

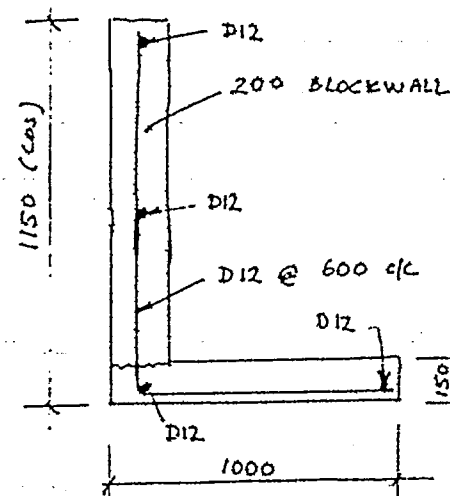
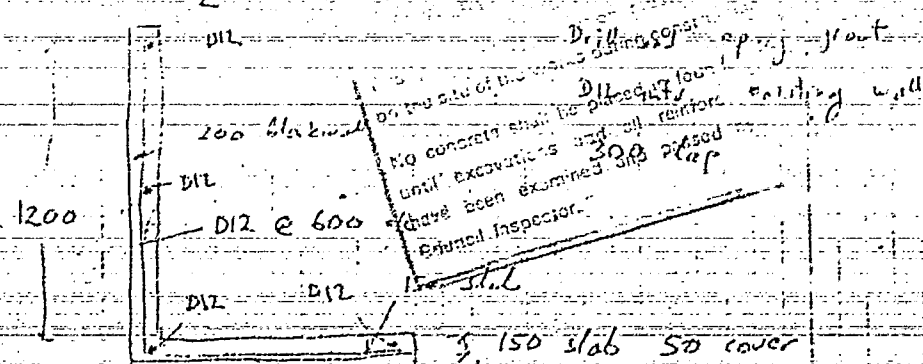
+ roof

$$M_{base} = \left((1.2 + 0.33 \times 1.7) \times 1.2^2 + (0.6 \times 1.2) + (0.80 \times 2.0) \right) \times 1.7 = 5.0 \text{ kN-m}$$

From T: 10-6 NAVFAC. DH-7

$$t_{\text{ry}} = 0.12 \text{ e } 600 \text{ de } M = 0.7r \left(\frac{10}{8} \times 113 \times 300 \right) (40 \times 0.92) = 4.5 \text{ km}$$
$$S = 4 \text{ kNm} \quad 1.0 \quad 7.2 \times 1.0 + 3.6 \times 0.5 \quad 0.4 = 17.1$$

1943 (1944) (1945) (1946)



WALL ELEVATION


NOTES :

1. DRILL AND EPOXY GROUT HORIZONTAL BARS INTO EXISTING FOOTING. MINIMUM LAP 300.
2. 50 MINIMUM COVER TO REINFORCEMENT IN SLAB

BY-LAW REQUIREMENTS

This plan and specification must be followed on the site of the works during construction.

PROPOSED — RETAINING WALLS
FOR Mr. & Mrs. GLOVER
No. 14 MATUNI ST. BELMONT



**Brickell Moss
Raines & Stevens Ltd.**
Consulting Engineers Planners
Architects and Surveyors

Scale
N.T.S.

Drawing No.

SHEET B

1
Total B.U.'s
Required

2

Well Line

3

4

5

Well Bracing Elements Provided

6

7

8

Label

Minimum
B.U.'s
Required

Label No.

Type

Rating
B.U.'s/m

Length
(m)

B.U.'s
Provided

ALONG

~~EE~~

7IGXIO

1

~~B~~

~~67~~

1.2

80

2

~~B~~

~~67~~

1.2

80

7G

Sub-total

160

~~FF~~

Sub-total

~~GG~~

Sub-total

~~HH~~

Sub-total

99

TOTAL

7G

TOTAL

160

ACROSS

~~AA~~

2IGXIO

3

8

~~67~~

1.2

80

2G

Sub-total

80

~~BB~~

2IGXIO

4

8

~~67~~

1.2

80

2G

Sub-total

80

~~CC~~

2IGXIO

5

8

~~67~~

1.2

80

2G

Sub-total

80

~~DD~~

2IGXIO

6

8

~~67~~

1.0

67

2G

Sub-total

67

Sub-total

285

TOTAL

104

TOTAL

397

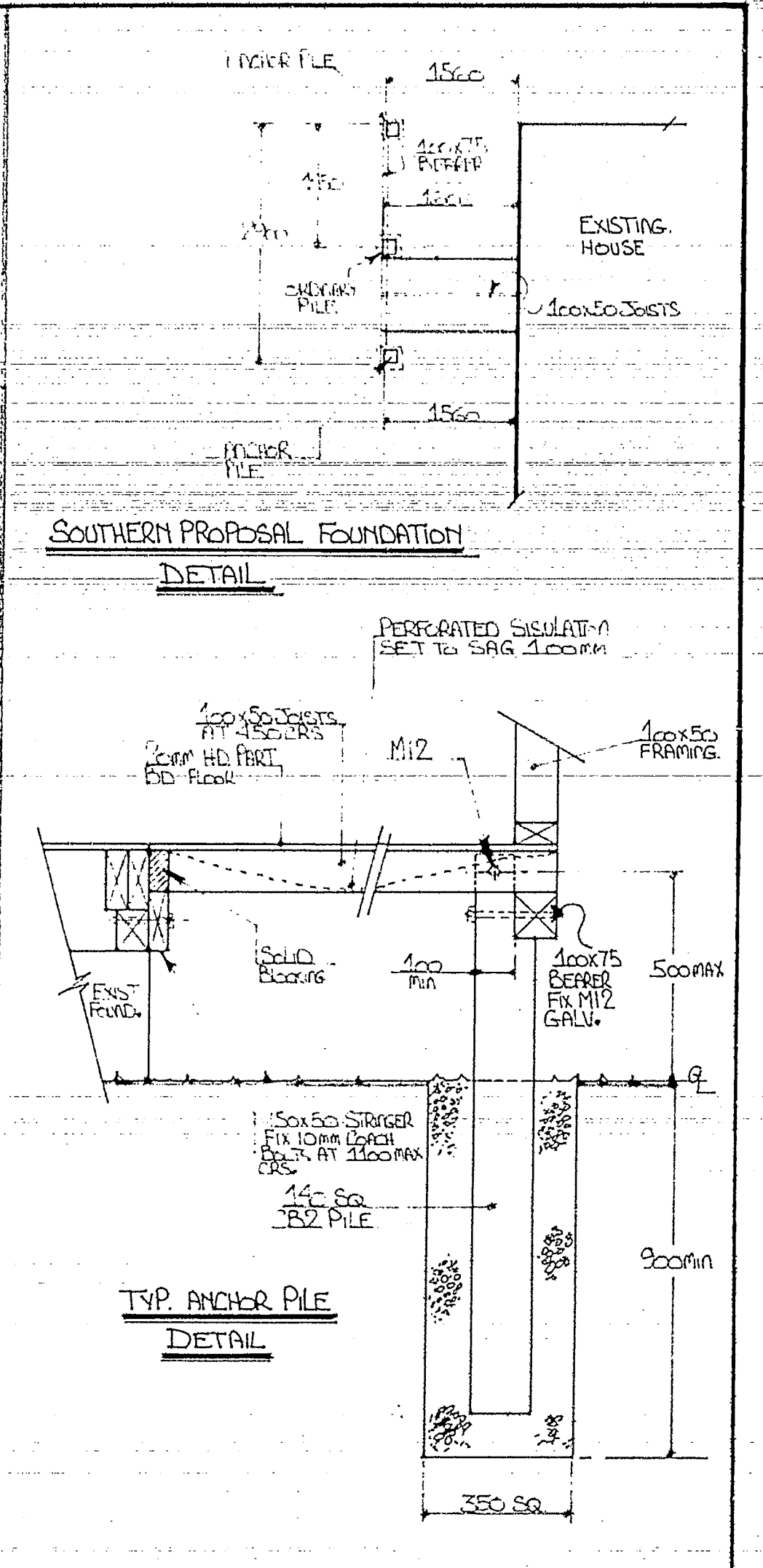
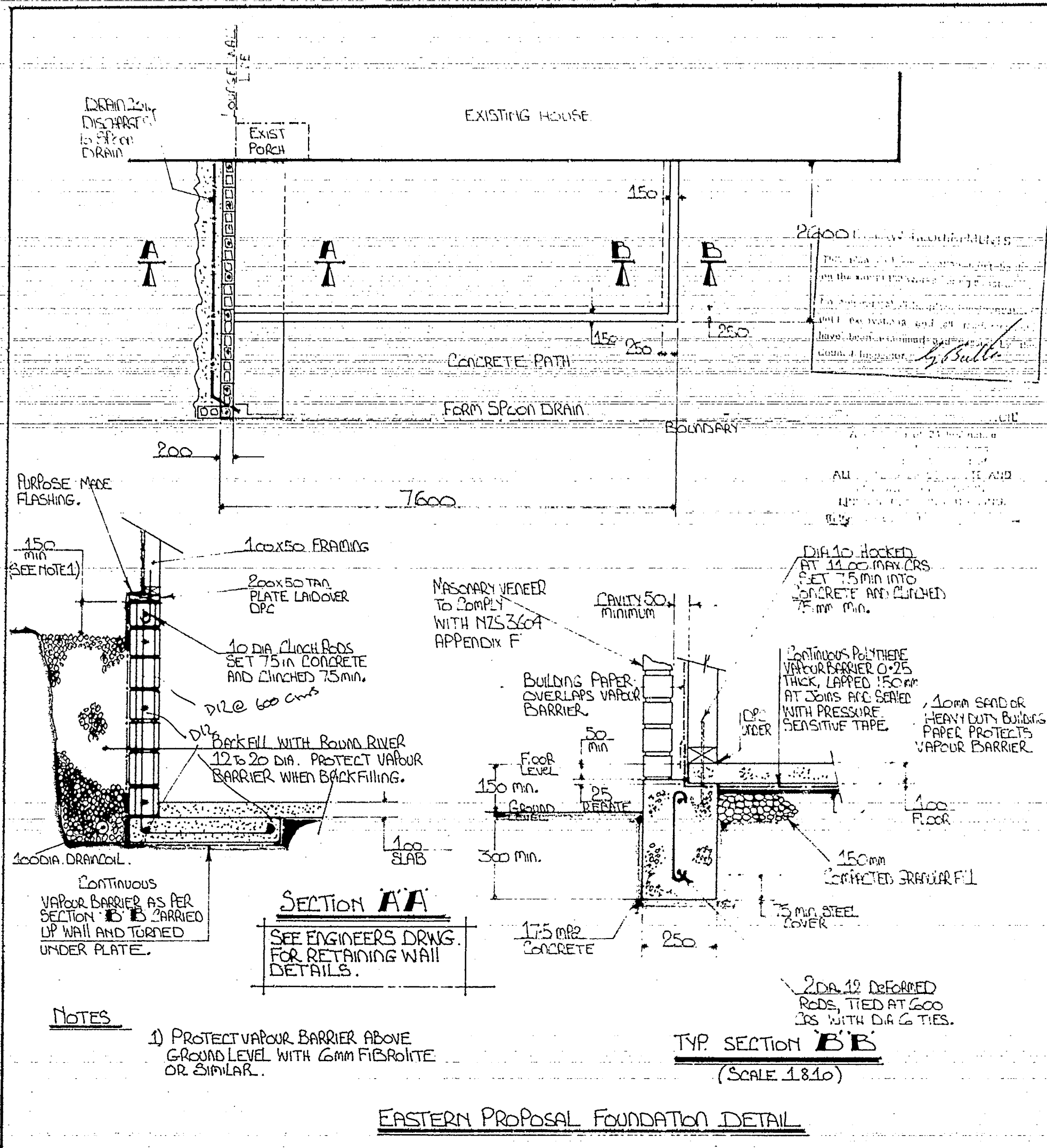
Owner	Glover
B.P.	43249
Tested	19 1.82
Player	Gunnells
Type of Pipe	Sleeve Joint
Serial	1200

LOWER HUTT CITY COUNCIL
The accuracy of this SITE PLAN and/or DRAINAGE PLAN cannot be guaranteed. All BUILDING PERMIT applications must be accompanied by a true and up-to-date plan of scale 1:200.
True position of drainage to be verified on site.

Lot 18. 43081
D.P.

14 Matsuhisa





DATE 31-10-87	SCALES	FOUNDATION DETAILS FOR PROPOSAL AT 14 MATUHI ST. BELMONT L/HUTT FOR MR/MRS GLOVER	SHEET 2 OF 2 SHEETS	DPN° 43081	LOT N° 18
------------------	--------	---	---------------------	------------	-----------

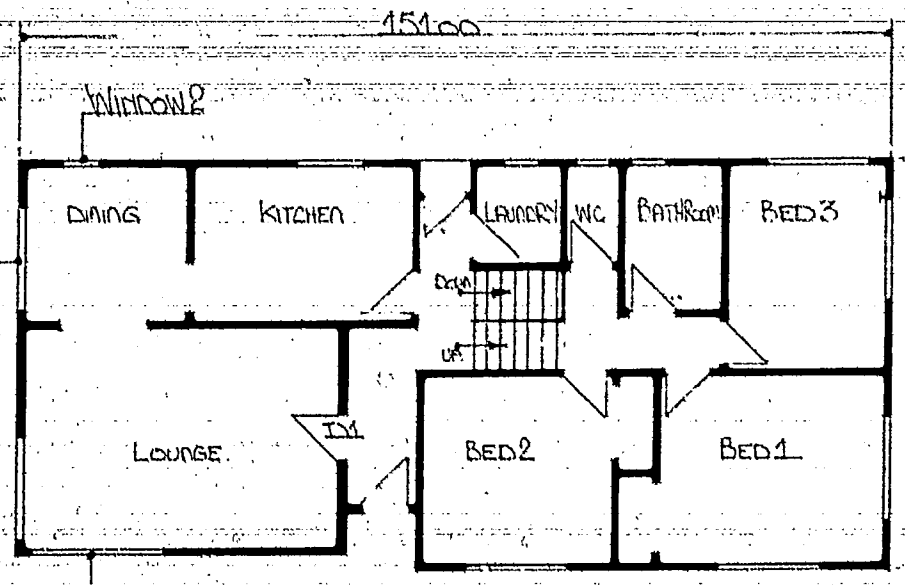
FILE No.....

PERMIT No. 52628

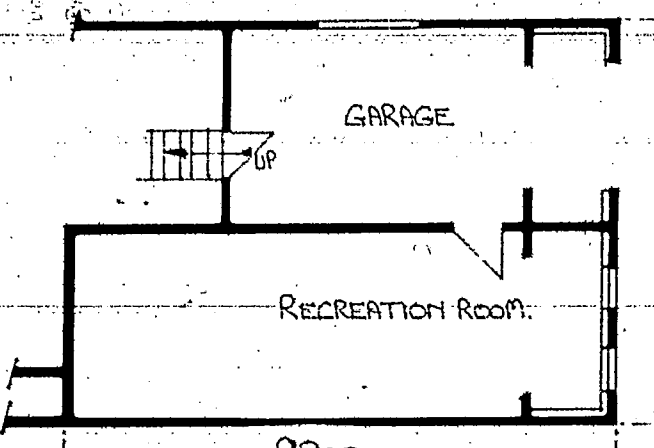
DATE 19/1/88

ADDRESS 14 MATUHI ST.

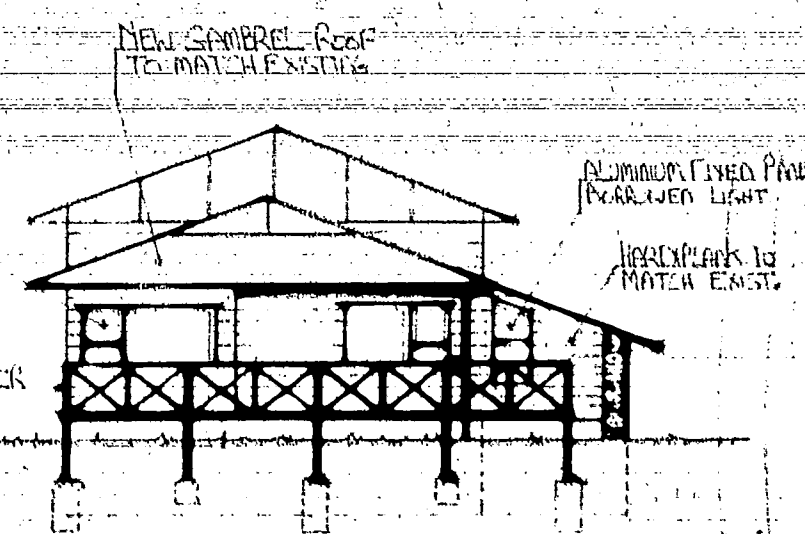
FILE No. 52628
 PERMIT No. 19/1/88
 DATE 19/1/88
 ADDRESS 14 MATUHI ST.



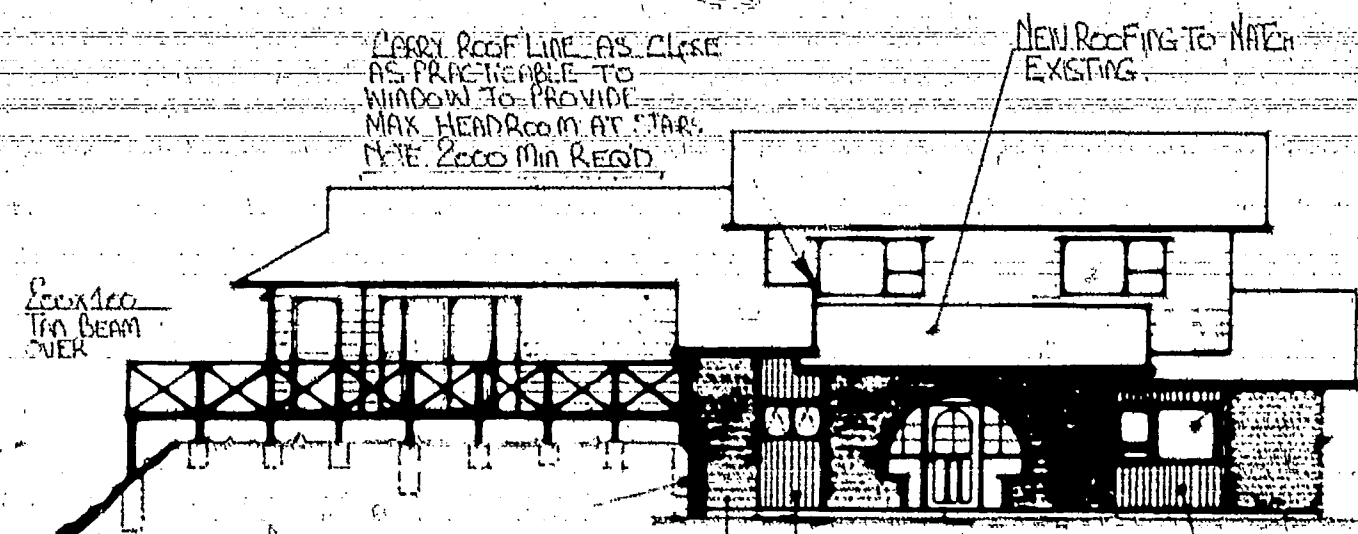
EXISTING UPPER FLOOR LAYOUT
 (SCALE 1:100)



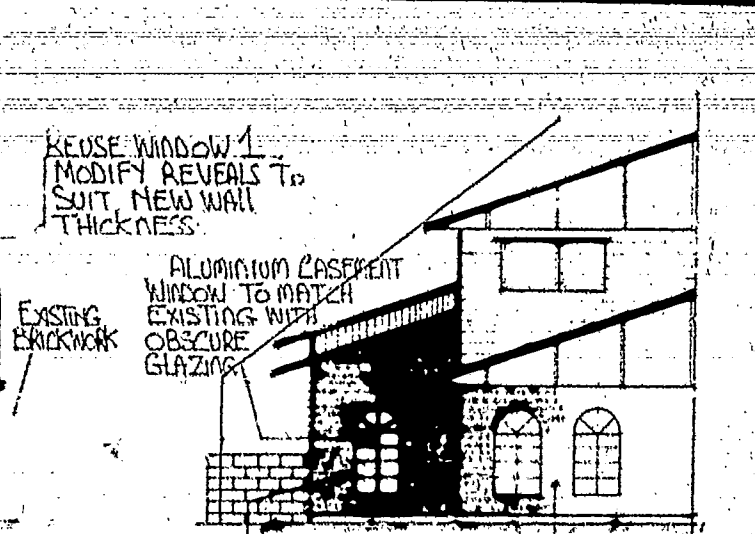
EXISTING LOWER FLOOR LAYOUT
 (SCALE 1:100)



SOUTHERN ELEVATION
 (SCALE 1:100)



EASTERN ELEVATION
 (SCALE 1:100)

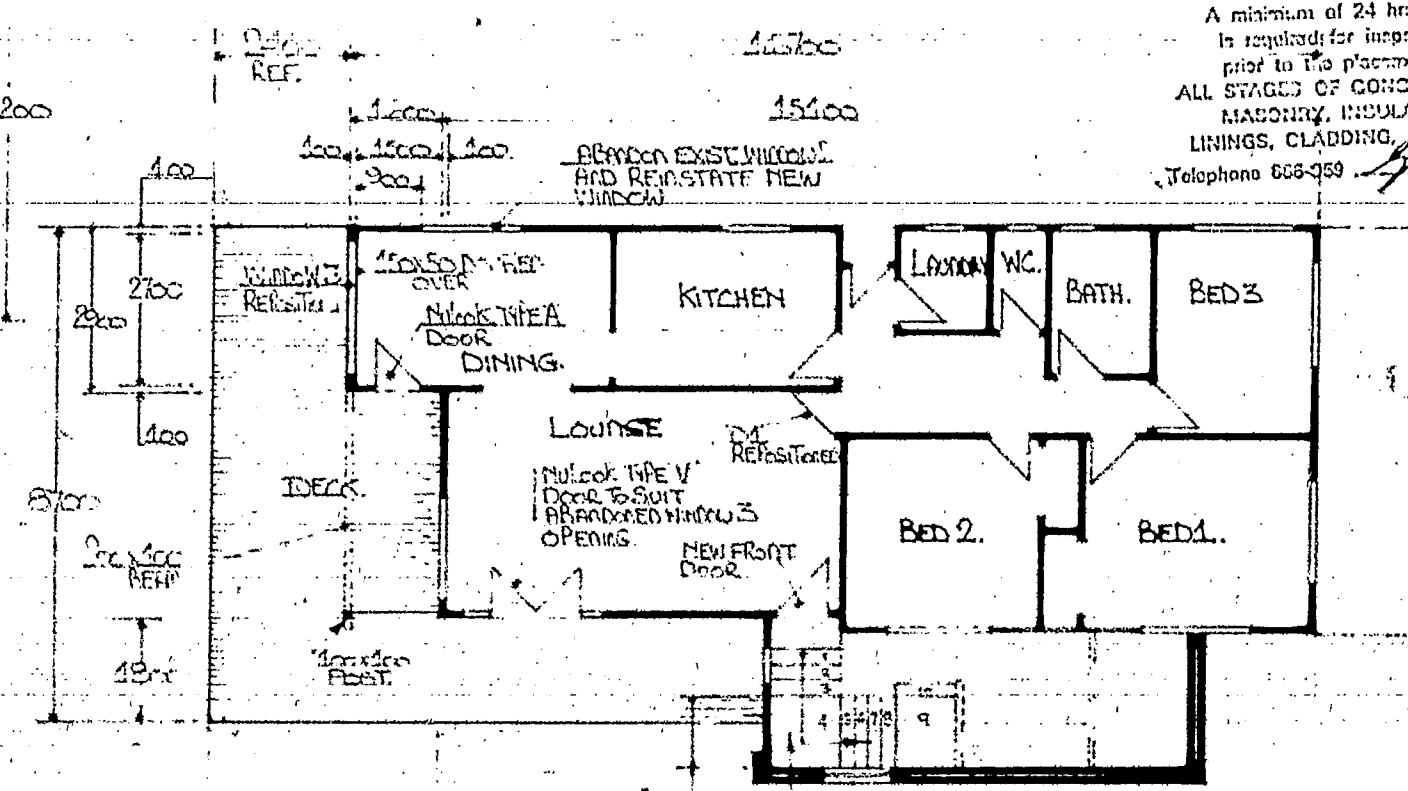


NORTHERN ELEVATION
 (SCALE 1:100)

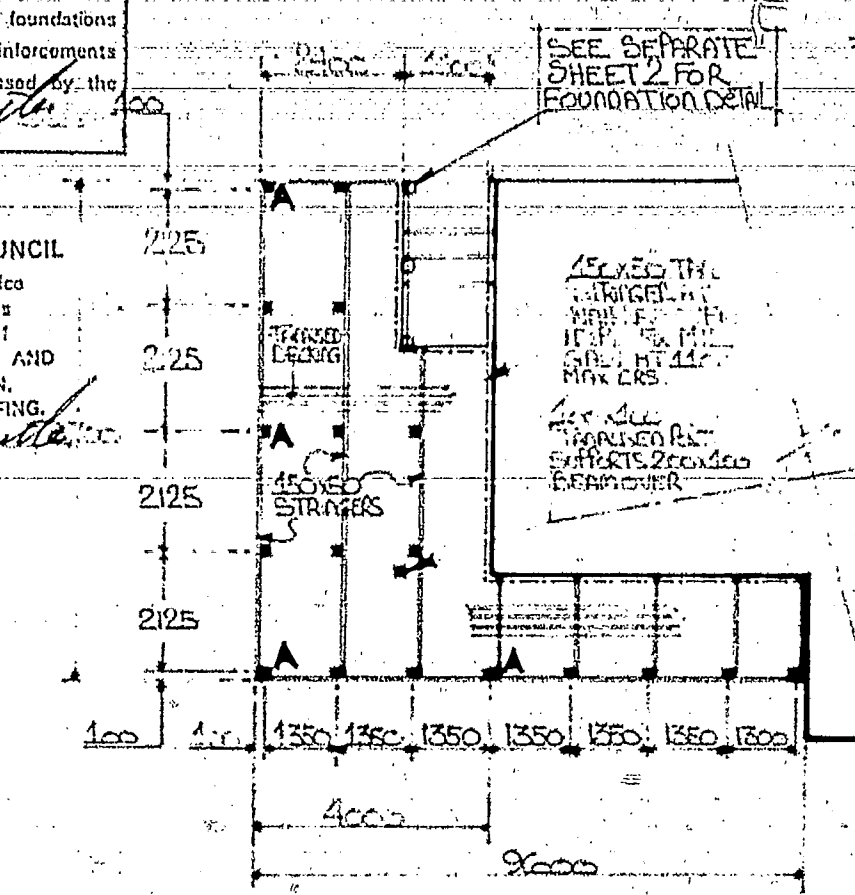
ALL WORK TO BE IN ACCORDANCE WITH N.Z.S. 3604

REINFORCEMENTS
 1. All reinforcement shall be placed in foundations until excavations and all reinforcements have been examined and passed by the Council Inspector. *J. Smith*

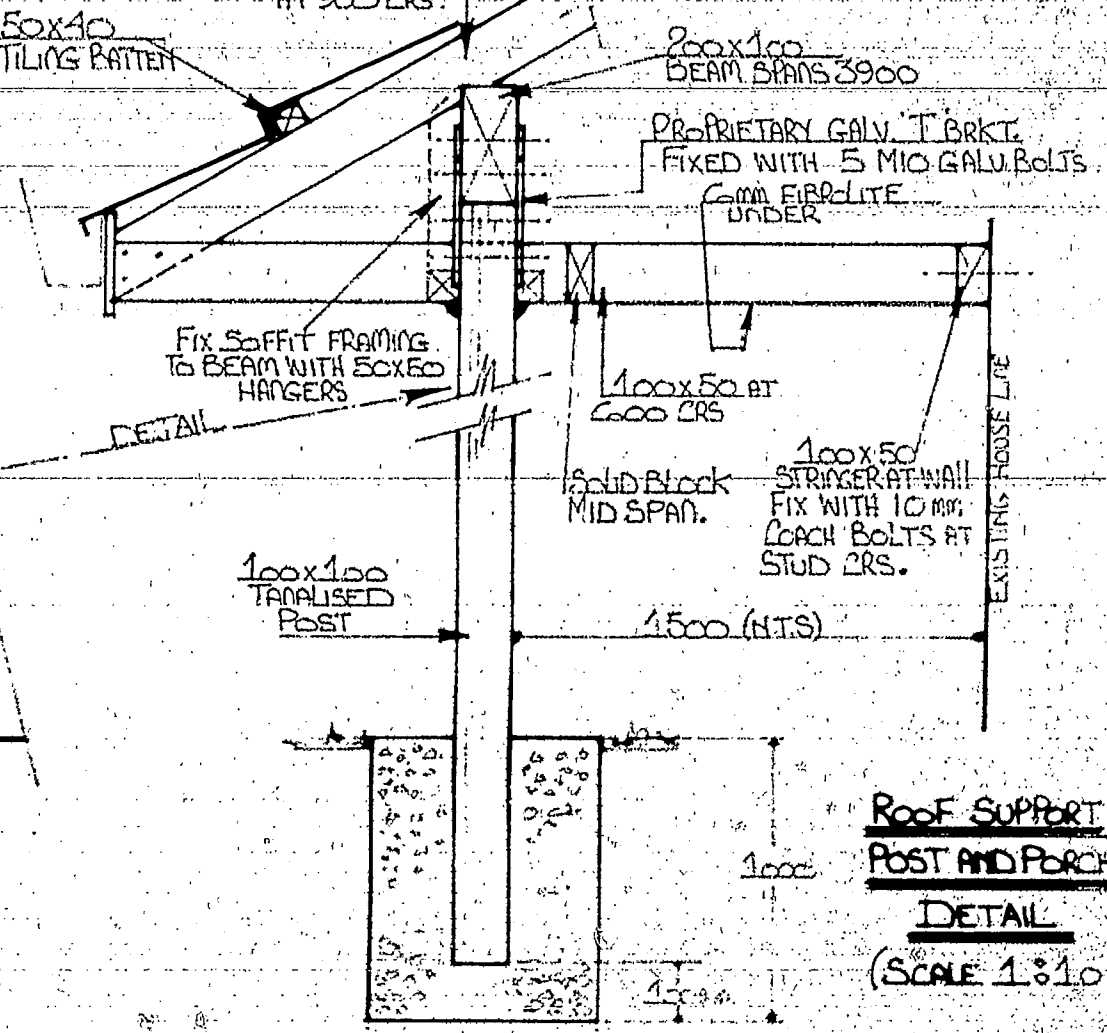
LOWER HUTT CITY COUNCIL
 A minimum of 24 hrs notice is required for inspections prior to the placement of ALL STAGES OF CONCRETE AND MASONRY, INSULATION, LININGS, CLADDING, ROOFING.
 Telephone 658-959 *J. Smith*



PROPOSED UPPER FLOOR LAYOUT
 (SCALE 1:100)



DECKING PLAN (SCALE 1:100)



Roof Support Post and Porch Detail
 (SCALE 1:10)

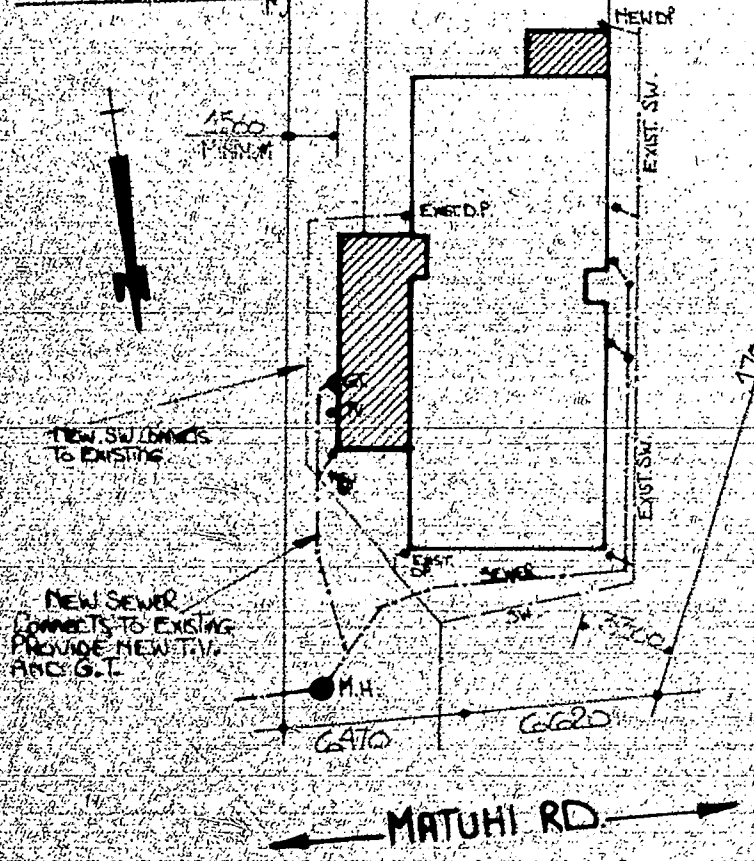
GENERAL NOTES

1. ABANDON EXISTING SW. AT SOUTHERN END AND RE-ESTABLISH AT EASTERN SIDE.

LOWER HUTT CITY COUNCIL
 Plumber and Drainer to apply for permits before commencing work.
 ALL U.P.V.C. TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS AND L.H.C.C. REQUIREMENTS.

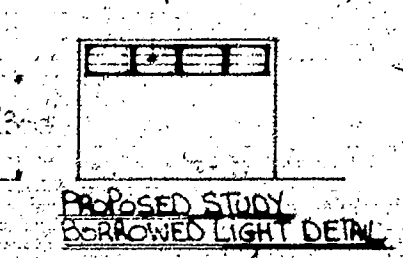
Waste pipes under concrete floors to be copper "BONSO" protected.

LOWER HUTT CITY COUNCIL
 No water pipes are permitted in or under concrete floors unless sealed.

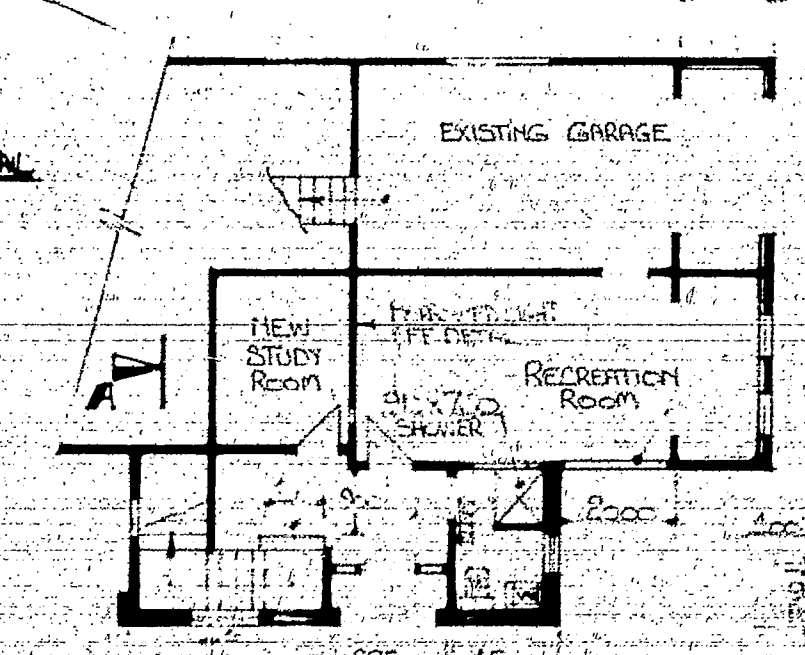


SITE PLAN
 (SCALE 1:200)

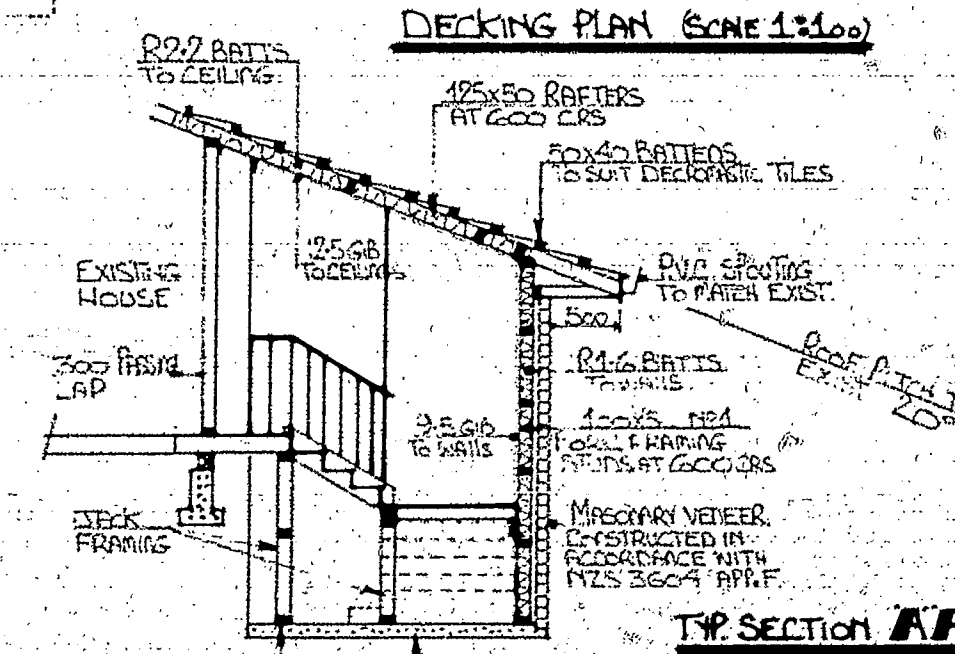
L.H.C.C. SITING APPROVED
 TOWN PLANNER
 DATE: 4/12/87



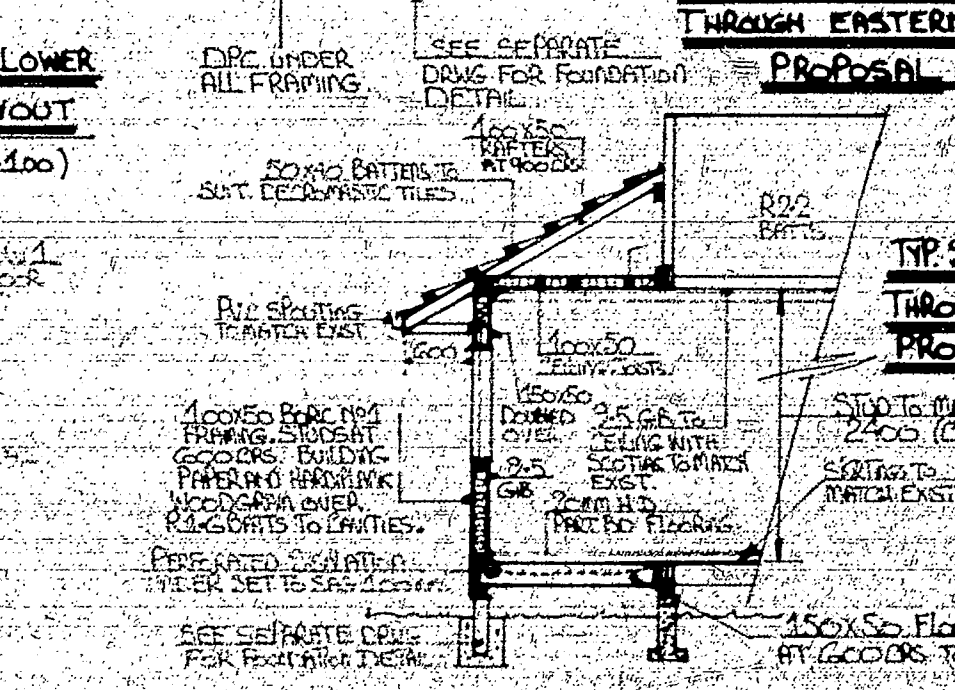
PROPOSED STUDY CORRODED LIGHT DETAIL



PROPOSED LOWER FLOOR LAYOUT
 (SCALE 1:100)

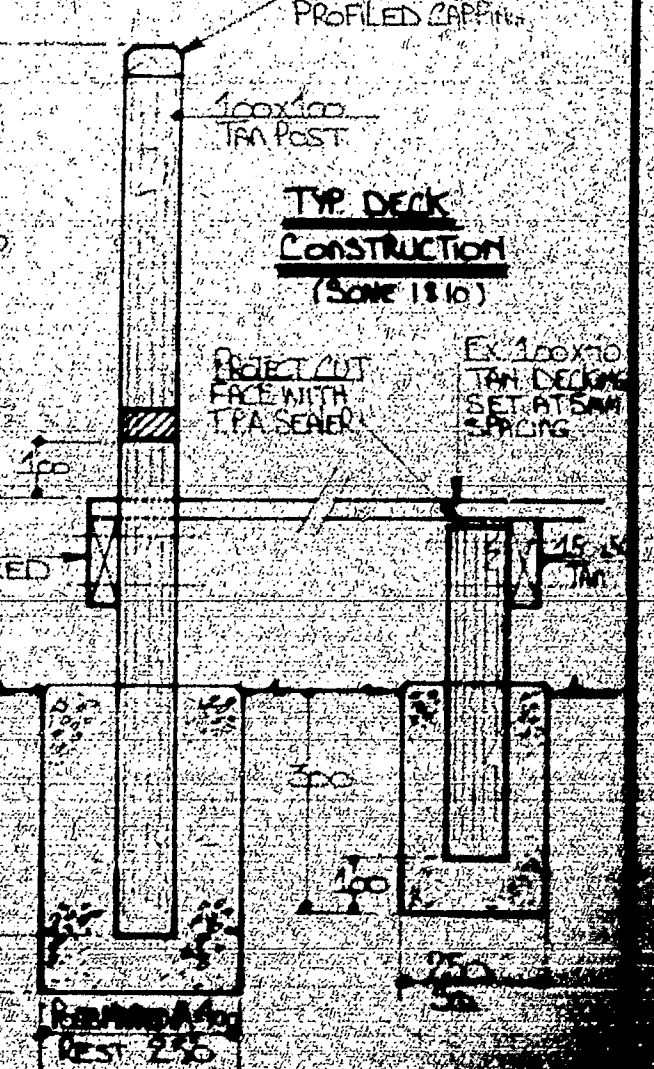


TYP. SECTION A/A THROUGH EASTERN PROPOSAL
 (SCALE 1:50)



TYP. SECTION B/B THROUGH SOUTHERN PROPOSAL
 (SCALE 1:50)

LOWER HUTT CITY COUNCIL
 ALL TIMBER ROOF FRAMES MUST BE SECURED AGAINST UPLIFT OF STRONG WINDS TO COMPLY WITH N.Z.S. 3604 CHAPTER 10.25.



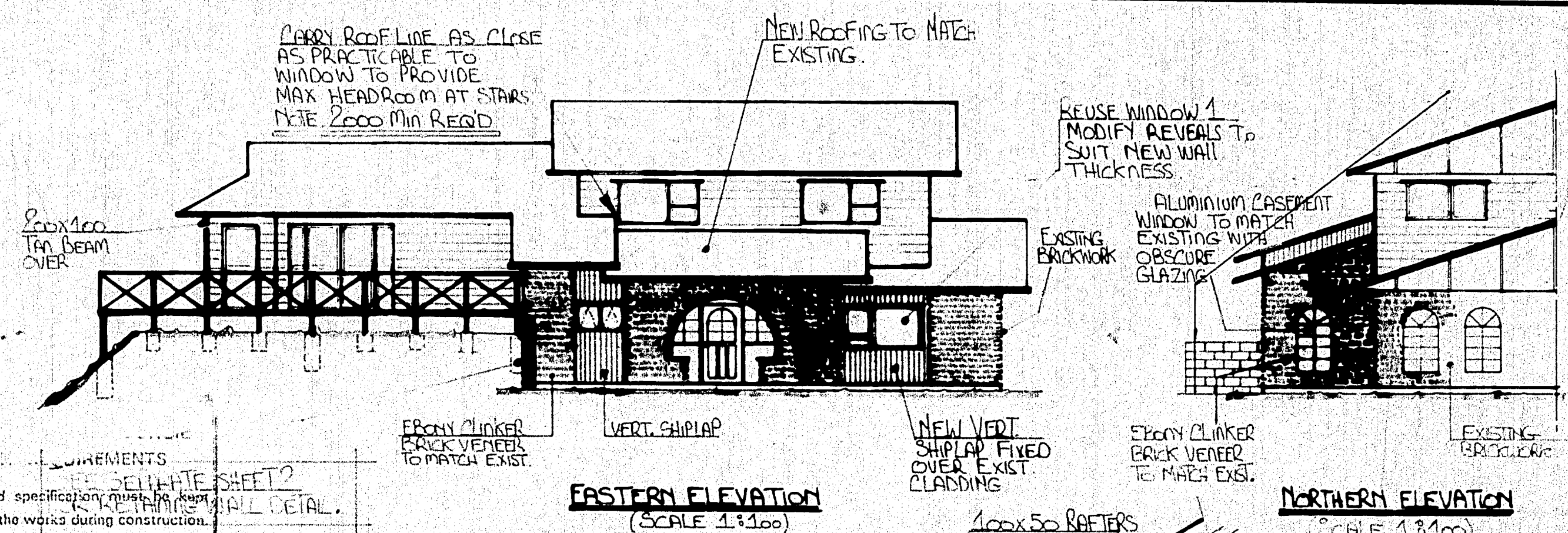
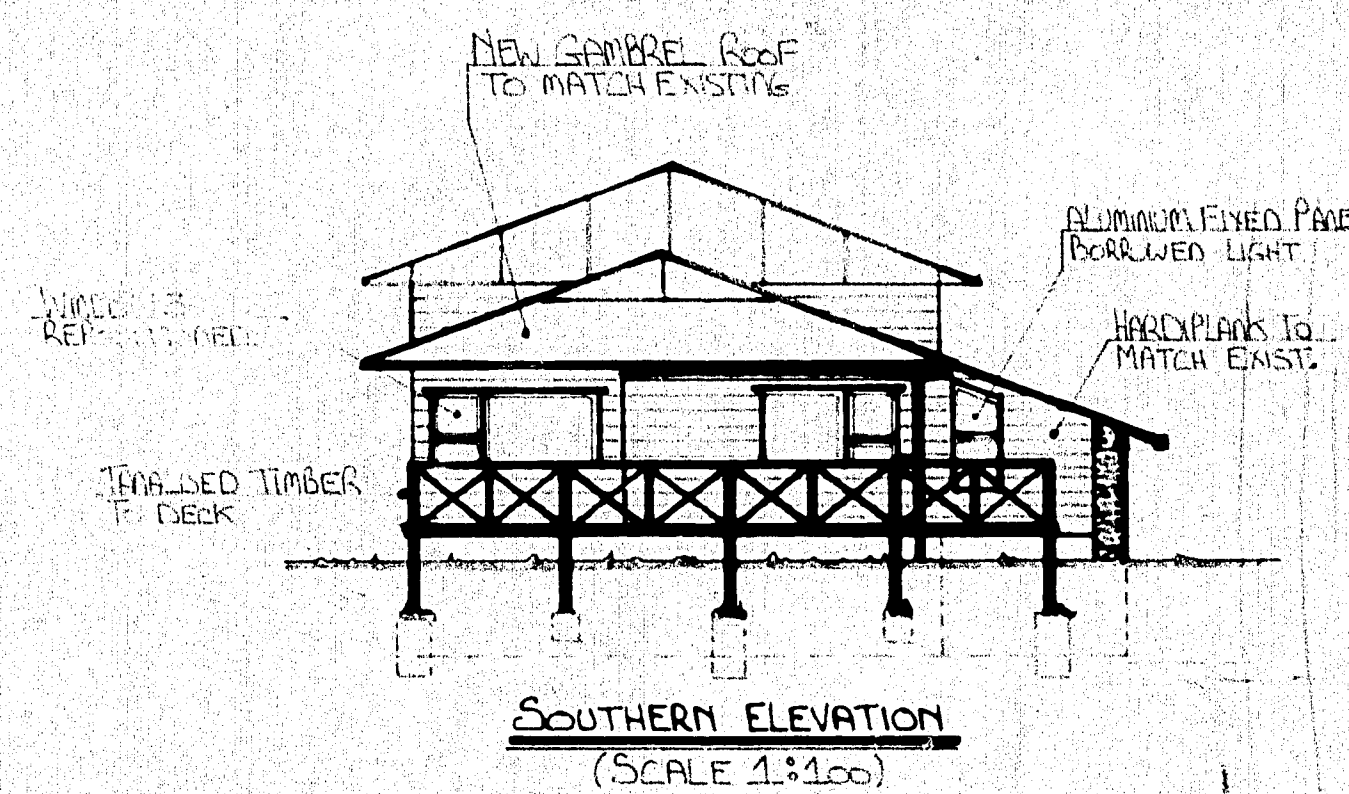
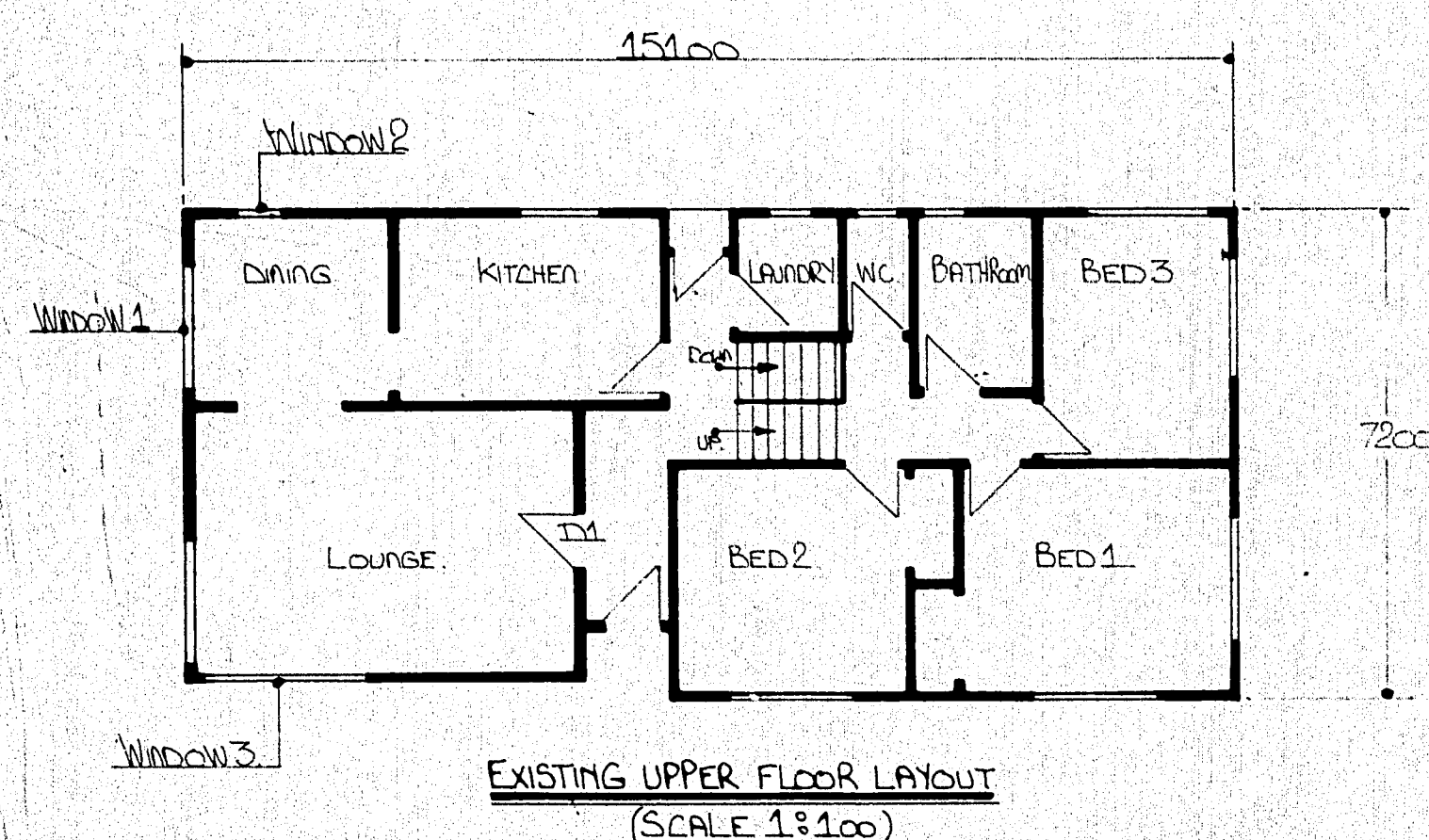
TYP. DECK CONSTRUCTION
 (SCALE 1:10)

10-87 1:200/1:100 1:200/1:100

PROPOSED ADDITIONS AND ALTERATIONS for MR. MRS. GLOVER at NO 14 MATUHI ST. BELMONT, LOWER HUTT.

SHEET 1 of 2

9.11.85



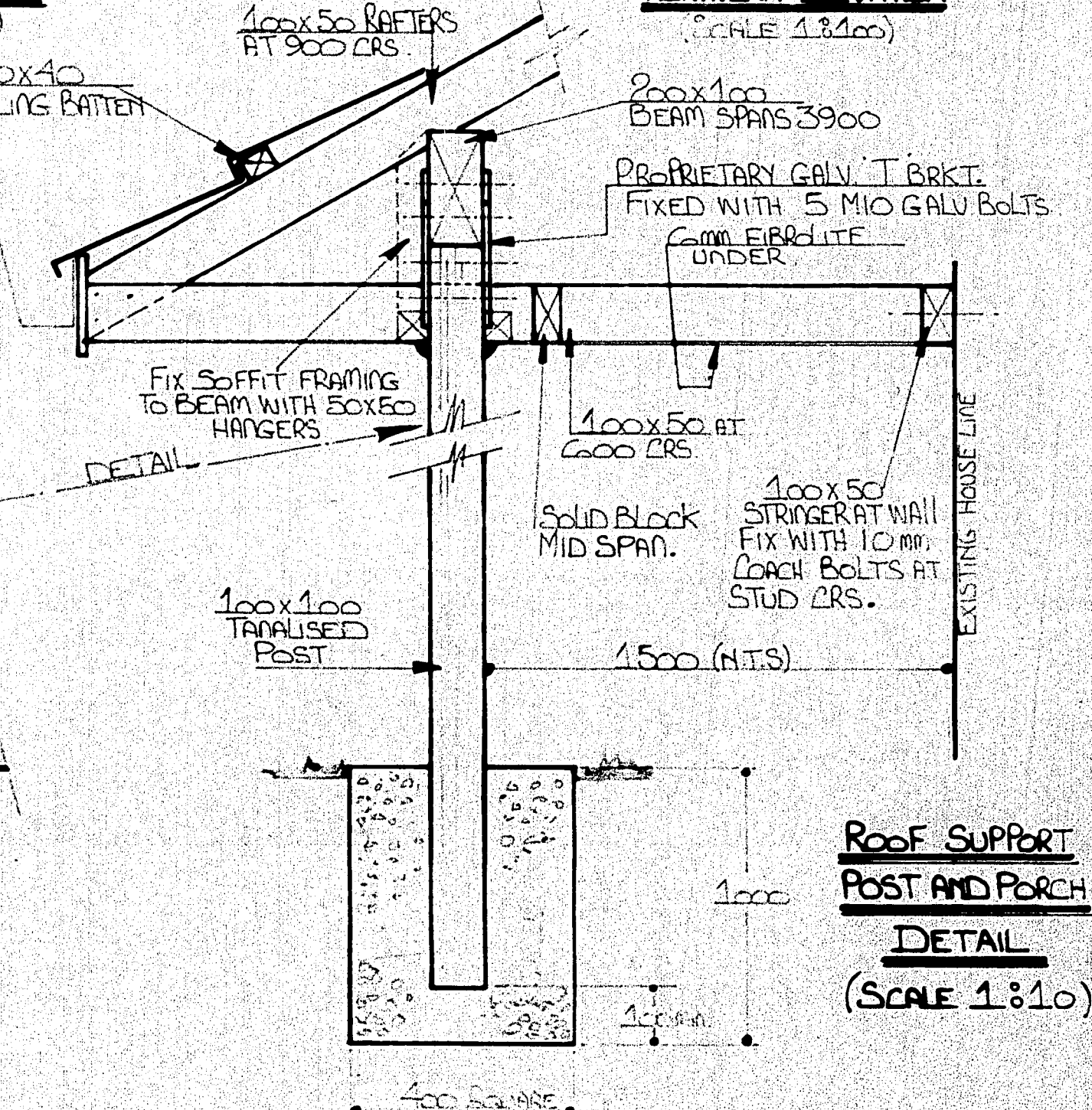
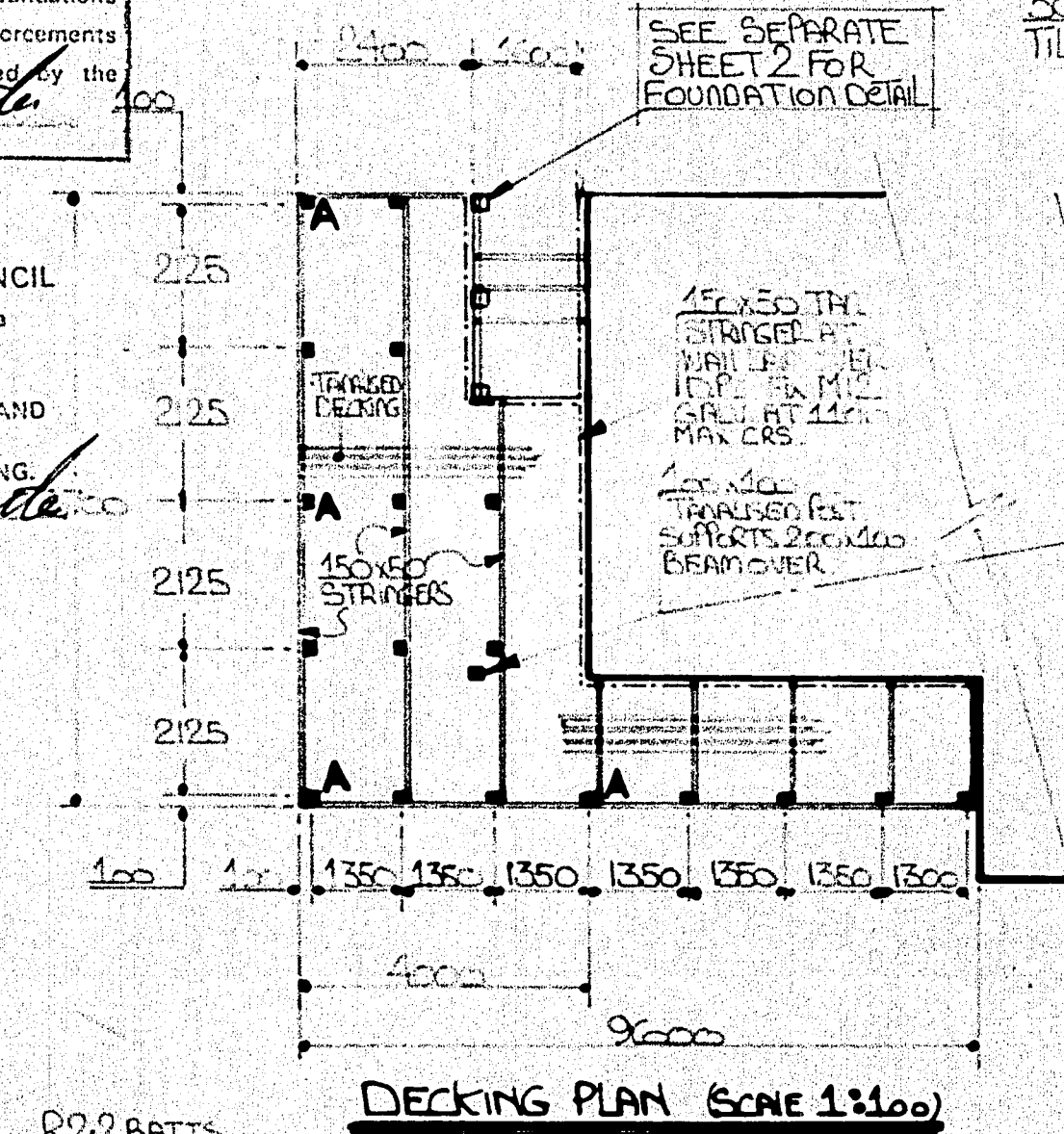
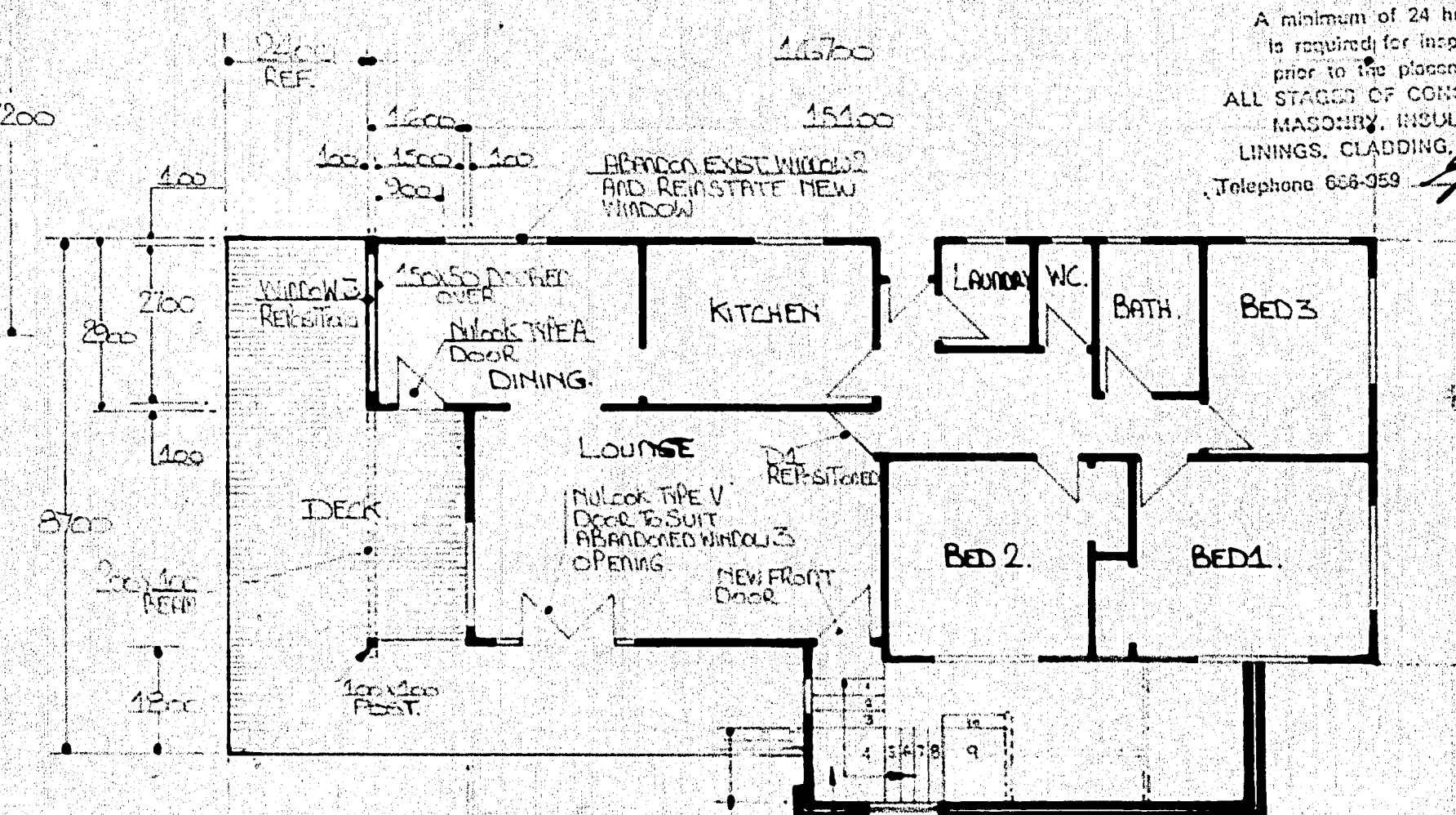
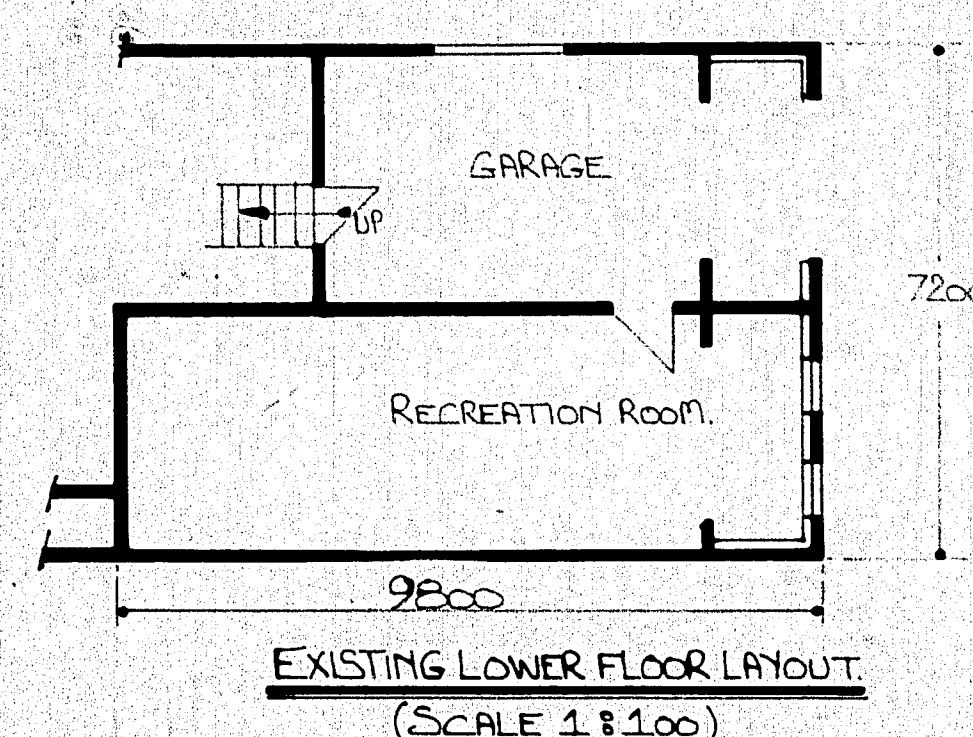
ALL WORK TO BE IN ACCORDANCE
WITH N.Z.S. 3604

REQUIREMENTS

THIS plan and specification must be kept on the site of the works during construction.

No concrete shall be placed in foundations until excavations and all reinforcements have been examined and passed by the Council Inspector. *H. Bullock*

LOWER HUTT CITY COUNCIL
A minimum of 24 hrs notice
is required for inspections
prior to the placement of
**ALL STAGES OF CONCRETE AND
MASONRY, INSULATION,
LININGS, CLADDING, ROOFING.**
Telephone 666-959 *B. Buttle*



GENERAL NOTES

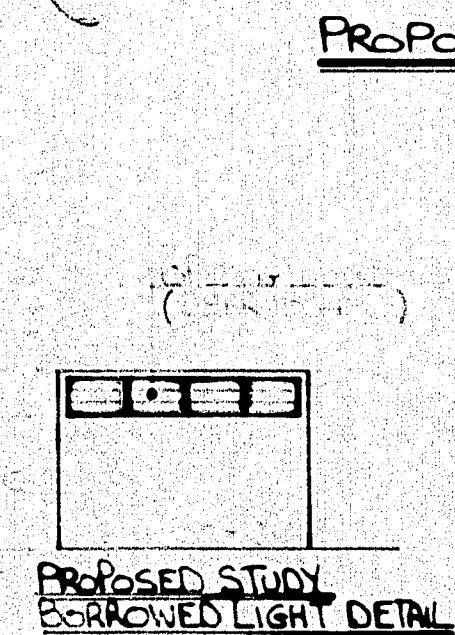
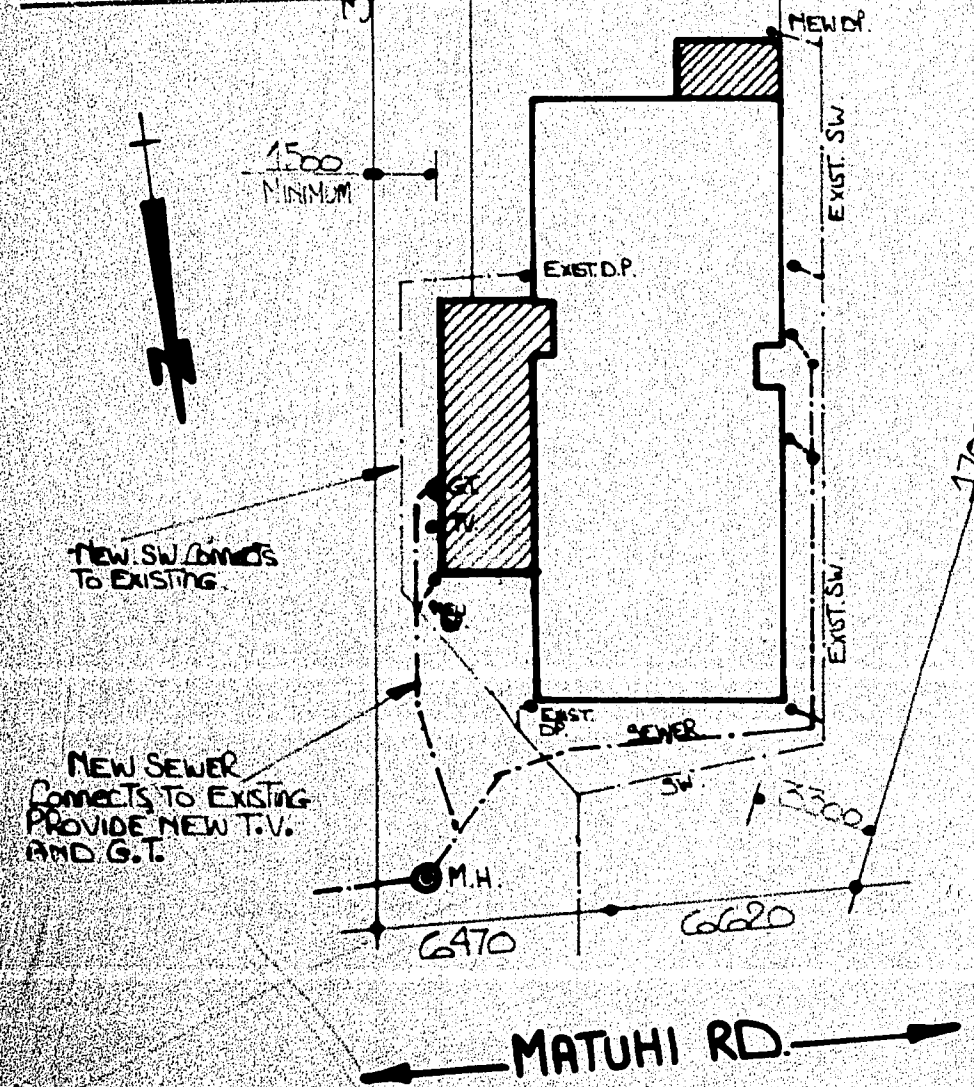
1) ABANDON EXISTING SW. AT SOUTHERN END
AND RE-ESTABLISH AT EASTERN SIDE

LOWER HUTT CITY COUNCIL
Plumber and Drainlayer to apply for permit before
commencing work.

ALL U.P.V.C. TO BE INSTALLED IN ACCORD-
ANCE WITH MANUFACTURERS AND L.H.C.C.
REQUIREMENTS


Waste pipes under concrete floors to be copper-
"BRNCO" protected

LOWER HUTT CITY COUNCIL
No water pipes are permitted in or
under concrete floors unless ducted



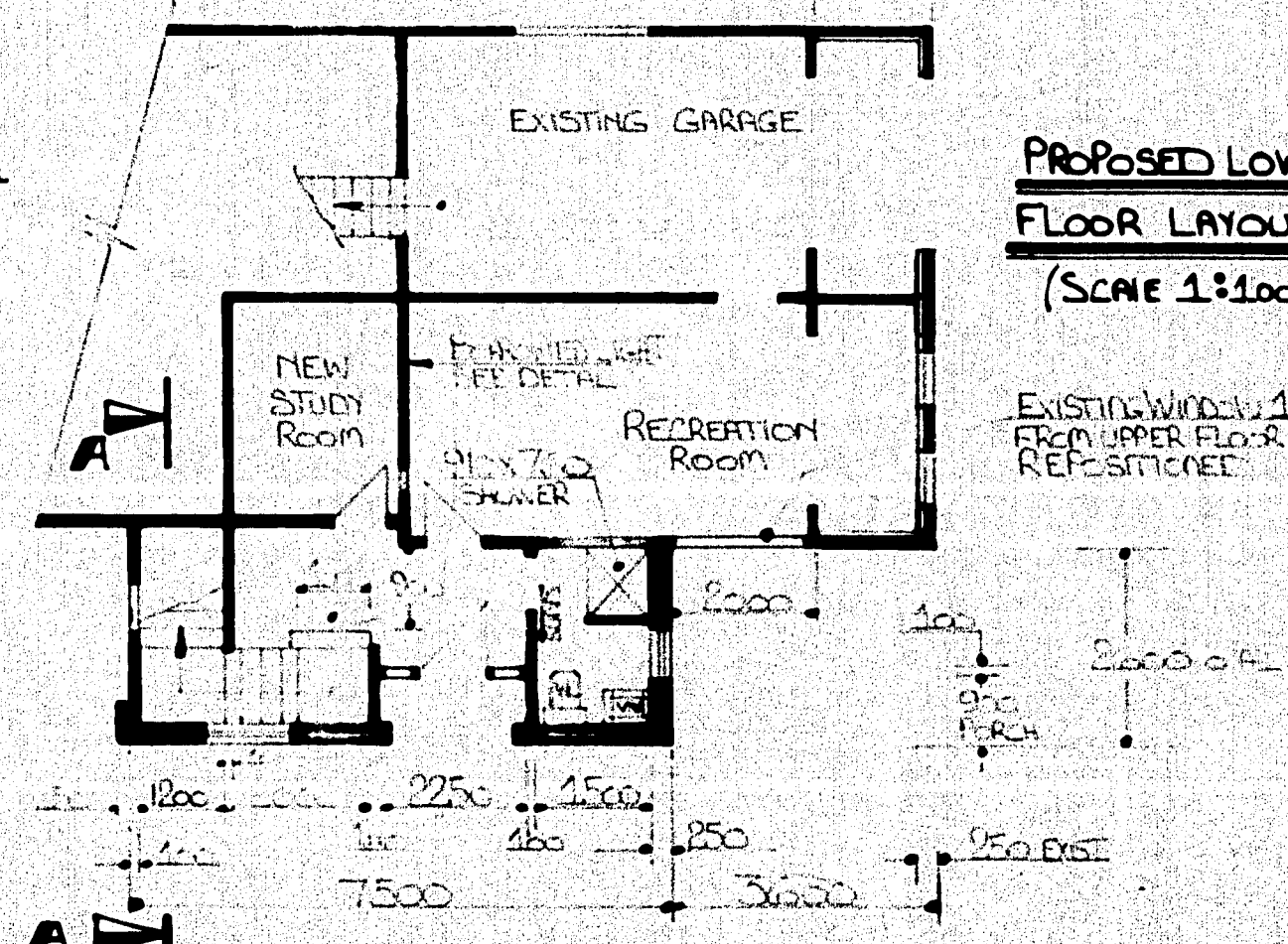
SITE PLAN
(SCALE 1:200)

L.H.C.C.
SITING APPROVED

TOWN PLANNER 

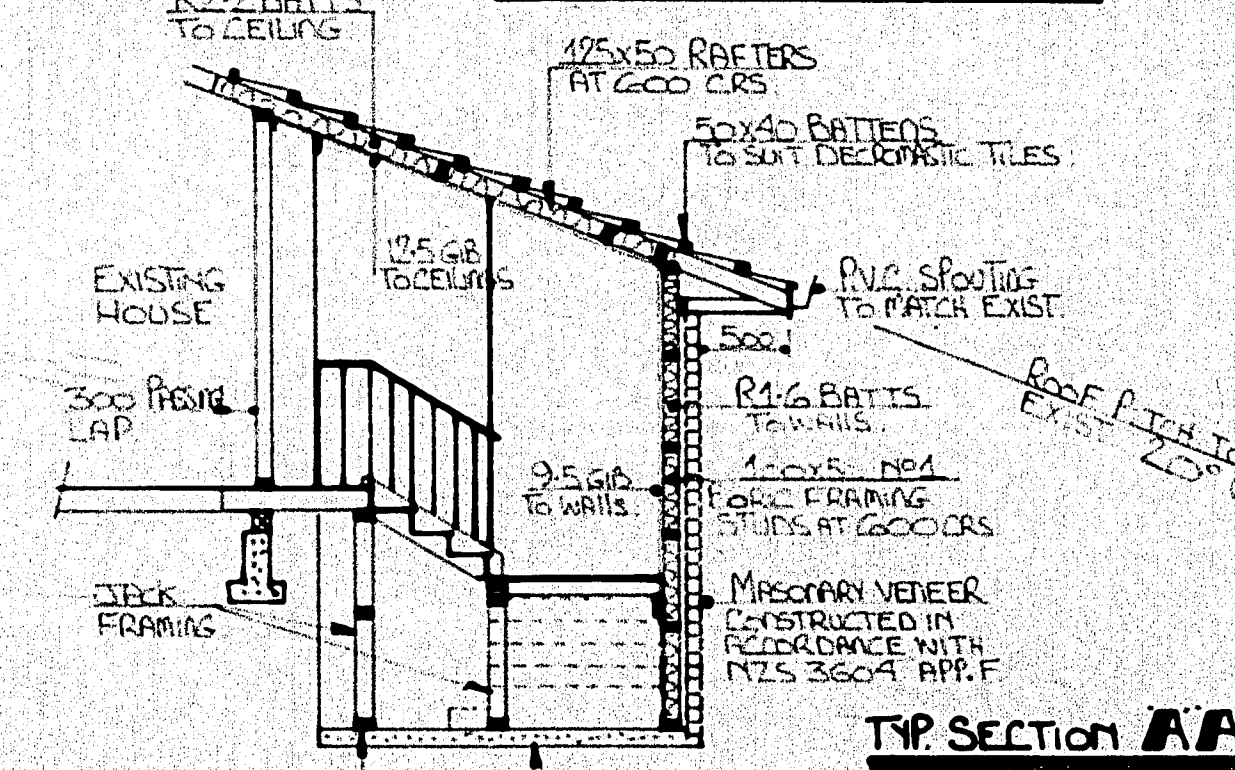
per _____

DATE: 4/12/87



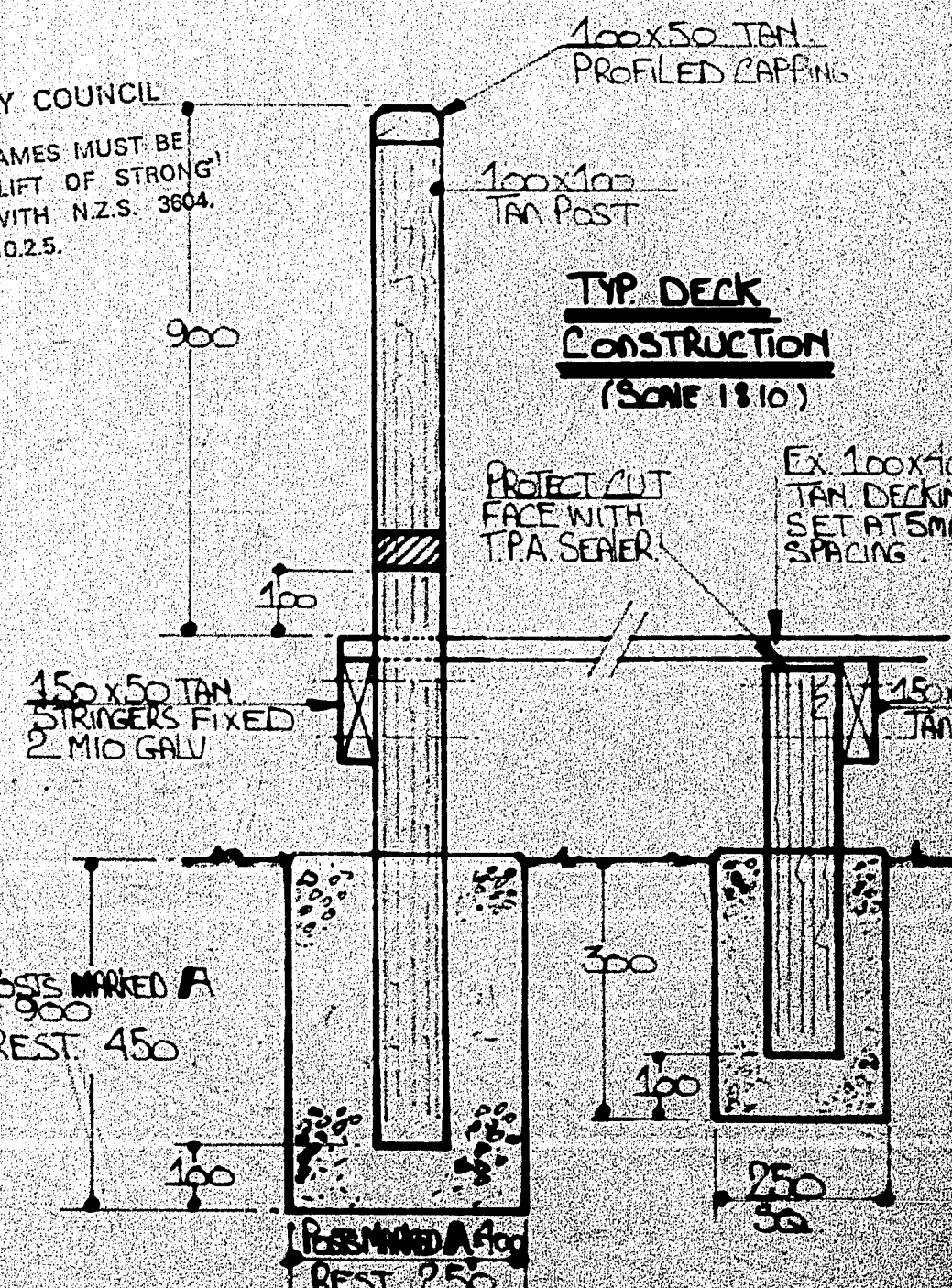
PROPOSED LOWER
FLOOR LAYOUT
(SCALE 1:100)

EXISTING WINDOW 1
FROM UPPER FLOOR
REPOSITIONED



TYP. SECTION AA
THROUGH EASTERN
PROPOSAL (SCALE 1:50)

TYP. SECTION
THROUGH SOUTHERN
PROPOSAL (SCALE 1"=50')



TYP. DECK
CONSTRUCTION
(SOME 1810)

PLUMBING AND DRAINAGE

COUNCIL MAINS POSITIONS

Council records show the stormwater drain discharges from the property.

The property is connected to council's sewerage system.

Council records indicate there is a council sewer main on the property. Council has right of access to the main to undertake any work on it deemed necessary.

Council does not allow building over council mains or within council easements unless otherwise approved.

PRIVATE PLUMBING AND DRAINAGE

There are plans (below) showing private drains on the property, although council cannot guarantee their accuracy. Only digging on site can confirm the pipes' precise position.

STREAMS / OPEN DRAINS

Any streams or open drains on the property are the responsibility of the property owner. This includes ensuring the water is free flowing, vegetation and erosion control, maintaining any retaining structures (or driveway culvert crossings) and fencing of the drain.

DRINKING WATER SUPPLY

The property is connected to council's potable water supply.

METERED WATER SUPPLY

Not Available

OVERLAND FLOW

No overland flow complaints reported or investigated.

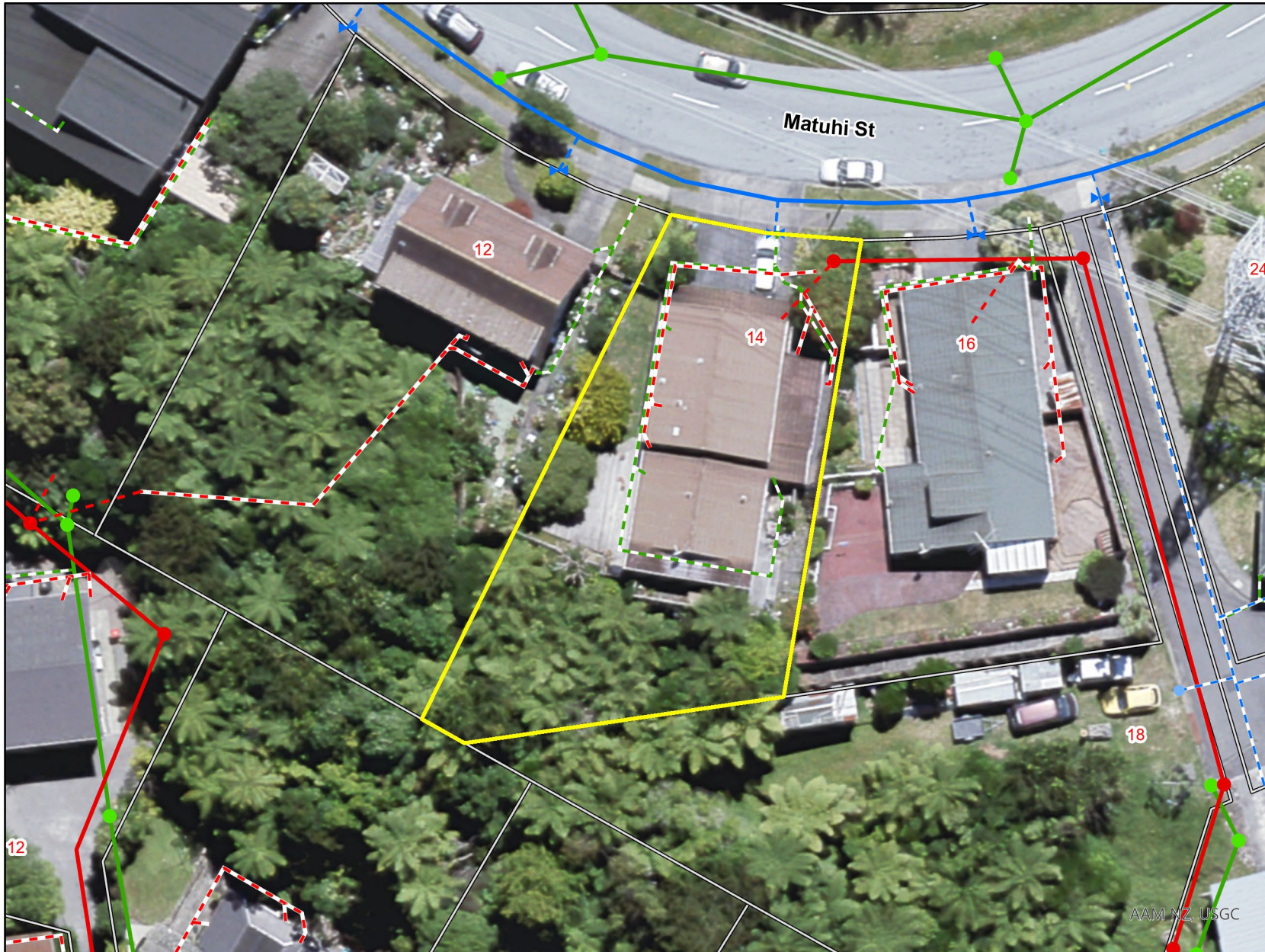
INFLOW

The council inspected the property for stormwater entering sewer pipes on 17/4/2019 and found that it complied.

OTHER UNDERGROUND SERVICES

There are a number of services in Lower Hutt such as power and gas lines that are not owned or maintained by council. They may not be shown in the maps in this LIM Report. If you plan on digging on your property, it is recommended that you utilise the [BeforeUDig](#) service.

Contacts	Position	Phone
Plumbing and drainage enquiries	Duty Plumbing and Drainage Officer	04 570 6666
Inflow enquires	Trade Waste Officer	04 570 6666



- LIM Property
- Property Group**
 - Properties
 - Parcels
- Privately owned assets**
 - Water Fixture
 - Water Pipe
 - Wastewater Pipe
 - Storm Pipe
- Council owned assets**
 - Wasterwater Fitting
 - Stormwater Fixture
 - ⋈ Water Valve
 - Water Pipe
 - Wastewater Pipe
 - Stormwater Pipe
 - Service Connection
 - HCC Water Pipes Private



PLUMBING & DRAINAGE MAP

Scale: 1:392

Although the information displayed has been prepared with care and in good faith, It is an information service and is designed to be illustrative only. The Council cannot guarantee the accuracy or completeness of the information and accepts no liability for any loss suffered as a result of reliance on the information. Parcel boundaries sourced from Land Information New Zealand data supplied under license to Hutt City Council. Crown Copyright Reserved.

08/07/2025

Enquiry Trace Form

Enquiry: 576749		Logged by: Report A Problem		on 25/07/2022 11:55	
Service: Water Supply		Classification: Request For Service			
Subject: W-P2 Major Leaks					
Desc.: There has been a water leak at 14 Matuhi St, Tirohanga for many weeks wasting precious water. It is causing cracks in the pavement and slippery green slime. Unsafe to walk on especially in wet weather.					
Site: Matuhi Street (R00658), Tirohanga, Lower Hutt					
Site Address: Matuhi Street		Area: Tirohanga			
Location: 14 Matuhi Street, TIROHANGA		Ward: Western			
		Contact: [REDACTED]			
		Telephone: [REDACTED]			
		Email: [REDACTED]			
Customer: 563404		Time: 25/07/2022 11:55		Method: [REDACTED]	
Name: [REDACTED]		Telephone: [REDACTED]			
Address: [REDACTED] Tirohanga		Email: [REDACTED]			
Current Status:					
No. Effective		Status		Officer	
6 26/07/2022 12:21:16		Call Closed - Unable to Pursue		WW Fulton Hogan	
Notes: Time: 2022-07-26T12:12:57+12:00					
Notes: This is cancelled. this is a duplicate of HCC567444. This is cancelled. this is a duplicate of HCC567444					
Priority: P2					
Water Type: Water					
Request Type: Leaking Pipes					
Status history:					
No. Effective		Status		Officer	
5 26/07/2022 12:21		Call Closed - Unable to Pursue		WW Fulton Hogan	
				Time: 2022-07-26T12:13:52+12:00	
				Notes: WWL Status: Cancel: Raised in Error/Cancelled (CANCEL.CANCEL)	
				Priority: P2	
				Water Type: Water	
				Request Type: Leaking Pipes	
4 25/07/2022 17:02		Passed to Contractor		WW Fulton Hogan	
				Time: 2022-07-25T17:00:35+12:00	
				Notes: Wellington Water Alliance Maximo WO Created #209982	
				Priority: P2	
				Water Type: Water	
				Request Type: Leaking Pipes	
3 25/07/2022 17:00		Passed to Wellington Water		WW Fulton Hogan	
2 25/07/2022 11:55		Call Logged		WW Fulton Hogan	
				Subject amended - Old : Water - Major Leaks (OEML) New : W-P2 Major Leaks (AW23)	
1 25/07/2022 11:55		Call Logged		Online RFS	

Revised Status:

Name : Signed : Date : Time :

Report generated by : Rebecca Aumua

36
13:50:38

08/07/2025

Enquiry Trace Form

Enquiry: 588059	Logged by: Report A Problem	on 04/11/2022 17:35
Service: Water Supply Classification: Request For Service Subject: W-P2 Major Leaks Desc.: for months there have been running water from the driveways of 14 and 16 matuhi street tirohanga lower hutt. when fine sunny and when raining.		
Site: Matuhi Street (R00658), Tirohanga, Lower Hutt Site Address: Matuhi Street Area: Tirohanga Location: 14 Matuhi Street, TIROHANGA Ward: Western Contact: [REDACTED] Email: [REDACTED]		
Customer: 574706 Name: [REDACTED] Address: [REDACTED]	Time: 04/11/2022 17:35 Method: [REDACTED] Email: [REDACTED]	

Current Status:				
No.	Effective	Status	Officer	
	6 18/11/2022 03:01:49	Call Closed - Unable to Pursue	WW Fulton Hogan	
	Notes: Time: 2022-11-18T14:59:17+13:00 Notes: WWL Status: Cancel: Duplicate job (CANCEL.DUP) Priority: P2 Water Type: Water Request Type: Leaking Pipes			
Status history:				
No.	Effective	Status	Officer	Notes
5	18/11/2022 15:01	Call Logged	WW Fulton Hogan	Time: 2022-11-18T14:48:52+13:00 Notes: This is cancelled. This is a dup HCC583077. This is cancelled. This is a dup HCC583077 Priority: P2 Water Type: Water Request Type: Leaking Pipes
4	07/11/2022 12:11	Passed to Contractor	WW Fulton Hogan	Time: 2022-11-07T12:00:31+13:00 Notes: Wellington Water Alliance Maximo WO Created #249927 Priority: P2 Water Type: Water Request Type: Leaking Pipes
3	07/11/2022 12:00	Passed to Wellington Water	WW Fulton Hogan	
2	04/11/2022 17:35	Call Logged	WW Fulton Hogan	Subject amended - Old : Water - Major Leaks (OEML) New : W-P2 Major Leaks (AW23)
1	04/11/2022 17:35	Call Logged	Online RFS	

Revised Status:

Name : Signed : Date : Time :

Report generated by : Rebecca Aumua

37
13:51:38

08/07/2025

Enquiry Trace Form

Enquiry: 591862		Logged by: Report A Problem	on 05/12/2022 18:09	
Service: Water Supply		Classification: Request For Service		
Subject: W-P3 Minor Leaks				
Desc.: Water is leaking from toby or ground near toby. It has been happening for a number of months.				
Site: Matuhi Street (R00658), Tirohanga, Lower Hutt				
Site Address: Matuhi Street		Area: Tirohanga		
Location: 14 Matuhi Street,		Ward: Western		
		Contact: [REDACTED]		
		Telephone: [REDACTED]		
		Email: [REDACTED]		
Customer: 578508		Time: 05/12/2022 18:09	Method: [REDACTED]	
Name: [REDACTED]		Telephone: [REDACTED]		
Address: [REDACTED]		Email: [REDACTED]		
Current Status:				
No.	Effective	Status	Officer	
6	13/12/2022 09:52:25	Call Closed - Unable to Pursue	WW Fulton Hogan	
Notes: Time: 2022-12-13T09:45:55+13:00 Notes: Closed job - duplicate for HCC583077. Closed job - duplicate for HCC583077 Priority: P3 Water Type: Water Request Type: Leaky Connection/Meter/Toby				
Status history:				
No.	Effective	Status	Officer	Notes
5	13/12/2022 09:52	Call Closed - Unable to Pursue	WW Fulton Hogan	Time: 2022-12-13T09:47:14+13:00 Notes: WWL Status: Cancel: Duplicate job (CANCEL.DUP) Priority: P3 Water Type: Water Request Type: Leaky Connection/Meter/Toby
4	09/12/2022 13:02	Passed to Contractor	WW Fulton Hogan	Time: 2022-12-09T12:51:23+13:00 Notes: Wellington Water Alliance Maximo WO Created #263621 Priority: P3 Water Type: Water Request Type: Leaky Connection/Meter/Toby
3	09/12/2022 12:51	Passed to Wellington Water	WW Fulton Hogan	
2	05/12/2022 18:09	Call Logged	WW Fulton Hogan	Subject amended - Old : Water - Minor Leaks (OEWM) New : W-P3 Minor Leaks (AW24)
1	05/12/2022 18:09	Call Logged	Online RFS	

Revised Status:

Name : Signed : Date : Time :

Report generated by : Rebecca Aumua

38
13:49:35

Plumbing and Drainage Plans

LOWER HUTT CITY CORPORATION
(CITY ENGINEER'S OFFICE)

PERMIT No 19158

PERMIT FOR SANITARY PLUMBING/DRAINAGE WORK

Mr. T. Atkins
Full Address 25 Petrie St Warrimoon
being a registered **PLUMBER**
DRAINLAYER is hereby authorised to carry out the sanitary plumbing/drainage work at
premises owned/occupied by Mr. Northern Housing
situated at 14 Maitland St. Lower Hutt
Lot D.P. Description of Work Plumbing to new dwelling File No. 43249
Cost of Work Paid on B.P. B.P. No. 43249
Fee Received Receipt on B.P.
Receipt No. _____
Date _____

Endorsements:

LOWER HUTT CITY COUNCIL
No water pipes are permitted in or
under concrete floors.

For City Treasurer

All work must be carried out in strict accordance with plans lodged with the application, the Drainage and
Plumbing Regulations 1978 and City By-Law No. 1 1959 and amendments thereto.

Dated this 20 day of October 19 81.

T. Wood
For City Engineer

LOWER HUTT CITY CORPORATION

PERMIT No 19375

(CITY ENGINEER'S OFFICE)

PERMIT FOR SANITARY PLUMBING/DRAINAGE WORK

Mr.

Full Address

being a registered ~~PLUMBER~~
DRAINLAYER is hereby authorised to carry out the sanitary plumbing/drainage work at

premises owned/occupied by Mr.

situated at

Lot

D.P.

Description of Work

File No.

B.P. No.

Cost of Work

Fee Received

Receipt No.

Date

Endorsements:

For City Treasurer

All work must be carried out in strict accordance with plans lodged with the application, the Drainage and Plumbing Regulations and City By-Law No. 1 1959 and amendments thereto.

1978

Dated this

day of

January 19 82

For City Engineer



SANITARY PLUMBING/DRAINAGE PERMIT 25943

PROPOSED WORK

I, (Full Name) THOMAS W. GASKIN
 of (Full Address) 54 REYNOLDS ST TAITA

hereby apply for a permit to carry out:

sanitary plumbing work with a labour value of \$

drainage work with a labour value of \$

Owner: MR & MRS GLOVER

Occupier:

Address: 14 MATUHI ST LOWER HUTT

Lot D.P.

Nature of Work: NEW GULLY & W.C.

CONNECTION FOR NEW EXTENSION

TO HOUSE ALSO TWO DOWN PIPES

UNDERGROUND SERVICES

Before any work under the authority of this permit is commenced the following action is to be taken:

- The location of every electricity conductor, cable or main, or any gas main or service, at or near the site of the permitted works shall be ascertained by reference to the Hutt Valley Energy Board, Administration Building, Lower Hutt City.
- The location of every telephone cable at or near the site of the permitted works shall be ascertained by reference to Cable Overseers, Wingate Line Depot, Eastern Hutt Road, Taita.
- The location of every water main, sewer and stormwater drain at or near the site of the permitted works shall be ascertained by reference to the Chief Draughtsman, Lower Hutt City Council.

Signed: [Signature]

REGISTERED DRAINLAYER
 REGISTERED PLUMBER
 CRAFTSMAN PLUMBER

Approved
 FOR CITY ENGINEER

Date 29.3.89

LOWER HUTT CITY COUNCIL
(CITY ENGINEER'S OFFICE)

PERMIT 25943

PERMIT FOR SANITARY PLUMBING/DRAINAGE WORK

Full Address T. Gaskin
54 Reynolds St. Lower Hutt
being a **CRAFTSMAN PLUMBER** is hereby authorised to carry out the sanitary plumbing/drainage
REGISTERED DRAINLAYER
work at premises owned/occupied by Mr. Elmer
situated at 14 Maturiki St. Lower Hutt.
Lot _____ D.P. _____ Description of Work _____ File No. _____
B.P. No. 52 628.
Cost of Work _____ Sewer and stormwater
Fee Received Paid on B.P. drains to addition
Receipt No. _____
Date _____ Endorsements: _____

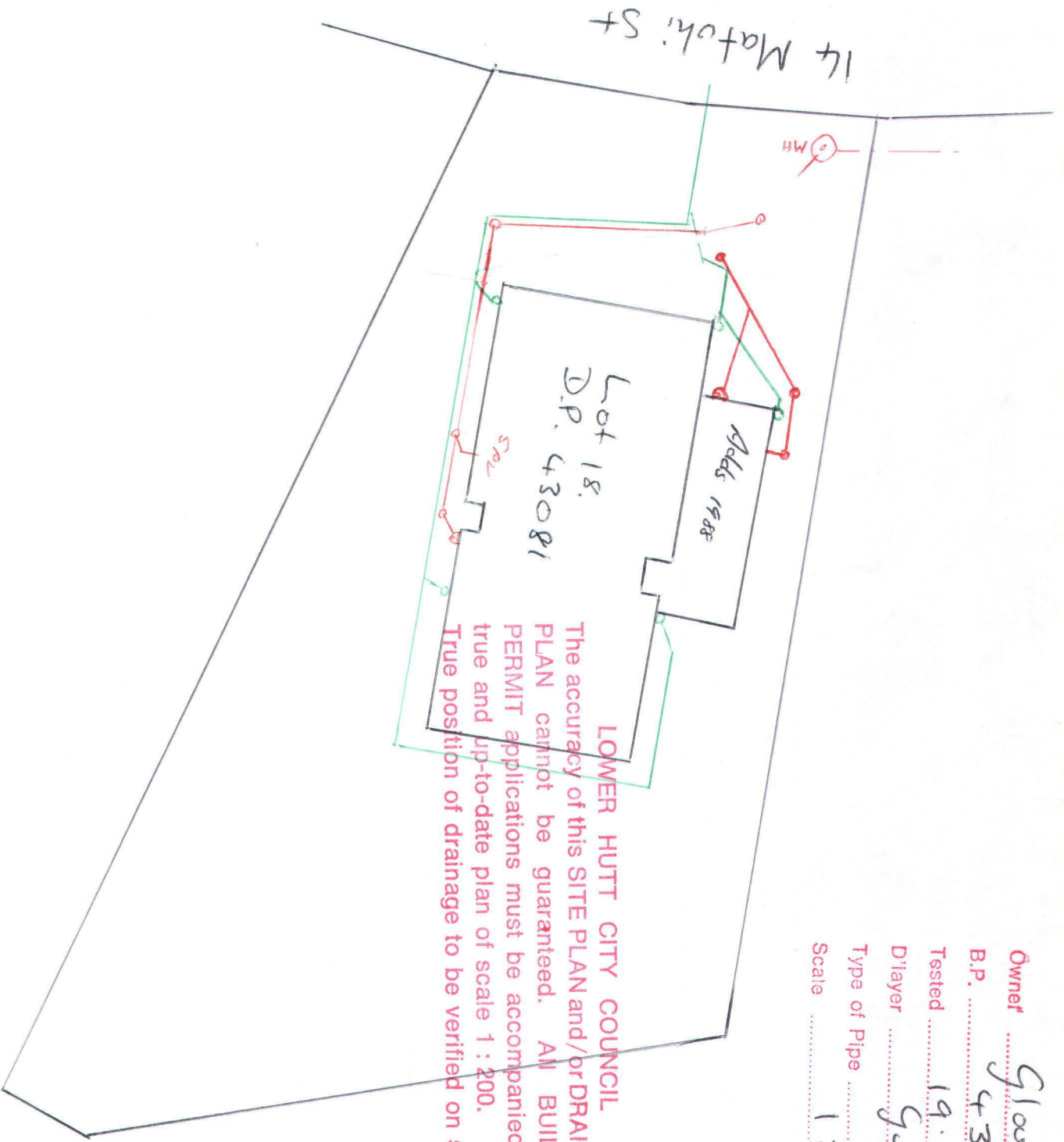
For City Treasurer

All work must be carried out in strict accordance with plans lodged with the application, the Drainage and Plumbing Regulations 1978 and City By-Law No. 1 1959 and amendments thereto.

Dated this 13 day of April 1989.

B. Elmer
For City Engineer

14



LOWER HUTT CITY COUNCIL
The accuracy of this SITE PLAN and/or DRAINAGE
PLAN cannot be guaranteed. All BUILDING
PERMIT applications must be accompanied by a
true and up-to-date plan of scale 1 : 200.
True position of drainage to be verified on site.

Owner Glover
B.P. 43244
Tested 19.1.82
Diayer Gannells
Type of Pipe Sleeve Joint
Scale 1:200

HAZARDS

RECORD OF TITLE INTERESTS

Please carefully check the property's record of title for any entry under section 74 of the Building Act 2004, or its predecessor section 36(2) of the Building Act 1991, as they relate to building on land subject to natural hazards, which may invalidate statutory natural disaster insurance. Clause 3(D) of the Earthquake Commission Act 1993 states that in these circumstances the commission may decline a claim in whole or part.

FLOODING (INUNDATION, ALLUVION*, AVULSION**)

* The wash of the sea or of a river. **Sudden loss of soil from flood or from shift in course of stream.

Council holds no information about reported instances of flooding on the property.

Council records show flooding has been recorded in the area. Please see below the Hazard Map for the location of the flooding. This information is considered relevant by the council as per Section 44A (3) of the Local Government Official Information and Meetings Act 1987.

Flood risk modelling investigations are being compiled for Lower Hutt suburbs, including Wainuiomata, Stokes Valley and more. Please see the Wellington Water rainfall flood risk website [Wellington Water Maps](#). If you are having trouble accessing this website, or require further information, please contact Wellington Water on 04 912 4400.

SLOPE STABILITY (SLIPPAGE, FALLING DEBRIS, EROSION AND SUBSIDENCE)

Council does not hold any records showing slippage on the property.

Council records show landslip(s) has been recorded in the area. Please see below the Hazard Map for the location of the landslip(s). This information is considered relevant by the council as per Section 44A (3) of the Local Government Official Information and Meetings Act 1987.

More general information can be found in this 2021 Report: [Slope Failure Susceptibility Assessment](#)

EARTHQUAKE-PRONE BUILDING

The earthquake-prone building provisions of the Building Act 2004 do not apply to a building if it is used wholly or mainly for residential purposes unless:

- it is two or more storeys; and either
 - is a hostel, boardinghouse, or other specialised accommodation; or
 - contains 3 or more household units.

This building is therefore outside of the scope of the earthquake-prone building provisions of the Building Act 2004. For more information on current legislation please visit the Ministry of Business Innovation and Employment website <https://www.building.govt.nz/managing-buildings/managing-earthquake-prone-buildings/>

CONTAMINATED SITES

The property does not appear on Greater Wellington Regional Council's Selected Land Use Register, which contains a list of properties with a history of hazardous activity or industry.

The National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health controls activities on sites where an activity on the Hazardous Activities and Industries List has occurred. This LIM report should not be considered as a complete assessment of a site's history in regard to HAIL activities. For further information, take a look at MFE's information <https://environment.govt.nz/facts-and-science/land/contaminated-land/>

EARTHQUAKE HAZARDS

Information relating to liquefaction, ground shaking, active faults and slope failure can be found on Greater Wellington Regional Council's [Hazards and Emergency Management Maps](#)

TSUNAMI

The property is not in a tsunami warning zone.

The zoning is based on a report compiled in 2016 entitled Hydrodynamic Inundation Modelling. To see the report, go to <https://wremo.nz/hazards/tsunami>

SEA LEVEL RISE AND STORM SURGE

For more information on sea level rise, please see <https://www.searise.nz>

To find out how sea level rise and storm surge may impact the property please go the Greater Wellington Regional Council's Sea Level Rise Modelling tool here <https://mapping1.gw.govt.nz/GW/SLR>

CO-SEISMIC SUBSIDENCE

For information on estimated subsidence of the valley floor during a Wellington Fault rupture, the GNS Science Report *Estimating co-seismic subsidence in the Hutt Valley associated with rupture of the Wellington Fault* is available to download from the following website

<http://shop.gns.cri.nz/estimating-co-seismic-subsidence-in-the-hutt-valley-associated-with-rupture-of-the-wellington-fault>

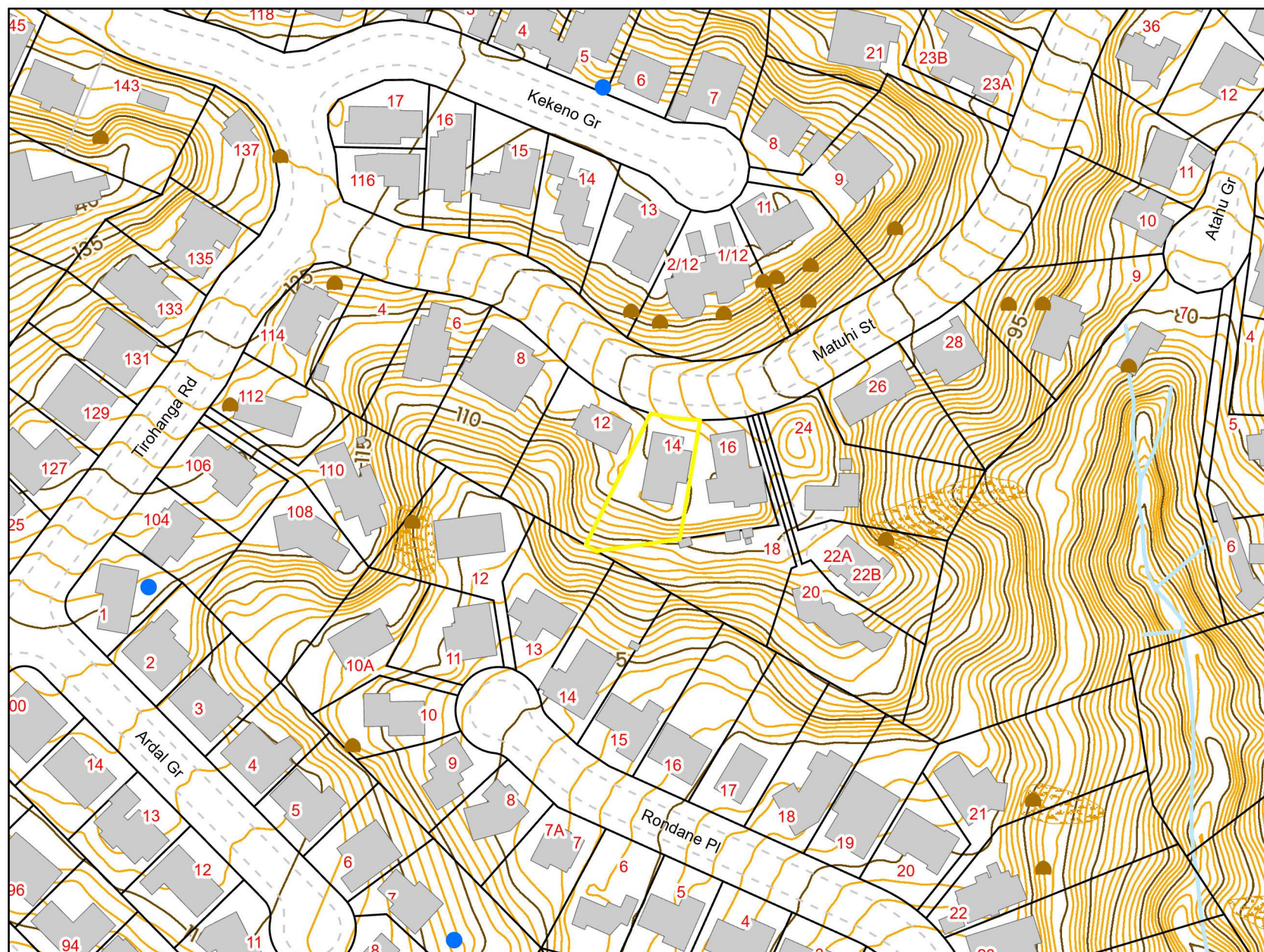
WELLINGTON REGION EMERGENCY MANAGEMENT

For information on how to be prepared for an emergency, or to keep up to date in the event of an emergency in the Wellington Region, please visit the [Wellington Region Emergency Management Office website](#)

COMMUNITY EMERGENCY HUBS

To find out where your closest Emergency Hub (formerly known as Civil Defence Centre) is, please visit the [Civil Defence Website](#)

Contacts	Position	Phone
Flood modelling	Greater Wellington Regional Council flood protection officer	04 384 5708
Contaminated sites	Greater Wellington Regional Council environmental scientist	04 384 5708
Liquefaction and ground shaking	Greater Wellington Regional Council hazard officer	04 384 5708
Earthquake-prone buildings	Seismic Assessment Officer	04 570 6666
All other hazard information	LIM officer	04 570 6666



- LIM Property
- Contours
- Properties
- Parcels
- Building Outline (2021)
- Kerblines
- HCC recorded landslip area
- Water course
- HCC recorded landslip
- HCC recorded flood incident



HAZARDS MAP

Scale: 1:1,500

Although the information displayed has been prepared with care and in good faith, It is an information service and is designed to be illustrative only. The Council cannot guarantee the accuracy or completeness of the information and accepts no liability for any loss suffered as a result of reliance on the information. Parcel boundaries sourced from Land Information New Zealand data supplied under license to Hutt City Council. Crown Copyright Reserved.

DISTRICT PLAN

THE DISTRICT PLAN

The Resource Management Act 1991 requires Hutt City Council to prepare a District Plan to manage land use and development within its jurisdiction. It contains rules that may affect any development or land use you may be considering. Click [here](#) to view the District Plan online.

ACTIVITY AREA

The property is in the Medium Density Residential area of the city's District Plan.

National Grid Transmission Lines have been identified as running through or near this property. Certain land uses (including the construction of buildings, change of use of existing buildings, earthworks, and vegetation maintenance etc.) under and near transmission lines are regulated by Council to ensure the continued safe operation of the National Grid. For more information on these regulations and how they may apply to you, please get in touch with the HCC Resource Consents team (04 570 6781 or resourceconsents@huttcity.govt.nz) . We also recommend getting in touch with the line's operators, Transpower, to learn about their ongoing operation and maintenance of the lines.

For more information on the rules relating to this activity area please read the corresponding chapter of the District Plan. It should be read in conjunction with the plan's general and subdivision rules in chapters 11 and 14. (The full version of the District Plan can be found [here](#))

PROPOSED DISTRICT PLAN AND PROPOSED PLAN CHANGES

The District Plan is subject to ongoing monitoring and review throughout its lifetime.

There is a list of proposed changes and completed changes to the District Plan available [here](#).

The Proposed Lower Hutt District Plan was publicly notified on 6 February 2025. This is proposed to replace the current District Plan. The Proposed District Plan contains information, including new hazards and risks overlays, that may be relevant to this property. This includes coastal inundation, fault, flooding, liquefaction, tsunami and slope assessment overlays. These overlays are nonspecific to any particular properties and are based on scientific information that will be subject to public consultation and a statutory process before they are finalised. It is important to note that information from the Proposed District Plan has not been included in this LIM. Please check the Proposed District Plan maps to determine how this property may be affected. The Proposed District Plan can be accessed [here](#)

URBAN GROWTH STRATEGY

The Urban Growth Strategy is council's approach to managing growth and development in Lower Hutt to 2032. It focuses on how much we want the city to grow, where new homes and businesses will be accommodated, and what will be done to support and encourage this development. Click [here](#) to read more.

HERITAGE BUILDINGS

The District Plan does not recognise there being any heritage buildings or structures on the property.

PROTECTED TREES

A covenant, resource consent condition or consent notice may protect vegetation. See the record of title and/or resource consent(s) for any information in this regard.

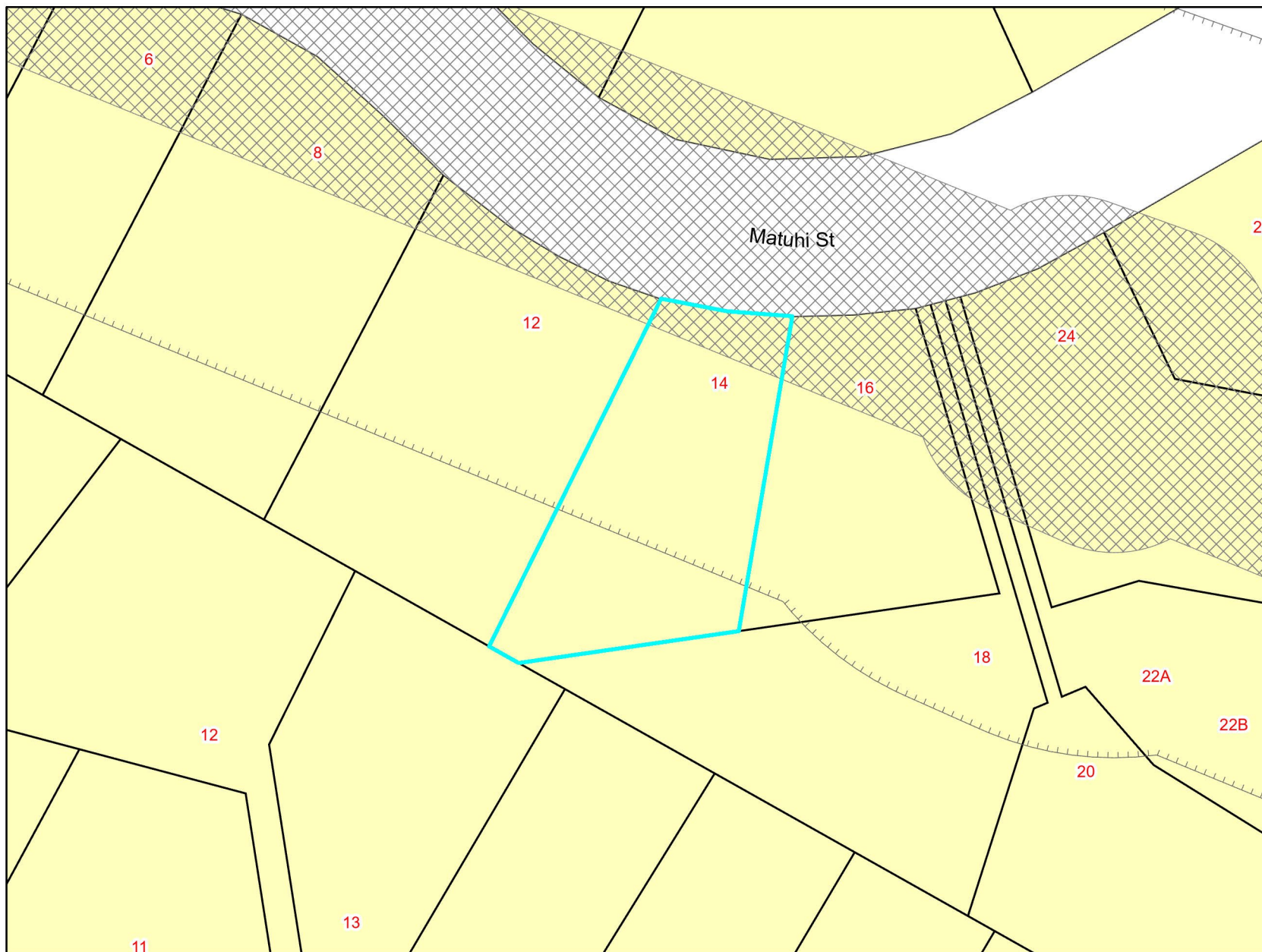
RESOURCE CONSENTS AND DISPENSATIONS

For dispensations council issued under the Town and Country Planning Act 1953, see the planning file references in the archives section.

MONITORING AND ENFORCEMENT

A resource consent relates to a property, not its owner at the time the resource consent was granted. If a building or parcel of land is sold without having satisfied the conditions of a resource consent, it becomes the responsibility of the subsequent owner to arrange council inspections and ensure compliance with resource consent conditions. Work for which the council grants a resource consent must be largely complete within five years. For the first year, the council actively monitors a project. For the next four, it makes periodic checks. See the contact list below to make inquiries about a property with an outstanding resource consent.

Contacts	Position	Phone
District Plan and resource consents	Duty Planner	04 570 6666
District Plan changes	Policy Planner	04 570 6666
Monitoring and enforcement	Monitoring and Enforcement Officer	04 560 1044



- LIM Property
- Properties
- Parcels
- National Grid Yard
- National Grid Corridor
- Road
- Medium Density Residential



DISTRICT PLAN

Scale: 1:567

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ENVIRONMENTAL HEALTH

HEALTH ACT 1956 NOTICES

Council has issued no notices on the property under the provisions of the Health Act 1956.

NOISE CONTROL

Council has no record of having issued an abatement notice on the owner or occupant of the property for unreasonable noise under the provisions of section 322(1)(c) of the Resource Management Act 1991.

LIQUOR LICENSING AND HEALTH REGISTRATIONS

No district licensing authority or council has issued a liquor licence for these premises.

Contacts	Position	Phone
Environmental health matters	Environmental Health Officer	04 570 6666
Trade waste matters	Trade Waste Officer	04 570 6666

ROAD AND TRAFFIC

ENCROACHMENTS

Council records show there is no road reserve encroachment licence relating to the property.

PLANNED LONG TERM ROAD WORKS

The council's long-term community plan does not list any road projects in the immediate area of the property.

Council's Long Term Plan includes the potential construction of a new East – West connection across the Hutt Valley. There is a comprehensive investigation, design, consultation and consenting process to be navigated before the alignment is determined. It is only after this work that council can identify the areas and roading networks potentially impacted.

ROAD RESERVE GARDENS

1. Authorised Road Reserve Gardens

Where a property owner has obtained formal approval from Hutt City Council to install and maintain a garden within the road reserve (the land between the private property boundary and the formed edge of the roadway), the ongoing responsibility for maintaining the garden rests with the current property owner. This responsibility continues with any subsequent property owner(s) in the event of a change of ownership.

Approval is granted on the condition that the garden is maintained to a standard that is safe, tidy, and does not obstruct pedestrian or vehicle access, visibility, or infrastructure.

2. Unauthorised Road Reserve Gardens - where officer consider the unauthorised gardens may remain

Where a property owner has planted a garden within the road reserve without prior approval from Hutt City Council, the responsibility for ongoing maintenance remains with the property owner. This responsibility also passes to new owners if the property is sold.

Should future owners not wish to assume maintenance responsibilities, they are required to reinstate the road reserve area to grass or an approved standard at their own cost.

3. Clarification of Responsibility

Property owners are encouraged to contact the Transport Maintenance and Renewals Team at Hutt City Council to confirm whether the area in question is the responsibility of the Council or the adjoining landowner, and to discuss approval requirements or reinstatement processes if applicable.

For enquiries, please contact: contact@huttcity.govt.nz

4. Restoration of Road Reserve Gardens Following Underground Service Works

When underground services are installed or maintained, any road reserve areas of private or public gardens that are impacted by the works will be reinstated to grass only. This includes the removal or disturbance of existing garden beds, plants, mulch, decorative features, or other landscaping elements, which will not be restored to their original condition. Instead, affected areas will be reseeded or covered with turf to establish a uniform grass surface.

ISOLATION STRIPS

Council records do not show any isolation strips barring access to a legal road.

VEHICLE CROSSINGS

Council records show that vehicle crossing(s) to the property are properly located and meet council construction standards.

Contacts	Position	Phone
Road and traffic	Road and Traffic Asset Management Officer	04 570 6666

ARCHIVES

SEARCH METHODOLOGY

Council carries out searches of property-related files using the current street address, current and previous legal description (DP number) and any other search terms it can identify, such as owner or business names. Searches may exclude older files which have a greater likelihood of not recording the street addresses or legal descriptions.

In compiling your LIM document, the archives files may have been condensed to minimise the size of the document. If you want to view the complete, high resolution scan of the archive file it is available through our [website](#).

If you want to obtain a complete copy of an archive file, please contact the Information Management Team at the email address below.

ARCHIVE FILE REFERENCES

The Information Management Team has identified through their search of council archives that the following files may contain information about the property: Arch 57708 Subdivision File.

Contacts	Email
Archive information	archives@huttcity.govt.nz

ARCH 57708

c.c.

City Engineer
Town Planner
Director Parks & Reserves

Mr. Dunn

332/7/1103

18th December, 1975

Messrs. Cuttriss, McKenzie, Martin
& Co.,
Registered Surveyors,
P.O. Box 30429,
LOWER HUTT.



Dear Sirs,

LAND AND SUBDIVISIONS LIMITED - RE STELLIN
BLOCK - PARK ROAD, STAGE II

In reply to your letter dated 21st November, 1975, I wish to advise that at its meeting on 15th December, 1975, my Council resolved that favourable consideration be given to this application further to:

- * 1. The provision of Reserves, to the satisfaction of the Director of Parks and Recreation, in terms of the understanding between Council and the applicant.
2. The granting of easements for reciprocal rights of way affecting:
 - (a) Lots 30 and 40.
 - (b) Lots 11 and 12.
 - (c) Lots 18, 19, 20 and 31.
3. Conditions of consent to the laying out of the private way serving lots 18, 19, 20 and 31.
4. The dedication of the land required for street, being lots 37, 38, 45 and 46.
- * 5. Provision of drive-on access to all building sites to the satisfaction of the City Engineer and the Town Planner.
6. The applicant to note that lot 35 is not approved in its present form and the land contained within that lot is to be shown as part of the balance land on the principal plan.
- * 7. Provision of an engineer's report, to the satisfaction of the City Engineer, covering the stability of the ground particularly that of the banks in the vicinity of the area where slips have occurred.

over/

8. The amalgamation of lot 36 in one Certificate of Title with the balance of Lot 4, D.P. 23153.

x 9. Investigation by, and provision of a written report from an approved Soils Engineer in regard to the stability of the Cut Faces formed in lots 34, 35, 39, 40 and 42.

10. The provision of roading services, water reticulation, sewerage and stormwater drainage to the satisfaction of the City Engineer.

11. Formation of the private way to Council's standard requirements.

12. The formation of street to Council's standard requirements.

x 13. (1) The additional electrical and telephone services required being underground.

(11) Provision of receipts that the New Zealand Post Office and H.V.E.P. & G.B. conditions have been satisfied.

x 14. Provision of street lighting to Council's standard requirements.

x 15. The provision of a compaction report relating to all fill areas in accordance with N.Z.S. 4431 P1973.

16. "As Built" plans certified by the Surveyor or Consulting Engineer are required showing the levels and alignment of all the mains and roading work and location of all service connections relative to the section boundaries.

x 17. Lots 20, 21, 32 and 33 are not approved as suitable lots having regard to difficulties in providing suitable building areas and/or drive-on access.

— 18. Registration of a caveat against the titles of all lots formed on existing natural ground known or suspected to be poor bearing capacity and which may necessitate special foundations for any dwelling erected thereon - the extent of such area to be shown on the principal plan.

On compliance with the foregoing conditions, it will be in order for you to forward the principal plan, together with a photostat copy thereof, for execution under Council's Seal, accompanied by Council's usual sealing fee of \$5.00.

You will appreciate that this approval and the conditions above relate to the scheme plan you have submitted. Council's consent to the principal plan for deposit in the Lands and Deeds Registry will be required if and when such plan is submitted to the Council for execution under Seal. The present approval of the scheme plan may therefore be subject to modification or alteration in accordance with the Council's conditions and requirements relating to the subdivision of land at the time when the survey plan is submitted for checking and subsequent sealing.

Yours faithfully,

E. C. Perry

E.C. Perry,
TOWN CLERK

CUTTRISS, MCKENZIE, MARTIN & CO.

CONSULTING CIVIL & STRUCTURAL ENGINEERS - REGISTERED SURVEYORS

LOWER HUTT - UPPER HUTT - PARAPARAUMU - PORIRUA

DAVID J. MCKENZIE, M.N.Z.I.S.
WALTER J. MARTIN, B.E., C.ENG., M.I.C.E., M.N.Z.I.E.
BARRIE N. SHUTE, M.N.Z.I.S.
JOHN H. F. McKECHNIE, M.N.Z.I.S.
ROBERT G. TAYLOR, C.ENG., M.I.C.E., M.N.Z.I.E.
ALAN L. MILNE, M.N.Z.I.S.

PLEASE QUOTE REF.

2146

IF CALLING ASK FOR

MR. SHUTE.

Office of Origin:

TRANSPORT CENTRE BUILDING
QUEENS ROAD
LOWER HUTT
P.O. Box 30-429
Telephone ~~6418~~ 664-197

21st November, 1975.

The Town Clerk,
Lower Hutt City Corporation,
Private Bag,
LOWER HUTT.

Dear Sir,

LAND SUBDIVISIONS LTD. STELLIN BLOCK,
PARK ROAD STAGE II : REF. 332/7/1103.

We refer to your letter of approval to the above mentioned development of 31st October, 1973, addressed to Mr. A.J. Butler.

As the approval for this subdivision has now expired we request herewith your Council grant an extension of time. The development is now substantially completed and the Land Transfer boundary survey has reached an advanced stage.

To assist your Council we enclose in triplicate our amended scheme plan No. 2146, Sheet 3, showing details of the final section layout. As can be seen from the plan the development of Lots 1-17, 19-29, 32-24, are substantially as shown on the original scheme plan and we have not provided details of contour information which are as shown on the engineering plans for development provided by Mr. Butler.

The major alterations are as follows:-

1. Provision of drive-on access to Lots 18-31 from the formed Right-of-way at the end of the cul-de-sac.
2. The amalgamation of several allotments to produce one site, Lot 35, in the area of the slip.
3. The provision of a common accessway to the building platforms on Lots 39 & 40.
4. Re-arrangement of the access leg to Lot 41.
5. Dedication of areas adjacent to the Park Road frontage to allow a minimum distance of 10 feet behind the new kerb lines.
6. Lot 36 is to be amalgamated with Part Lot 4, D.P. 23153 in exchange for the part Lot 4 included in the main subdivision.

The road boundary pegs have all been placed and allotments are clearly visible on the site. Please do not hesitate to contact us if you require any further details or explanations.

Cont'd..... 2

Mr. Grigg.

C.C. TOWN CLERK

46-32 ANG/dm.

12th November, 1975

Mr. Luey,
Land and Subdivisions Ltd.,
P.O. Box 30-194,
LOWER HUTT.

Dear Sir,

Stallin Block - Stage II:

I write to confirm our discussion of 5th November, 1975, concerning the future bond proposal in connection with the above development. My understanding is that it was agreed you would include, at the appropriate time in your letter to the Town Clerk for application for a Bond, that you would refer to your letter of 15th September, 1975, and undertake to not give vacant possession in terms of your sales agreement until you had in writing from my Department advice to the effect that the sites were available for the issue of building permits.

I have taken the opportunity to peruse the draft sales agreement which you left with me, and I note that in Clause 3 on page 2 you have made provision for the prior approval of the Lower Hutt City Council for building purposes. As the agreement was a draft only, I would appreciate it if you would consider slightly amending the wording of Clause 3, particularly the phrasing in the third line which reads at present "..... has approved the site for building purposes....." and I advise that it would be more acceptable to me if the wording was changed to "..... has approved the site being made available for building purposes....."

If this change is adopted, it will avoid your future clients presuming that Council is giving a broad blanket approval to the sites regardless of how they may be developed subsequent to their purchase.

I should be pleased if you would advise me of your concurrence to this proposal.

FILE
14 NOV 1975

Yours faithfully,

A. N. G.
CITY ENGINEER

Per:

CT.		
CE.		
S.P.R.		
T.P.		
C.V.		
AD	✓	do

c.c. City Engineer

Town Planner

Mr I.J.M. Dunn



gt/332.7.1103

Mr A. Luey,
Land & Subdivisions Ltd.,
P.O. Box 30194,
LOWER HUTT.

4th November, 1975

Dear Sir,

Re: Stellin Block Stage 2

I refer to your letter dated 15th September, 1975 seeking formal approval for a cash bond at the stage where engineering work is substantially completed. It is noted that you consider the company will be seeking the Bond at the time all underground services have been installed and tested, all footpaths are substantially completed, seal coat applied and the compaction report plus the "as built" plans lodged with the Council.

This is to record that at its meeting on 28th October, 1975 my Council resolved that approval will be given to a bond in terms of your request.

Yours faithfully,

E. C. Perry *CO*

E.C. Perry,
TOWN CLERK.



**CIVIC & GENERAL
Services Group Ltd.**

1 HIGH STREET, LOWER HUTT

72 QUEENS DRIVE, LOWER HUTT

P.O. BOX 30194 PHONES ~~XXXXX XXXX XXX~~ 663681

15th September 1975

COMMUNICATION NO 3343

Town Clerk
Lower Hutt City Corporation
Laings Road
LOWER HUTT

Attention: Mr. Perry

Dear Sir,

RE: LAND & SUBDIVISIONS LTD - STELLIN BLOCK STAGE 2

I wish to apply at this time for your Councils formal approval to have the plan of the above subdivision sealed under a cash bond at the time when Engineering Work is substantially completed. I would consider this to be the time at which all underground services are in and tested, all footpaths substantially completed, seal coat applied and compaction report and "as built" plans lodged with Council.

On Stage 3 my Company has been put to considerable expense awaiting the weather conditions under which the Contractor could work to satisfy the final Council requirements. Even when it is sealed we still have several months wait for the plan to be deposited. We appreciate that these minor items must be attended to and put right but we suffer considerable financial hardship when the Council seal is withheld until the most minor requirements have been satisfied, particularly when circumstances and conditions make it impractical, and even undesirable, to do the work immediately.

Yours faithfully,
pp LAND & SUBDIVISIONS LTD

B. Wong
B. WONG (Mrs)
for ARTHUR LUEY

*Copy only - Original & file to A/p.
Copy to CE*

MEMO:

TOWN CLERK

C.C. MR CLARIDGE

LOWER HUTT CITY CORPORATION

RECEIVED

- 1 SEP 1975

ACK..... ANSD.....

46/32
SC/ga TC 332/7/1103
CITY ENGINEER'S DEPARTMENT

26th August, 1975.

Subdivision - Land & Subdivision Ltd
Stellin Block Stage III:

I am returning to you the LT plan of the above subdivision and till such time as the following work has been completed I am unable to authorise that the Council seal should be affixed to the plan.

1. Temporary stormwater cut-off drains across filled batters are to be filled in.
2. An approved galvanised grill to be installed on the intake of the 27" stormwater line. Verbal approval has been given to the detail for this grill and I would be prepared to except a written undertaking that an order has been placed for its manufacture and that it will be installed as soon as it is completed.
3. The gully areas at the rear of lots 54 and 14 are to have more tidying up earthworks done, and provision is to be made through this work for the control of stormwater from these gullies.
4. The access leg to lot 34 is to be graded to allow for its better use.
5. The bare ground areas in the vicinity of lots 20/24, and 15/16 are to have more grass seed sown.
6. The finished ground level around manholes is to be to the top of the cast iron frames.
7. All areas of concrete spilt on the carriageway are to be removed.
- X 8. Requirements of the Director of Parks and Recreation for the reserve area has still to be finalised and in this connection an inspection of the area has been arranged. The Consulting Engineer will be advised of the work to be completed.
9. Two payments are required; one of \$600 for berm cultivation and sowing, and a second of \$4,964 for second coat sealing of the carriageways.

The developer was advised of these amounts in my letter of 11th July, 1975, and to date I have had no indication that these amounts have been paid.

+ Computer Certificate

+ Plan of Streets before installation to be implemented

A.N. Grigg
CITY ENGINEER

64

S. Claridge

Mr I.J.M. Dunn

gt/332/7/1103

The City Solicitor,
LOWER HUTT.

5th August, 1975

Dear Sir,

Re: Land & Subdivisions Ltd.

The Director of Parks and Recreation and I have perused the draft agreement enclosed under cover of your letter dated 2nd May 1975. The Director has indicated that Clauses 2-4 are acceptable to him and he has pointed out that the provision of access to the western bush reserve on Matuhi Road is made clear by Plan 70.1 prepared by Mr A.J. Butler. This shows future roads fringing the two major bush areas providing adequate points of access to the reserve.

I have certain specific comments in relation to the provisions of the deed as follows:

Paragraph (i) of the recital it is confined to residential housing purposes and I think this should be extended to include such other purposes as may be permitted by the District Scheme for the time being in force. It is possible there may be commercial or other non-residential sites included in the development and it is appropriate that due consideration should be given to the provision of reserves in regard to such sites.

In Clause 5 there is no reference to Council's right to lodge caveats in respect of the neighbourhood reserves and I think that provision ought to be made accordingly in this regard.

Clause 6 ^a with paragraph (i) of the recital should also I think make reference to such other purposes may be permitted by the District Scheme for the time being in force.

In Clause 7 I question whether the release of Caveats should be at Council's cost as this has never been the practice in the past. I feel it might be preferable if Council simply undertook to execute under Seal such releases as may be submitted.

Apart from these comments the Deed in its Draft form appears entirely satisfactory.

Yours faithfully,

E. C. Perry
E.C. Perry,
TOWN CLERK.

CITY VALUER AND HOUSING OFFICER

31st July, 1975

c.c. Senior Committee Secretary

Development - Western Hills - Mr A. Luey

This will serve to record that a short discussion took place between Mr Arthur Luey and myself a few days ago concerning Council participation in his scheme for the sale of sections in his private subdivision on the Western Hills.

I understand that a change of Government policy tends to frustrate the projected action, that you will be bringing down a report to the next meeting of the General Policy Committee in order that the issues raised by Mr Luey may be resolved.

f
TOWN CLERK



COMMUNITY SERVICES

LOCAL ELECTORAL AREA

The property is in the Western Ward.

RUBBISH AND RECYCLING

Wednesday is the rubbish collection day for the property.

Every residential property in Lower Hutt has been provided with a red rubbish bin, a yellow recycling bin and blue glass crate. Households can also opt into receiving a green garden waste bin. Please visit our website for more information. If you have any enquiries, please call 04 570 6666 or email binchanges@huttcity.govt.nz.

Find out more about our bins, and what goes into them, on our website [Too Good to Waste](#). Hutt City Council and councils in the Greater Wellington Region have partnered on a campaign to help support communities to reduce their waste. Please visit our joint council website and learn how to think differently about waste – from purchase, to storage and transport, to reuse and repurpose so that we can work towards living lives that are waste free.

POLICE

Phone 111 for emergencies or 105 for non-emergencies.

Lower Hutt Police (phone 04 560 2600) can connect callers to their local community constable, where available. For more information on local police, please click [here](#).

EXPLORE LOWER HUTT

This property is in the Hutt Valley, with forested mountains, river valleys, rugged coastline and natural surrounds resulting in plenty of options to explore. Wander to the highest waterfall, go midnight kiwi listening and connect with history. Here are the roots of New Zealand's first European settlement where they were welcomed by Te Āti Awa, the place you now call home. For more ideas on how to spend your weekends by attending events or uncovering your big backyard, head to <https://www.wellingtonnz.com/visit/hutt-valley>

REPORT A PROBLEM

If you've spotted any issues or problems with any of council's services, tell us about it using our Report a Problem [portal](#).

COMMUNITY SUPPORT

Council supports communities by providing advice, training and resources, and places for community groups to gather. We also work with others to make our communities safe. Find out how [here](#).

Contact Us

Phone	04 570 6666 or 0800 HUTT CITY
Calling from overseas	<u>0064 570 6666</u>
E-mail the LIM team	<u>Lim.reports@huttcity.govt.nz</u>
Feedback survey for the LIM team	<u>www.surveymonkey.com/r/LIMSURV</u>
E-mail Council	<u>contact@huttcity.govt.nz</u>
Website	<u>www.huttcity.govt.nz</u>
Report a Problem	<u>https://maps.huttcity.govt.nz/RAP/viewer/</u>
Physical address	Hutt City Council 30 Laings Road Lower Hutt 5010
Office hours	Weekdays 8am to 5pm Not open public holidays
Postal address	Hutt City Council Private Bag 31 912 Lower Hutt 5040
Facebook	<u>www.facebook.com/huttcitycouncil</u>
Twitter	<u>www.twitter.com/huttcitycouncil</u>