



LAND INFORMATION MEMORANDUM

6 CASTLE CRESCENT STOKES VALLEY

Produced by Hutt City Council

29/07/2025

To Purchasers/Interested Parties:

A title shows evidence of events relating to a piece of real estate. A solicitor is the most appropriate person to examine a title. In accepting this title copy from Professionals, Redcoats Limited, you agree that this agency or any of its agents take no responsibility for interpreting it or for providing legal advice on anything out of the ordinary such as, but not limited to:

Caveat, Charging Order, Easement, Encumbrance, Instruments, Restrictive Covenant,
Covenant, Cross Lease, Joint Tenancy, Tenancy in Common, Company Share

Often more than just the title needs to be searched. Cross Lease, Consent Notices, Easements, Instruments and other documents may place restrictions on use. You should take guidance from a solicitor.

Reference: LIM250900

L Russ
3488 Main South Road, Dunsandel, RD2
LEESTON

Dear Laurissa Russ,

Land information memorandum for 6 Castle Crescent STOKES VALLEY 5019

Please find enclosed your land information memorandum (LIM).

The LIM contains information Hutt City Council holds on record about the property and is required to provide in accordance with the requirements of section 44A of the Local Government Official Information and Meetings Act 1987, together with information it considers is relevant.

This LIM Report is an accurate representation of the information held on file and has been provided in good faith. It is not the result of any site visits. If you are unsure of what you are looking for, or how to read your LIM report, it is recommended you have your lawyer check it over with you.

While every care has been taken to ensure the information is correct, its accuracy cannot be guaranteed as third parties may have provided some of the details. Please also bear in mind the age of the building in assessing the comprehensiveness of this LIM. The older the building is, the greater the likelihood that alterations may have been made to it without the council having been informed, or that council's archives do not record the street address or legal description.

Hutt City Council accepts no liability for any errors in the report, in particular the exact location of property boundaries and private drains.

Other sources of information that may be of help include:

- Building inspectors: A building inspector can help to resolve questions about the building's structural soundness and the quality of workmanship. A register of independent building advisers can be found at the New Zealand Institute of Building Surveyors [website](#).
- Building consents and permits: More detailed information about building consents and building permits granted for work on the property can be viewed online for free using council's [Building Information Search](#) or at Council's consents counter, 30 Laings Road, Lower Hutt.
- Council's plan for the city: The [Long Term Plan](#) outlines our priorities for the next 10 years, including what we plan to do. Council's [Annual Plan](#) is an operational look at the financial year ahead to ensure we're on track.
- The Proposed Lower Hutt District Plan was publicly notified on 6 February 2025. This is proposed to replace the current District Plan. The Proposed District Plan contains information, including new hazards and risks overlays, that may be relevant to this property. It is important to note that information from the Proposed District Plan has not been included in this LIM. Please refer to the District Plan section of this LIM for more information.
- Greater Wellington Regional Council: This council may hold information on the property. Ring 04 384 5708.
- Utilities: Electricity and gas companies may also hold information on the property.

If you have any questions, please refer to the relevant contact details found in each section of this report.

Yours sincerely,

Rebecca Aumua
LIM Officer

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OVERVIEW

PROPERTY ADDRESS

6 Castle Crescent STOKES VALLEY

LEGAL DESCRIPTION

LOT 10 DP 25914 WN11B/920

VALUATION NUMBER

1603264800

LAND AREA

732 m²

DEPOSITED PLAN

See the attached deposited plan.

Contacts

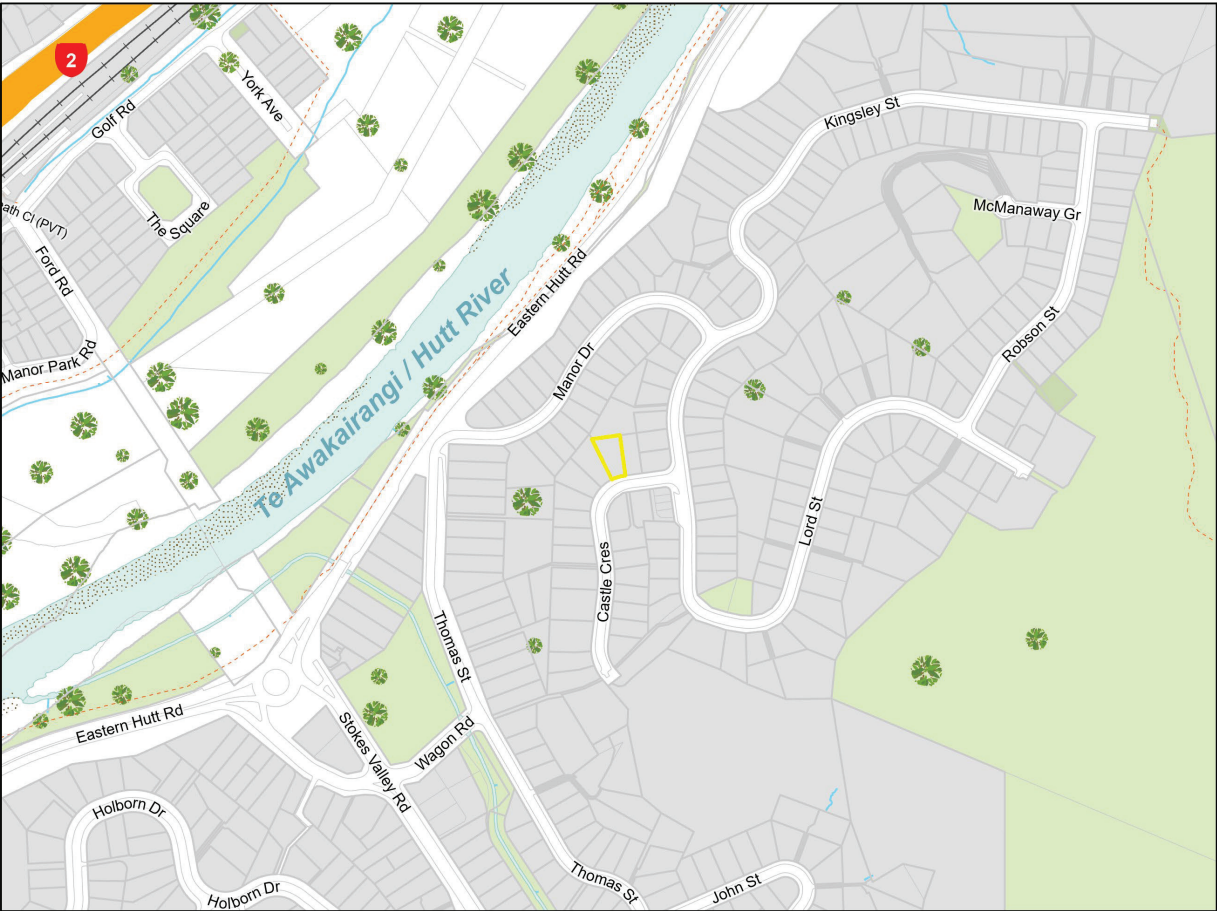
Position

Phone

Deposited Plan	Engineering Records Officer	04 570 6666
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PROPERTY DETAILS

Type	Description
Suburb	Stokes Valley
Ward	Northern Ward
Rubbish Collection Day	Thursday
District Plan - Activity Area	Medium Density Residential
Tsunami Evacuation Zone	No Evacuation Tsunami Zone (Green Zone)
Exposure Zone (Sea spray)	NZS 3604:2011 - 4.2.3.2 Zone C: Medium
Wind Zone (Indicative only)	This land is in a high wind zone in accordance with NZS 3604:2011. This land is in a very high wind zone in accordance with NZS 3604:2011.
Geological and Nuclear Sciences 1:50,000 Soil Type	Deformed and indurated sandstone and mudstone.



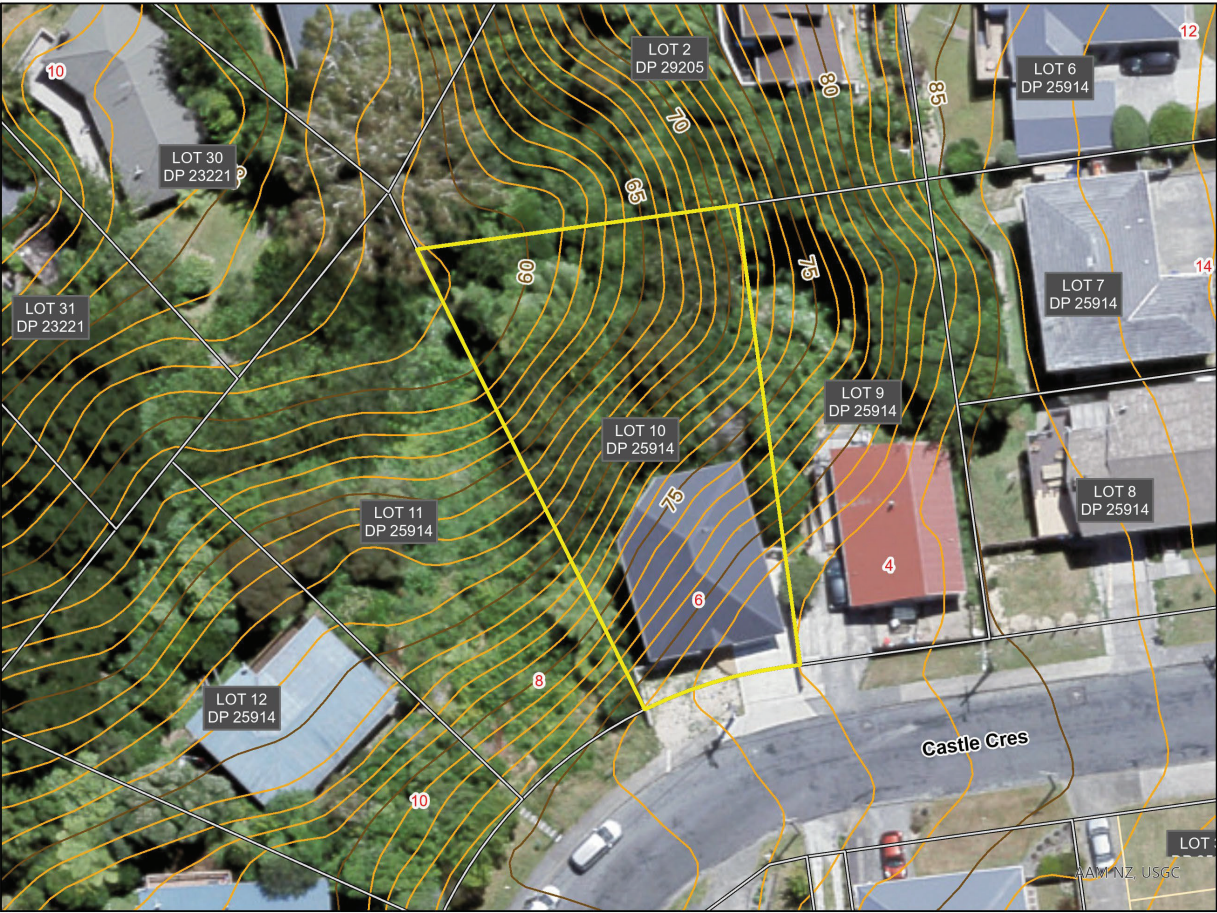
- LIM Property
- Properties
- Land Parcels
- Reserve
- Waterbody
- Streams and Rivers
- State Highway
- Railway
- Access Track



LOCALITY MAP

Scale: 1:5,000

Although the information displayed has been prepared with care and in good faith, it is an information service and is designed to be illustrative only. The Council cannot guarantee the accuracy or completeness of the information and accepts no liability for any loss suffered as a result of reliance on the information. Parcel boundaries sourced from Land Information New Zealand data supplied under license to Hutt City Council. Crown Copyright Reserved.



- LIM Property
- Contours
- Properties
- Land Parcels

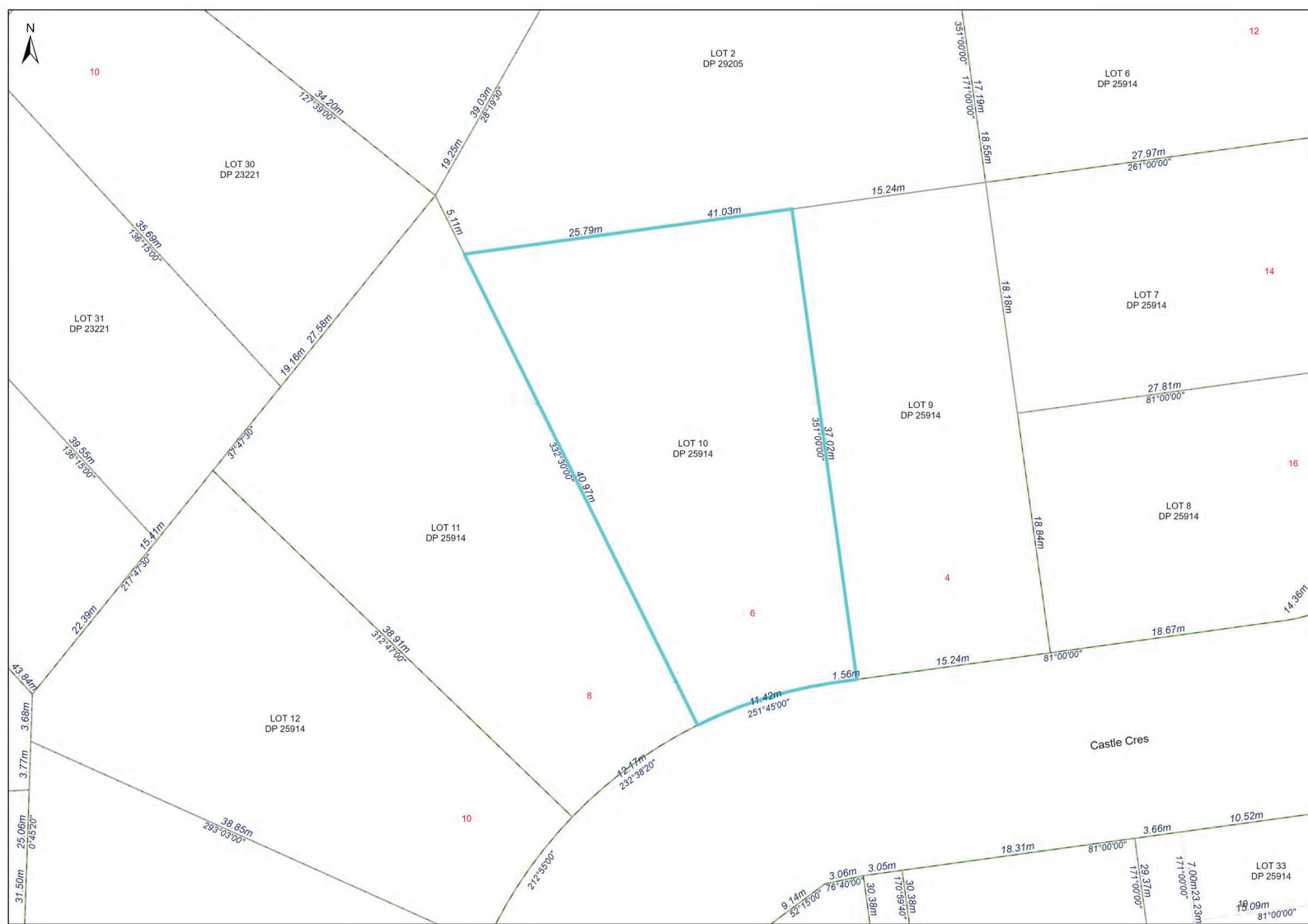
 **2021 AERIAL PHOTOGRAPH**

Scale: 1:439

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Aerial photography flown in Jan-Mar 2021 and produced by AAM NZ Ltd for Hutt City Council and GWRC under the Creative Commons New Zealand Attribution v3.0 license. <http://creativecommons.org/licenses/by/3.0/nz/>

Deposited Plan



25914

Memorandum of Enclosures			
Purpose	Servient Tenement	Colour	Dominant Tenement
Right of Way	PT 100 89	Blue	Lot 18
"	PT 100 90	Yellow	Lot 19
"	PT 100 90	Yellow	Lot 20
"	PT 100 82	Yellow	Lot 21
"	PT 100 82	Yellow	Lot 22
"	PT 100 82	Yellow	Lot 23
"	PT 100 82	Yellow	Lot 24
"	PT 100 82	Yellow	Lot 25
"	PT 100 82	Yellow	Lot 26
"	PT 100 82	Yellow	Lot 27
"	PT 100 82	Yellow	Lot 28
"	PT 100 82	Yellow	Lot 29
"	PT 100 82	Yellow	Lot 30
"	PT 100 82	Yellow	Lot 31
"	PT 100 82	Yellow	Lot 32
"	PT 100 82	Yellow	Lot 33
"	PT 100 82	Yellow	Lot 34
"	PT 100 82	Yellow	Lot 35
"	PT 100 82	Yellow	Lot 36
"	PT 100 82	Yellow	Lot 37
"	PT 100 82	Yellow	Lot 38
"	PT 100 82	Yellow	Lot 39
"	PT 100 82	Yellow	Lot 40
"	PT 100 82	Yellow	Lot 41
"	PT 100 82	Yellow	Lot 42
"	PT 100 82	Yellow	Lot 43
"	PT 100 82	Yellow	Lot 44
"	PT 100 82	Yellow	Lot 45
"	PT 100 82	Yellow	Lot 46
"	PT 100 82	Yellow	Lot 47
"	PT 100 82	Yellow	Lot 48
"	PT 100 82	Yellow	Lot 49
"	PT 100 82	Yellow	Lot 50

[illegible]

Total Area = 10e. 2r. 3ap.

25414

Approved as to Survey
by John H. Jones
Chief Surveyor
L. T. Draughtsman
Received
Reference Plans BFA 10047, 10048
JUL 1947 - 20, 1947
Field Book 212, 128-13
Traverse Book 225, 128-13
Examined by J. H. Jones
Recorded
Surveyed by J. H. Jones
4-1-47

Plan. of Subdivision of Lot 1 D.P. 25807 & Lot 16 D.P. 1832
being Pth Sections 65 & 195 Hutt District
Comprised in C.T. 63/524 & C.T. 63/884

Scale 60 links to an Inch
Surveyed by M^{rs} Laren Maycroft Carroll & Co.
April 1964

Approved
-promotional description of
by the author and publisher
of the book.

Applicant, or Registered Owner
25914

Age Group	Percentage of Respondents
18-29	~65%
30-49	~75%
50-69	~80%
70+	~85%

Current Record of Title



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R.W. Muir
Registrar-General
of Land

Identifier **WN11B/920**

Land Registration District **Wellington**

Date Issued 06 June 1973

Prior References

WND2/510

Estate Fee Simple
Area 731 square metres more or less
Legal Description Lot 10 Deposited Plan 25914

Registered Owners

Laurissa Amy Joyce and Micheal Alan Russ

Interests

Appurtenant hereto is a right of way created by Transfer 495312

The easement created by Transfer 495312 is subject to Section 351E (1) (a) Municipal Corporations Act 1954

The right of way created by Transfer 495312 is subject to the Council's conditions of consent contained in Document 470194 and varied by No. 529065

Appurtenant hereto is a right of way created by Transfer 578314

The easement created by Transfer 578314 is subject to Section 351E (1) (a) Municipal Corporations Act 1954

The right of way created by Transfer 578314 is subject to the Council's conditions of consent contained in Document 470194 and varied by No. 529065

10880975.1 Mortgage to ASB Bank Limited - 2.10.2017 at 3:14 pm

RATES

The following rates are based on the capital value of the property at the start of the current financial year beginning 1 July 2024.

ANNUAL RATES

The general and targeted rates charged on a property during the rating year (1st July 2024 to 30th June 2025.)

Rates: \$4,184.86

RATES DUE AND PAYABLE

Any rates that are past the due date and remain unpaid.

Rates: \$0.00

CAPITAL VALUE

This value is used to calculate the general rates component of the property's annual rates. (It is a combination of the land value and the value of buildings and other improvements.)

Current: \$700,000.00

Effective 1 July 2025: Not Available

LAND VALUE

The land value is one component of the capital value.

Current: \$260,000.00

Effective 1 July 2025: Not Available

RATING CATEGORY

Residential - Dwelling houses.

WARM GREATER WELLINGTON HOME INSULATION SCHEME

Greater Wellington Regional Council (GWRC) offers the Warm Greater Wellington home insulation scheme by way of voluntary targeted rate to help fund the cost of home insulation. In other words, GWRC fund a specific activity (eg, insulation) on behalf of an individual ratepayer because the activity meets council policy objectives as well as benefits the ratepayer. While the scheme is currently on hold for new applications, please email warm@gw.govt.nz to check if the property has an existing Warm Wellington funding attached to it.

For information on how rates are calculated and how they are used, please visit our [website](#).

Contacts	Position	Phone
Rates details	Rates Officer	04 570 6666

BUILDING WORK

BUILDING PERMITS AND CONSENTS

The building card (also called “Building Permit Record” or “Drainage and Plumbing Register”), a copy of which is below, contains a list of all known building permits and building consents for the property up until the early 2000s, at which point the records were digitised. Borough councils may have issued some of these building permits before their amalgamation into Hutt City Council.

In the case of building consents issued from 1991 onwards, copies of the following are included in this section:

- Code compliance certificate (CCC)
- Floor plans
- Elevation drawings

Note: Building consents and code compliance certificates came into existence with the passing of the Building Act 1991. Before then, councils issued only building permits. Building work carried out earlier than July 1, 1992 may quite legitimately have no code compliance certificate.

For further information and copies of pre-1991 permits that may not be included in this report but held on file, you can search online for free using council’s [Building Information Search](#).

Alternatively you can also order a copy of this information in electronic or hard copy format ([fees apply](#)):

- by phoning us on 04 570 6666/0800 HUTT CITY
- or sending an [email](#)
- or request in person from our team at the [council offices](#).

The following is a list of building consents issued under the Building Act 1991 and the Building Act 2004.

Consent number	Approval date	Description	CCC issue date
BC170097	06/06/2017	New Dwelling	05/09/2018

MATTERS RELATING TO THE WEATHERTIGHT HOMES RESOLUTION SERVICES ACT 2006

The Ministry of Business, Innovation and Employment has sent council no correspondence about the building(s) on the property as it relates to the Weathertight Homes Resolution Services Act 2006.

BUILDING WARRANTS OF FITNESS

No building warrant of fitness is needed for a single household residence unless it has a cable car. A building warrant of fitness is a statement from a building owner confirming that the specified system has been properly maintained.

If you're unsure or require further information, please click [here](#) or contact the council's building warrant of fitness officer on 04 570 6948.

FENCING OF SWIMMING POOLS

Residential pools are required by law to have physical barriers compliant with the pool safety provisions enacted by the Building Act 2004, regardless of whether there are young children living at the property. This requirement applies also to temporary pools and to small heated pools such as spa pools or hot tubs.

Please note that the Fencing of Swimming Pools Act 1987 was repealed on 1 January 2017 and replaced by provisions for fencing of pools in the Building Act 2004.

HEALTHY HOMES

Eco Design Service:

Hutt City Council offers free and impartial advice on house performance with an Eco Design Advisor service.

The EDA assessment is about houses being warm, dry and healthy. It assesses how well the house will retain heat, heating, moisture control, indoor air quality and energy use. It can also cover building materials, water and waste.

House assessments take one to one-and-one half hours, and you will receive a report/action plan for future reference. If you would like to make an appointment with an Eco Design Advisor, please phone 04 570 6666 or email ecodesign@huttcity.govt.nz.

HomeFit Certification:

New Zealand homes can be cold, draughty, expensive to heat and make us, our friends and our whānau sick.

HomeFit is an inspection-based assessment of the health, comfort, energy efficiency and safety of New Zealand homes. It covers a range of topics that a panel of experts believes to be essential for a home to be livable and provides an independent check as to whether the house meets the Healthy Homes Standards.

Check the [Homefit website](#) to do an online check and to find out how to get your home certified.

Rental Properties:

The healthy homes standards became law on 1 July 2019.

The healthy homes standards introduce specific and minimum standards for heating, insulation, ventilation, moisture ingress and drainage, and draught stopping in rental properties.

Landlords are responsible for maintaining and improving the quality of their rental properties. These standards will help ensure landlords have healthier, safer properties and lower maintenance costs for their investments.

The standards will also make it easier for tenants to keep their homes warm and dry. For more information on the criteria and deadlines of the standards, please visit the [Tenancy Services](#) website.

New Build:

Are you building a new home? Consider Homestar, a national rating tool that measures the health, warmth and efficiency of New Zealand houses. A home is rated on a scale from 6 to 10 and provides assurance that a house will be better quality - warmer, drier, healthier and cost less to run - than a typical new house built to building code. A 10 Homestar rating means you've built a world leading home. Check the [NZ Green Building Council](#) website for more information.

LEAD BASED PAINT

Lead based paint was widely used in and around New Zealand homes until the 1980s. It is particularly important to keep yourself safe when renovating and not to contaminate your home and garden. For information on managing lead based paint, please see Worksafe New Zealand's [website](#).

ASBESTOS

Most houses built between 1950 and 2000 are likely to contain asbestos in some form, which may be a health hazard if the asbestos fibres become airborne, for example if the material is damaged, sanded or drilled into. For more information, check out the Ministry of Health [website](#).

If you are intending on renovating a home potentially containing asbestos, this [Worksafe](#) website might be of some use to you.

TREATED TIMBER

Treated timber is timber that has been treated with chemicals to preserve its quality. It can be hazardous to health when exposed to the preservative in the wood, for example, when you are cutting the wood and creating dust.

For more information and precautions when handling treated timber visit this Ministry of Business, Innovation and Employment [website](#)

Contacts	Position	Phone
Building consents and permits	Duty Building Consent Officer	04 570 6666
Weathertight Homes Resolution Services Act	LIM Officer	04 570 6666
Building warrant of fitness	Building Warrant of Fitness Officer	04 570 6666
Private swimming pools and spas	Swimming Pool Officer	04 570 6666
Eco design service	Eco Design Advisor	04 570 6666

Building Consents

05 September 2018

L A Joyce & MA Russ
32 Kiwi Street
Alicetown 5010

MXu
Environmental Consents
T 5706666
meng.xu@huttcity.govt.nz
Our reference: BC170097

Dear MRuss, L Joyce,

Code compliance certificate for 6 Castle Crescent Stokes Valley 5019 (BC170097)

Please find enclosed a code compliance certificate for your work at the above address.

The certificate is a formal statement, issued under section 95 of the Building Act 2004 that the work you carried out complies with the building consent granted by the council.

It is a useful document to retain and should be kept in a safe place.

If you have any questions feel free to email me at meng.xu@huttcity.govt.nz. Please remember to quote your building consent number, which is BC170097.

Yours sincerely,



MXu
Building Officer

CODE COMPLIANCE CERTIFICATE

Section 95, Building Act 2004

**THE BUILDING:**

Street address: 6 Castle Crescent Stokes Valley 5019
Legal description of land where building is located: LOT 10 DP 25914
Building name: N/A
Location of building within site/block number: N/A
Level/unit number: N/A
Current lawfully established use: Housing
Year first constructed: 2018

THE OWNER:

Name of owner: MRuss, L Joyce
Contact person:
Mailing address:
L A Joyce & MA Russ
32 Kiwi Street
Alicetown 5010

Street address/registered office:

Landline: 97100349710034

Daytime:

Fax:

Email: jason@akbuilding.nz jason@akbuilding.nz

Website:

First point of contact for communications with Hutt City Council:

Mobile:
After-hours:

BUILDING WORK:

Building consent number: BC170097

Issued by Hutt City Council

RBW - Residential - New Dwelling

CODE COMPLIANCE:

The Hutt City Council is satisfied, on reasonable grounds, that the building work complies with the building consent.

MXu

Building Officer, Environmental Consents

On behalf of Hutt City Council

Date: 05 September 2018

Form 6A

Memorandum from licensed building practitioner: Record of building work

Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING	
Street address: 6 Castle Crescent	
Suburb: Stokes Valley	
Town/City: Wellington	Postcode:

THE PROJECT
Building consent number: 170097

THE OWNER(S)	
Name(s):	
Mailing address: 6 Castle Crescent	
Suburb: Stokes valley	PO Box/Private Bag:
Town/City: Wellington	Postcode:
Phone number:	Email address:

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

PRIMARY STRUCTURE

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Foundations and subfloor framing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Walls <input checked="" type="checkbox"/>	Masonry Block Work	<input checked="" type="radio"/> Carried out <input checked="" type="radio"/> Supervised
Roof <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Columns and beams <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Bracing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Other <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised

EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Damp proofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Roof cladding or roof cladding system <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Ventilation system (for example, subfloor or cavity) <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Wall cladding or wall cladding system <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Waterproofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Other <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name: **Andrew Burnett**

LBP number: **125818**

Class(es) licensed in:

b1,b2

Plumbers, Gasfitters and Drainlayers registration number (if applicable):

Mailing address (if different from below):

Street address/Registered office: **1/9 Lonsdale crescent**

Suburb: **Rongotai**

Town/City: **Wellington**

PO Box/Private Bag

Postcode: **6022**

Phone number:

Mobile: **0272303577**

After hours:

Fax:

Email address **drew@stacksonstacks.co.nz**

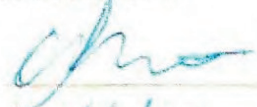
Website:

DECLARATION

I **Andrew Burnett**

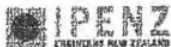
_____ carried out or supervised the restricted building work recorded on this form.

Signature



Date:

13/6/18



Building Code Clause(s).....B1 & B2.....

PRODUCER STATEMENT – PS4 – CONSTRUCTION REVIEW

(Guidance notes on the use of this form are printed on page 2)

ISSUED BY:Malcolm Nielsen Consulting Engineer Ltd.
(Construction Review Firm)

TO:Authentic Kiwi Building Ltd.....
(Owner/Developer)

TO BE SUPPLIED TO:Hutt City Council.....
(Building Consent Authority)

IN RESPECT OF:New House on Pole Platform
(Description of Building Work)

AT:6 Castle Crescent, Stokes Valley.....
(Address)
..... LOT.....10..... DP25914..... SO

.....Malcolm Nielsen Consulting Engineer Ltd.....has been engaged by.....AKB Ltd.....
(Construction Review Firm)

To provide ☐ CM1 ☒ CM2 ☐ CM3 ☐ CM4 ☐ CM5 (Engineering Categories) or ☐ observation as per agreement with owner/developer
or ☐ otherservices
(Extent of Engagement)

in respect of clause(s)B1 Structure & B2 Durability..... of the Building Code for the building work described in

documents relating to Building Consent No. BC 170097 and those relating to

Building Consent Amendment(s) Nos. issued during the course of the works. We have sighted these Building Consents and the conditions of attached to them.

Authorised instructions / variations(s) No. (copies attached)
or by the attached Schedule ☐ have been issued during the course of the works.

On the basis of ☐ this ☒ these review(s) and information supplied by the contractor during the course of the works and on behalf of the firm undertaking this Construction Review, I believe on reasonable grounds that ☐ All ☒ Part only of the building works have been completed in accordance with the relevant requirements of the Building Consent and Building Consent Amendments identified above, with respect to Clause(s)B1 & B2..... of the Building Code. I also believe on reasonable grounds that the persons who have undertaken this construction review have the necessary competency to do so.

I,Malcolm John Nielsen.....am: ☒ CPEng No.125618.....
(Name of Construction Review Professional)

☐ Reg Arch No.

I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications:BE, CMEngNZ, CPEng, IntPE.....

The Construction Review Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*. **\$510,000**

The Construction Review Firm is a member of ACENZ: ☒

SIGNED BYMalcolm John Nielsen..... ON BEHALF OFMNCE Ltd.....

Date:.....6 August, 2018..... Signature:.....

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000*. **\$500,000**

This form is to accompany Forms 6 or 8 of the Building (Form) Regulations 2004 for the issue of a Code Compliance Certificate.



Standard Materials Warranty

Warranty Number: NZCBM-0073400

Date of Installation: 16-May-2018

Building/Project Address: 6 Castle Crescent, Stokes Valley, Lower Hutt 5019

Company: Butynol Fixers Wellington 2017 Limited ("the Applicator")

Address: PO Box 2010, Raumati Beach, Paraparaumu 5255

Phone: 027 444 8834

Reference: BFW - 0860

Builder Name: Authentic Kiwi Building Ltd

Product Type and Use: 1.5mm Dove Grey Butynol, Roof

Area Laid: 2.00 SquareMetres

Subject to the conditions appearing below, ARDEX NEW ZEALAND LIMITED ("ARDEX") warrants to 6 Castle Crescent that the ARDEX Membrane stated as the Product Type will retain its waterproofing properties for the following period from the date of installation of the Membrane:

This warranty is effective for (20) twenty years years from the date of installation of the Membrane.

This Warranty is subject to the following conditions.

Extent of Liability

1. Warranty shall only apply to any defect in the Membrane which permits the entry of water due solely to the natural deterioration of the Membrane or ridges or splits not caused by structural failure of movement of or cracks in the substrate or roof base or insulation over which the Membrane is applied. This Warranty does not cover workmanship which is and shall be the sole responsibility of the approved applicator who is not an agent, servant, or employee of ARDEX.
2. Failure to follow the ARDEX Specification and Instructions of use of the Product and/or all applicable laws will render this Warranty null and void. This includes protection of the Membrane when used in below ground DPM tanking, internal waterproofing and external waterproofing applications. ARDEX advise that products may have limitations as detailed in the product datasheets.
3. This Warranty will not apply where any other product or material has been added to or used in conjunction with the product, unless approved by ARDEX in writing (permission can be given or withheld at ARDEX's discretion and is not required when using ARDEX Tile adhesives in conjunction with ARDEX Undertile Membranes).
4. ARDEX's obligations under this Warranty shall be limited to the timely repair or replacement by ARDEX of any defective Membrane which permits the entry of water at ARDEX's cost. This is ARDEX's sole and total liability under this Warranty.
5. ARDEX shall have no further liability or responsibility other than set out in this Warranty. In particular, ARDEX shall not be liable for any loss of profits or loss of revenue or for any other economic loss or for any special, indirect, incidental, consequential damage, loss or injury of any kind, including but not limited to, damage to the structure or its contents arising under any theory of law whatsoever.
6. Without limiting the generality of the preceding clauses, this Warranty shall not cover and ARDEX shall have no liability for the following acts, conditions, or circumstances or any damage or defects which may arise there from:
 - a. Wars, strikes, lock-outs, delays, acts of God, fire, earthquake, flood, hail, lightning, hurricane, tornado, windstorm, governmental or environmental interference or any other cause (whether similar or dissimilar) beyond the reasonable control of ARDEX; or
 - b. The act, omission, default or representation of any party other than ARDEX or its servants or agents; or
 - c. Exposure to a chemical or solution, fire or radiation, or contamination by radioactivity from any nuclear fuel or waste; or
 - d. Settlement, distortion, failure of the walls or foundations of the building, ponding or cracking of the roof or the deck; or
 - e. Infiltration or condensation of moisture in, through, or around the walls, copings, building structure, or underlying or surrounding materials; or
 - f. Any design defect or structural failure of any framework or material in or on which the Membrane has been installed or applied which was not supplied by ARDEX; or
 - g. Materials other than the membrane, including, but not limited to, metal work expansion or control joints, fasteners, drains, vents, vapour retarders, walkways, pitch pockets, flashing materials and rooftop units and equipment; or
 - h. Expansion or contraction of any flashing or metal work, any adjacent or abutting building, structure or improved or unimproved property, or any component thereof, including but not limited to, structural failure or damage, leakage, or drainage; or
 - i. Any new installations, repairs, or other maintenance or construction on, to or through the Membrane; or
 - j. Damage caused directly or indirectly by falling objects or traffic of any nature on the roof; or
 - k. Improper installation of insulation or defects or failure of any material used in any roof base or insulation over which the Membrane is applied; or



ENGINEERED SOLUTIONS FOR
TILING, FLOORING & WATERPROOFING

- l. The failure of material or structures to conform to manufacturer's specifications as to roof slopes or other requirements; or
- m. Negligence, misuse, improper treatment or improper site preparations; or
- n. Storage, handling or installation of the Membrane otherwise than in accordance with ARDEX's published use and handling procedures and installation specifications.

Claim

- 7. This Warranty shall be invalid unless ARDEX receives the Owner's written claim within the warranty period and within fourteen (14) days after the date of reasonable discovery of any alleged defect.
- 8. This Warranty remains current for the period as specified previously in this document and is transferable should ownership of the property on which the membrane is applied change.

Access to Material and Site

- 9. In the event that it is necessary for ARDEX to repair or replace any defective Membrane, the Owner shall provide ARDEX with clear and unrestricted access to the Membrane. Nothing in this Warranty shall require ARDEX to remove and/or replace plant, equipment or any other object or substance in order to gain access to the defective Membrane. The Owner shall co-operate in all respects with ARDEX to accomplish the said repair or replacement. The cost of any site visit requested under a Warranty claim which does not reveal any problem which ARDEX has liability for under this Warranty shall be paid for, at ARDEX's sole discretion, by the party requesting the inspection at the then current trade consultancy rates.

Consumer Guarantees Act

- 10. Where the Membrane is being acquired by you in trade you agree that it is fair and reasonable in the circumstances that the Consumer Guarantees Act 1993 (CGA) not apply. Accordingly, to the maximum extent permitted by law, the CGA shall not apply.

No Other Warranty

- 12. Except as expressly set out in this Warranty, and with the exception of the relevant statutory warranties contained in the CGA that cannot be excluded, no other warranty or condition shall be implied against ARDEX by any statute, at common law or otherwise, and no representation, express condition, warranty or variation of this warranty shall be binding on ARDEX unless it is in writing and signed for or on behalf of ARDEX. This Warranty shall prevail despite any indication to the contrary by any person acting or purporting to act on ARDEX's behalf and shall replace all or any other alleged rights or remedies contained in any other document or representation whether issued or made prior to or subsequent upon the granting of this Warranty by ARDEX.

Validity of Warranty

- 13. This Warranty is valid and enforceable on the condition that ARDEX has been paid in full for the Membrane supplied.

Applicable Law

- 14. This Warranty is governed by the laws of New Zealand.

By:

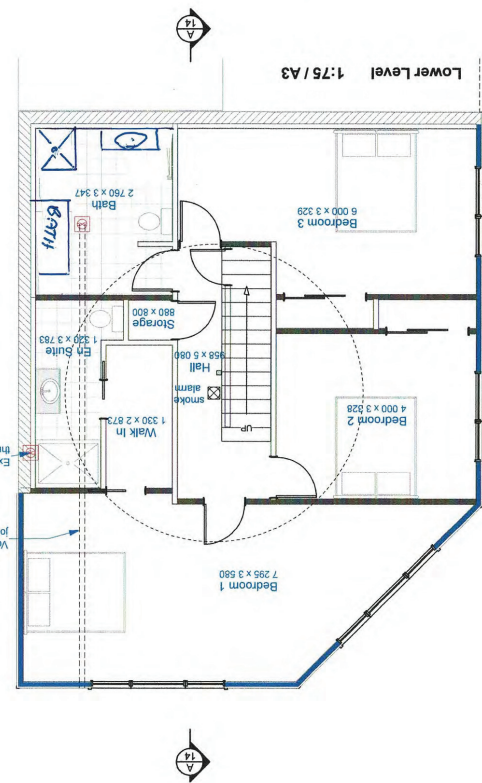
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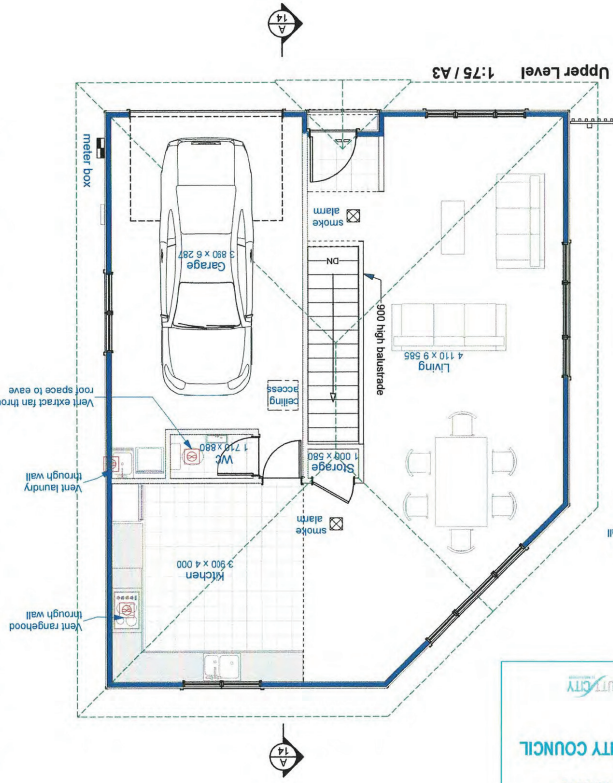
Maitland PH: 06 370 1390

Client Sign Off: _____
Date: _____

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurissa Joyce & Michael Russ Contact: Jason Russ (04) 971 0034 or (021) 432 952		Ref. # _____ Date: _____ Comments: _____	Read with Amendments: _____		District Plan General Residential Zone EQ Zone: 3 Geotech Class: D/E Exposure Zone: 2 LBP M. Buckthorpe 122007		Scale: A3 1:75 Floor Plan Job # 112837 - FWD Date: 1/06/2017 Sheet # 4 of 22
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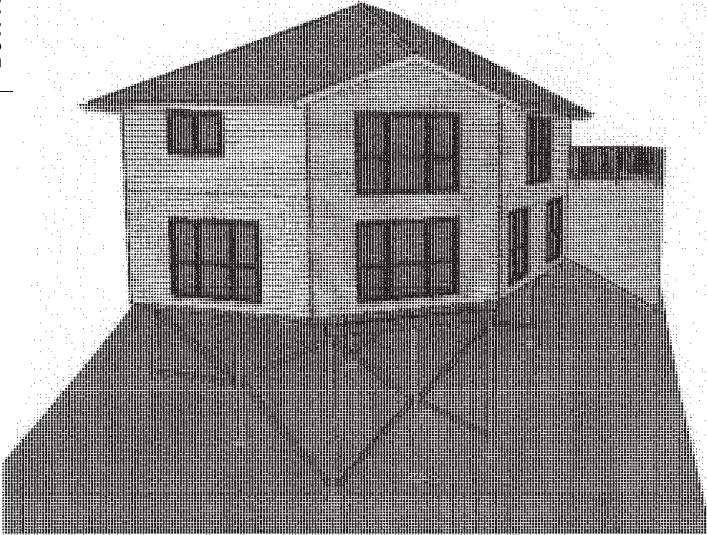


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HUTT CITY COUNCIL



NOTES:
Always cross reference the foundation plan with the floor plan prior to setting out. Windows and door openings sizes shown are box sizes & are preliminary only. Site measure and confirm all joinery sizes. Inform designer any changes required to ordering joinery. No liability shall be held by designer for incorrect supply of joinery. Refer to attached pre-cut design & documents for all inset sizes, truss & top plate fixings. Support / slab thickening that may be required to support roof loads. This layout is preliminary. Read in conjunction with final P31 & pre-cut design & documents. If a discrepancy occurs contact pre-cut manufacturer or contact designer immediately.
Sealway from Falling
D1/A51 Table 2
Adequate slip resistance for walking surfaces as per
Insulation
All external walls R2.5 insulation (excluding garage).
Internal walls R2.5 insulation between garage & habitable house.
R3.2 insulation under garage floor to habitable rooms below.
Artificial Light
Minimum illuminance 20 lux in each habitable room to meet compliance with G8
Warning Systems
Smoke alarm with hush button to comply with F7
Legends:
Exterior wall
Interior wall
Loadbearing wall
Slip resistant vinyl or tile
Floor Coverings Key
Refer to specs for locations
Carpet on underlay
Elevations

BC170097



PROPOSED DWELLING

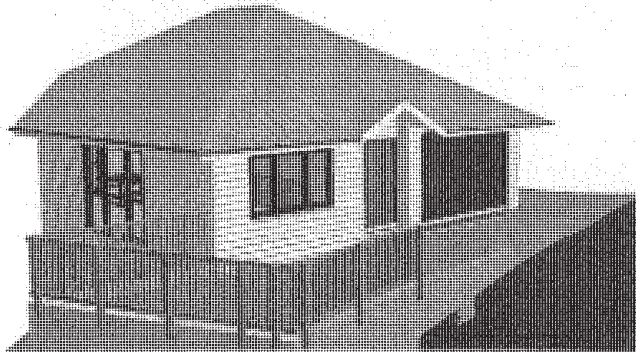
FOR

Jason Russ
AT

6 Castle Crescent,
Stokes Valley,
Lower Hutt

Sheet Index

- 1 Cover Sheet
- 2 Site Plan
- 3 Excavation Plan
- 4 Floor Plan
- 5 Dimension Plans
- 6 Elevations
- 7 Elevations
- 8 Drainage Plan
- 9 Foundation Plan
- 10 Floor Joist Layout
- 11 Bracing Plan
- 12 Bracing Details
- 13 Bracing Details
- 14 Cross Section A-A
- 15 Cladding Details
- 16 Cladding Details
- 17 Cladding Details
- 18 Cladding Details
- 19 Roof Cladding Details
- 20 Wet Area Details
- 21 Additional Details
- 22 Barrier Detail

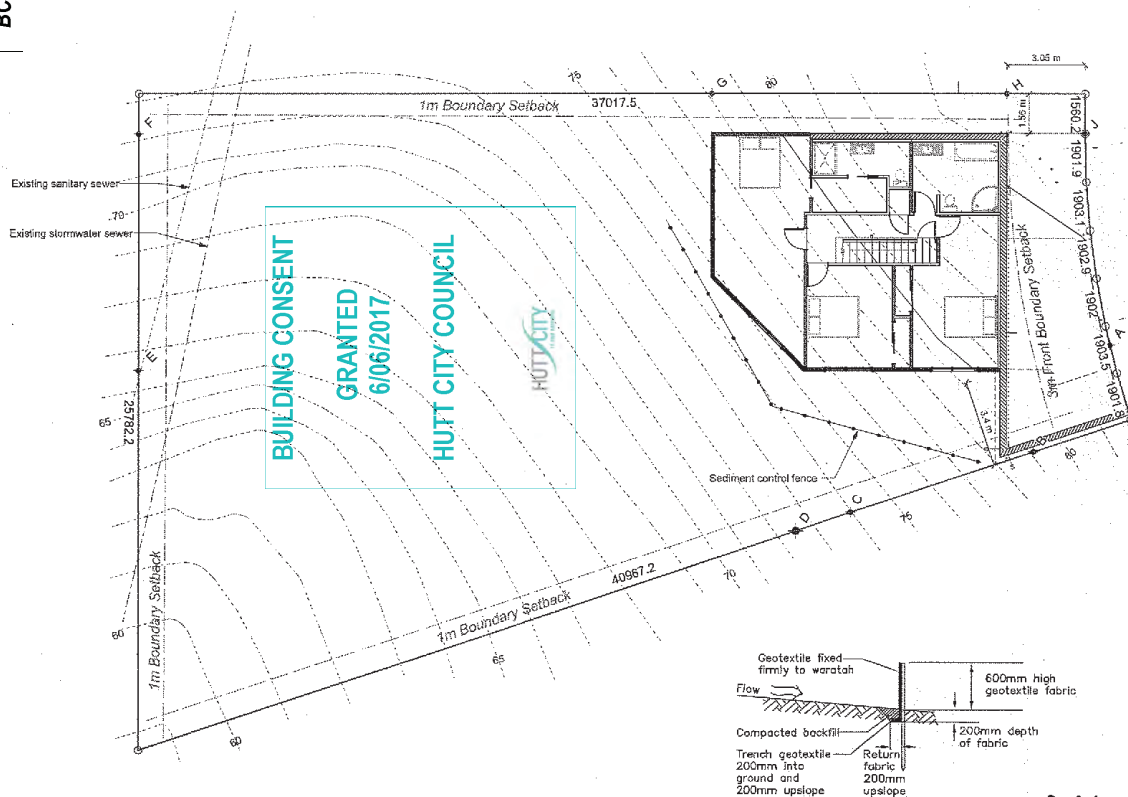


Client Sign Off
Date:

Masterton PH: 06 370 1390

M. Dink
1-6-17

Date: 1/08/2017	Sheet #
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Cover Sheet	32
Scale:	Plan Ref.:



Sediment Fence Detail
Not to scale

Notes:

Site Barriers and Hoardings as Per F6(A5.1 if specific hazards exist).

Adequate slip resistance for walking surfaces as per D1/A51 Table 2

BUILDING CONTRACTOR TO ASSESS SITE TO ENSURE DAYLIGHTING & BUILDING RESTRICTIONS ARE COMPLIED WITH. NO LIABILITY FOR ENCROACHMENT SHALL BEHELD BY DESIGNER IF SITE IS NOT SURVEYED BY A REGISTERED SURVEYOR PRIOR TO COMMENCEMENT OF FOUNDATIONS.

Contractor Note:

Contractor to ensure final building platform & finished ground have an even fall away from building to ensure water not be allowed to accumulate in buildings outdoor. Any fill to be dry & approved by engineer & compacted down in accordance with NZS 3604:2011.

Confirm ground has adequate bearing to comply with NZS 3604:2011.

Locate and confirm Datum and FFL.

Locate all service connections points on site prior to commencement of works. Check invert levels or pipes and manholes.

Confirm all frame and foundation dimensions, plus plumbing route and fixture positions on site are correct prior to commencement of works.

Confirm site boundary bearings, lengths & peg locations on site prior to commencement of work, to ensure building position is correct.

Sediment and runoff control shall be installed by the licensed building practitioner prior to or during the earthworks for the project. The sediment controls shall be installed in accordance with the requirements of the District Council in accordance with the Resource Management Act (1991).

LOT: 10
DP: 25914

TOTAL SITE AREA: 732m²

SITE COVERAGE: 101.2m² / 13.83%

Plan View

Sediment Control Legend: (as per TY90)

- Drainage Control
- Sediment Fence
 - woven geotextile fabric
 - 600mm high min.
 - posts crs. 2m max.

Client Sign Off:
Date:

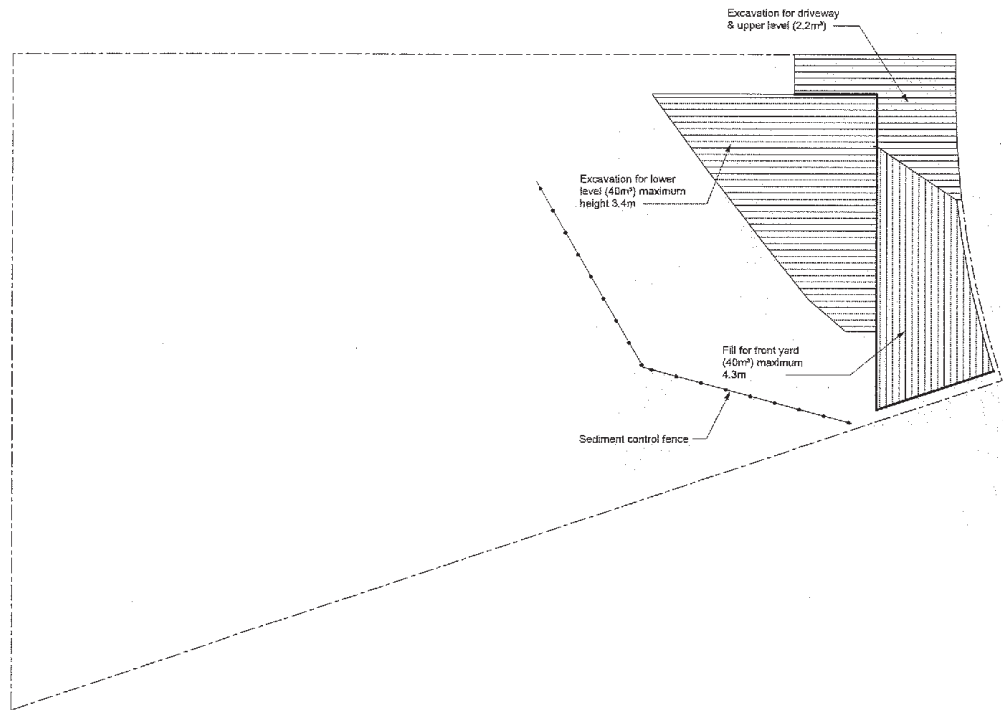
Read with Amendments:			District Plan		Concept Drawn	ZG	5/07/16	Date: 1/06/2017	Sheet #
Ref. #	Date:	Comments:	Hutt City Council		Pricing Drawn	ies	---	Job # 112637 - FWD	2 of 22
Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt			General Residential Zone		FWD Drawn	ies	---	Site Plan	33
Client: Laurissa Joyce & Michael Russ			Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E				
Contact: Jason Russ (04) 971 0034 or (021) 432 952			Snow Load: BkPa	Climate Zone: 2	Exposure Zone: C	LBP M. Buckthrought	122007	Scale: A3 1:150	Plan Ref.:



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M. Buckthorpe
1-6-17



Client Sign Off:
Date:

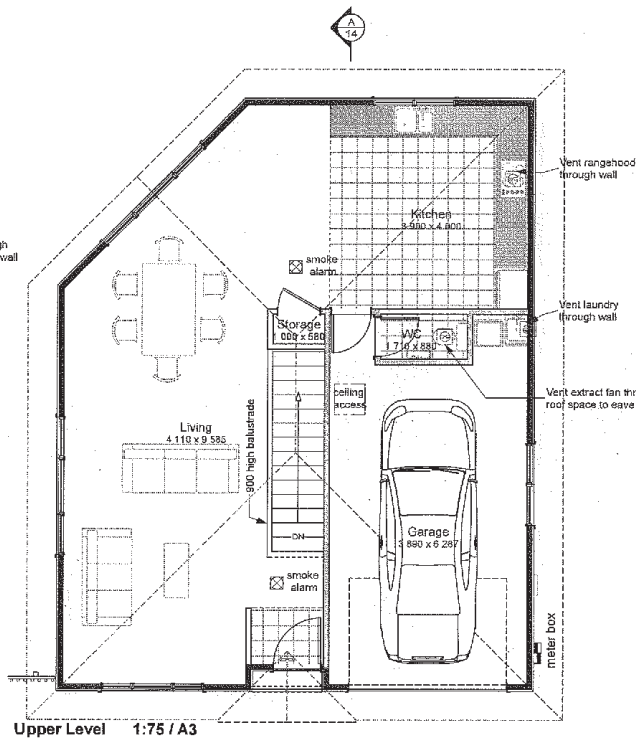
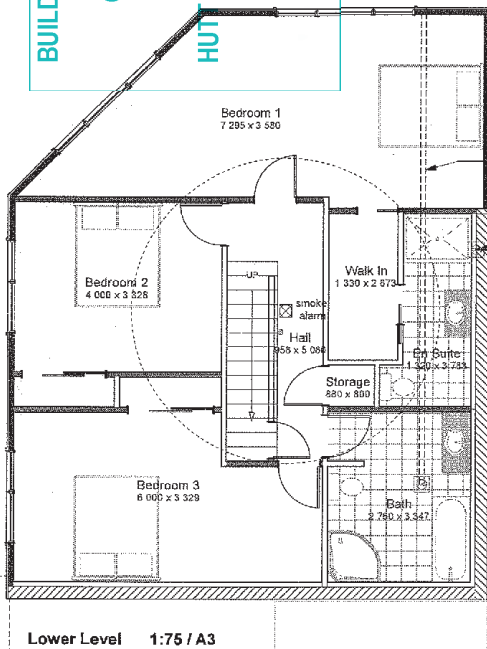
Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurissa Joyce & Michael Russ Contact: Jason Russ (04) 971 0034 or (021) 432 952	Read with Amendments:		District Plan Hutt City Council General Residential Zone	Concept Drawn ZG 5/07/16 Date: 1/06/2017	Job # 112637 - FWD	Sheet # 3 of 22
	Ref #	Comments:				
	Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E	Pricing Drawn los	los	Excavation Plan 34 Scale: A3 / 1:150 Plan Ref.:
	Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C	LBP M. Buckthorpe 122007		



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**Notes:**

Always cross reference the foundation plan with this floor plan prior to setting out. Window and door openings sizes shown are box sizes & are preliminary only. Site measure and confirm all joinery sizes. Inform designer any changes PRIOR to ordering joinery. No liability shall be held by designer for incorrect supply of joinery. Refer to attached pre-cut design & documents for all lintel sizes, truss & top plate fixings. Contractor to refer to truss manufacturers producer statements for any further load bearing footing / slab thickenings that may be required to support roof loads. This layout is preliminary. Read in conjunction with final PS1 & pre-cut design & documents. If a discrepancy occurs contact pre-cut manufacturer or contact designer immediately.

Safety from Falling

Adequate slip resistance for walking surfaces as per D1/A31 Table 2

Insulation

All external walls R2.0 insulation (excluding garage)
All ceilings insulated R3.2 insulation (excluding garage)
Internal walls R2.6 insulation between garage & inhabitable house.
R3.2 insulation under garage floor to inhabitable rooms below.

Artificial Light

Minimum illuminance 20 lux in each inhabitable room to meet compliance with G5

Warning Systems

Smoke Alarm with hush button to comply with F7

Legend:

- Exterior wall
- Interior wall
- Loadbearing wall

Floor Coverings Key

Refer to specs for locations

- Carpet on underlay
 - Slip resistant vinyl or tile
- elevations

Lower Footprint : 101.2m²
Lower Perimeter: 39.65m
(OVER FRAME)

Upper Footprint : 100.6m²
Upper Perimeter: 40.65m
(OVER FRAME)

Total Footprint : 201.8m²
(OVER FRAME)

Client Sign Off:
Date:

Proposed Dwelling
at: 6 Castle Crescent,
Stokes Valley,
Lower Hutt
Client: Laurissa Joyce & Michael Russ
Contact: Jason Russ (04) 971 0034 or (021) 432 952

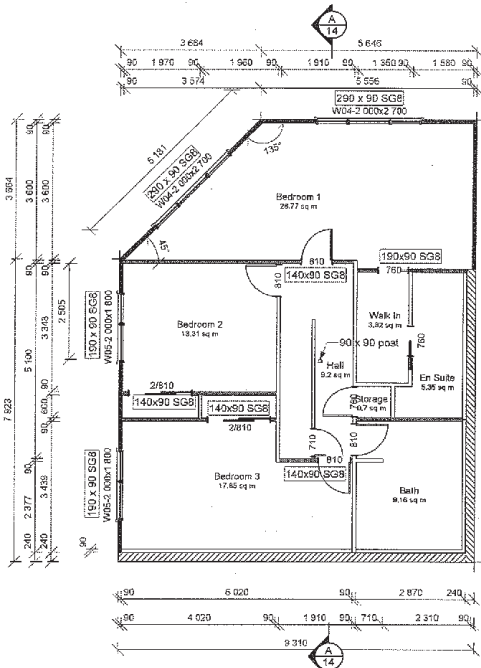
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Ref. #	Date	Comments

District Plan			
Hutt City Council			
General Residential Zone			
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Very High	3	Class: D/E	
Snow Load:	Climate Zone:	Exposure	
0kPa	2	Zone: C	

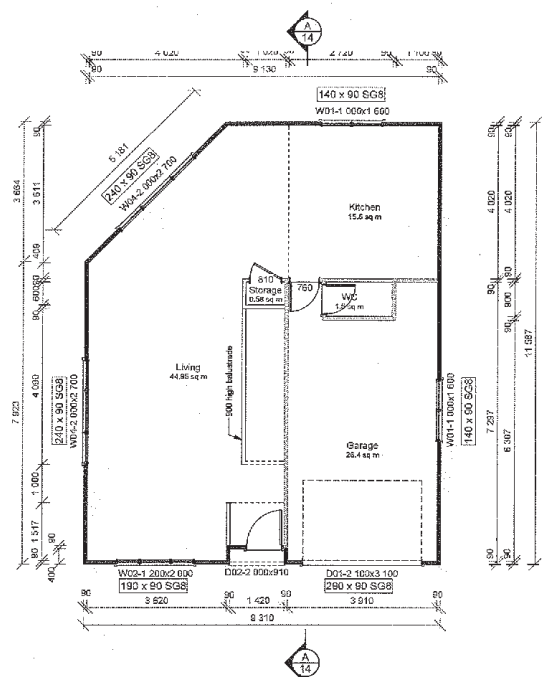
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Pricing Drawn	les	---	
FWD Drawn	les	---	
LBP		M. Buckthought	
		122007	

Date: 1/06/2017		Sheet #
Job # 112637 - FWD		4 of 22
Floor Plan		35
Scale: A3 / 1:75		Plan Ref.:





Lower Level 1:100 / A3



Upper Level 1:100 / A3

Notes:

All sashes on LHS unless noted otherwise - 600mm - Awning.
All vision rails shall be a height of 800mm.

Glazing

Grade A safety glass to be fitted to all doors and windows within 500mm of FFL.

Grade A safety glass to be fitted to Laundry window.

Obscure Grade A safety glass to be fitted to Bathroom. To comply with F2/AS1

Site measure and confirm sizes and details prior to fabricating any joinery.

Window and door manufacturer to show compliance with all relevant standards and provide warranty.

Natural Light & Ventilation

All glazing in habitable rooms have greater than 10% natural light for area of floor, to comply with NZBC clause G7 Natural Light.

All habitable and amenity rooms have greater than 5% natural ventilation / area of floor, to comply with NZBC clause G4 Ventilation.

All habitable rooms have a visual awareness of outside activity.

Dimensioning

All openings at exterior walls to be centred in room or located as dimensioned. Dimensioning as shown to wall frame.

G4 & G7 Compliance									
Room (m2)	Opening	Ventilation			Natural Light			Pass	Area
		width	height	area	width	height	area		
Living	W02	1.2	1.3	1.56	2	1.2	2.4		
	W04	1.20	1.30	1.56	2.70	2.00	5.40		
	W05	0.80	1.00	0.80	1.60	1.00	1.60		
Kitchen	W05	0.80	1.00	0.80	1.60	1.00	1.60		
	W06	0.80	1.00	0.80	1.60	1.00	1.60		
Bedroom 1	W05	0.80	1.00	0.80	1.60	1.00	1.60		
Bedroom 2	W05	0.80	1.00	0.80	1.60	1.00	1.60		
Bedroom 3	W05	0.80	1.00	0.80	1.60	1.00	1.60		
Master Bedroom	W04	1.2	1.3	1.56	2.70	2.00	5.40		
	W04	1.2	1.3	1.56	2.70	2.00	5.40		
	W04	1.2	1.3	1.56	2.70	2.00	5.40		

EXTERIOR WINDOW SCHEDULE			
NUMBER	QTY	WIDTH	HEIGHT
W01	2	1600	1600
W02	1	2000	1600
W03	4	2700	2000
W04	2	1600	2000

EXTERIOR DOOR SCHEDULE			
NUMBER	QTY	WIDTH	HEIGHT
D01	1	1910	2100
D02	1	1910	2100

Client Sign Off:

Date:

Proposed Dwelling
at: 6 Castle Crescent,
Stokes Valley,
Lower Hutt
Client: Laurissa Joyce & Michael Russ
Contact: Jason Russ (04) 971 0034 or (021) 432 952

Read with Amendments:

Ref. #

Date:

Comments:

District Plan

Hutt City Council

General Residential Zone

Wind Zone: Very High

EQ Zone: 3

Geotech Class: D/E

Snow Load: 0kPa

Climate Zone: 2

Exposure Zone: C

Concept Drawn

ZG

5/07/16

Pricing Drawn

Jes

FWD Drawn

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L&P M. Buckthout

122007

Date: 1/08/2017

Job # 112637 - FWD

Dimension Plans

Scale: A3 / 1:100

36

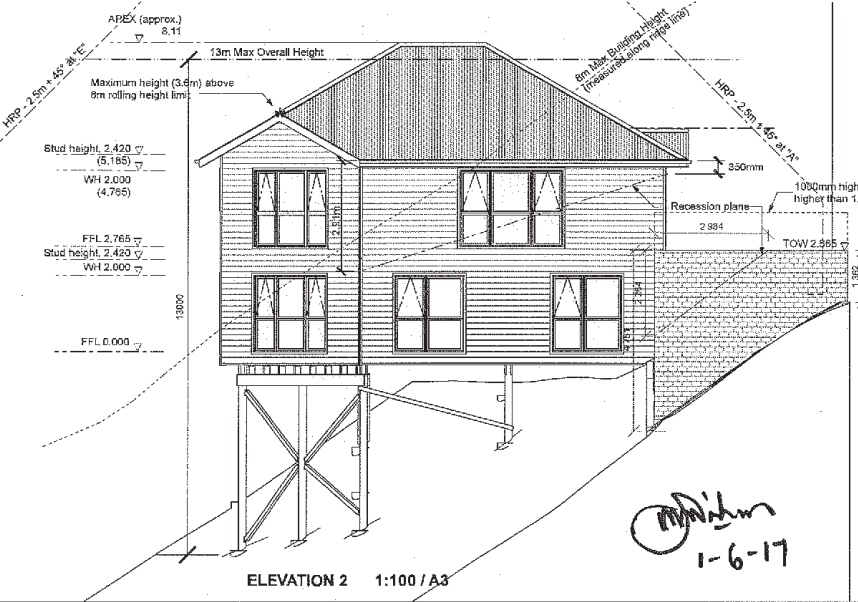
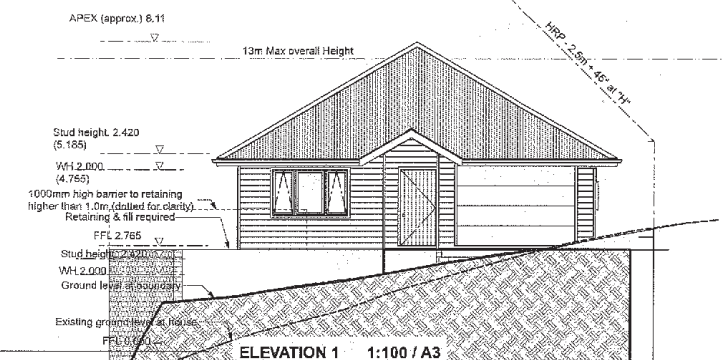
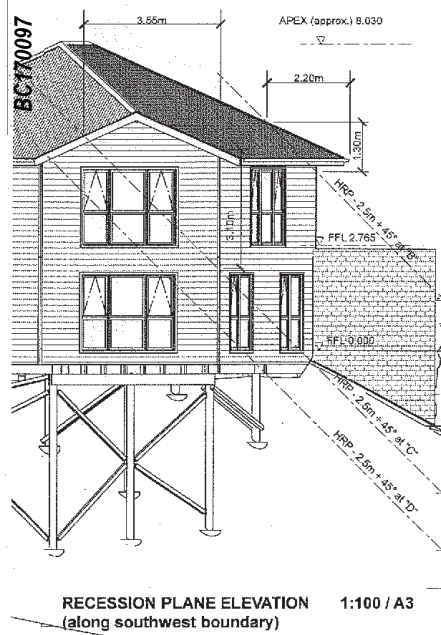
Plan Ref.:

Sheet #

5

of 22





Notes:
BUILDING CONTRACTOR TO ASSESS SITE TO ENSURE DAYLIGHTING & BUILDING RESTRICTIONS ARE COMPLIED WITH. NO LIABILITY FOR ENCROACHMENT SHALL BE HELD BY DESIGNER IF SITE IS NOT SURVEYED BY A REGISTERED SURVEYOR PRIOR TO COMMENCEMENT OF FOUNDATIONS.

CROSS REFERENCE NOTES BETWEEN ELEVATIONS AS TYPICAL

Glazing
Grade A safety glass to be fitted to doors and windows within 500mm of FFL and Laundry window. Vision rails must be minimum 750mm from FFL. Opaque Grade A safety glass to be fitted to Bathroom. To comply with F2/AS1. Site measure and confirm sizes and details prior to fabricating any joinery. Window and door manufacturer to show compliance with all relevant standards and provide warranty.

Floor
Engineered Foundation (see engineer's notes & details)

Cladding
Direct fixed Palisade with 2-piece soakers & corners

Roof
Corrugated Colorsteel Endura
30° pitch
600mm overhang 450 to gable ends

Fascia & Spouting
Klass Coloursteel Fascia & spouting with Marley uPVC downpipe system

Joinery
Aluminium with double glazing (Excluding Garage)

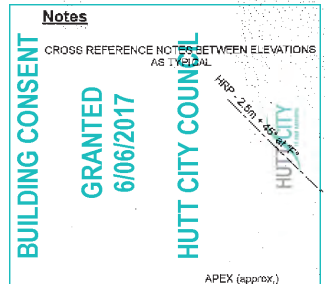
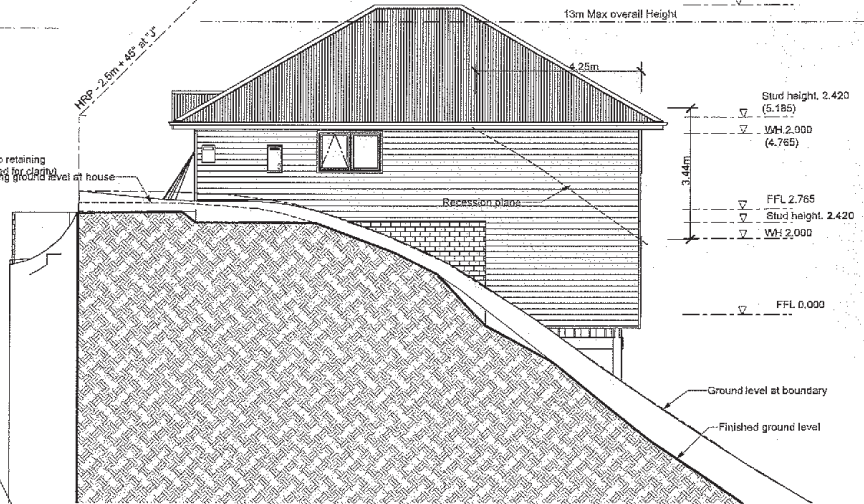
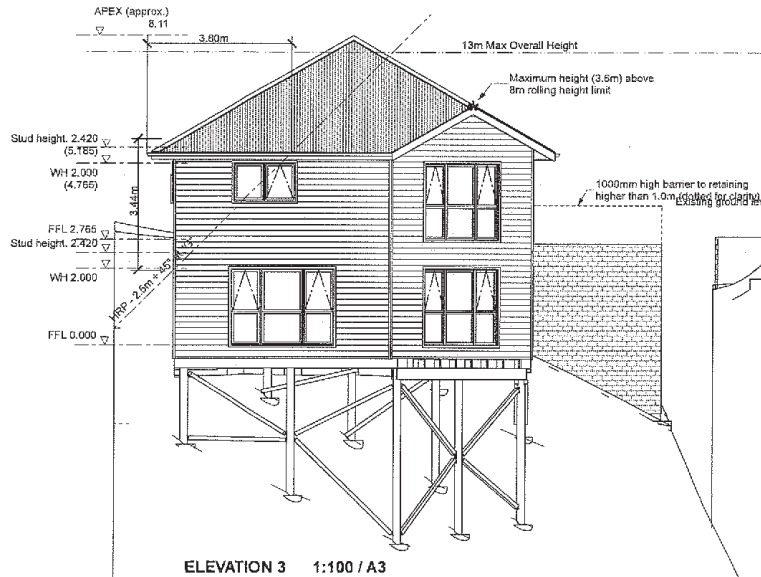
Amended 1-6-17

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CPS
Client Sign Off:
Date:

Masterton PH: 06 370 1390

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurissa Joyce & Michael Russ Contact: Jason Russ (04) 971 0034 or (021) 432 952			Read with Amendments: Ref. # Date: Comments:			District Plan Hutt City Council General Residential Zone			Concept Drawn: ZG 5/07/16 Pricing Drawn: les FWD Drawn: les			Date: 1/06/2017 Job #: 112637 - FWD			Sheet # 6 of 22		
						Wind Zone: Very High EQ Zone: 3 Geotech Class: D/E Snow Load: 0kPa Climate Zone: 2 Exposure Zone: C			LBP M. Buckthought 122007			Elevations 37			Scale: A3 / 1:100 Plan Ref.:		



Client Sign Off:
Date:

Proposed Dwelling
at: 6 Castle Crescent,
Stokes Valley,
Lower Hutt
Client: Laurissa Joyce & Michael Russ
Contact: Jason Russ (04) 971 0034 or (021) 432 952

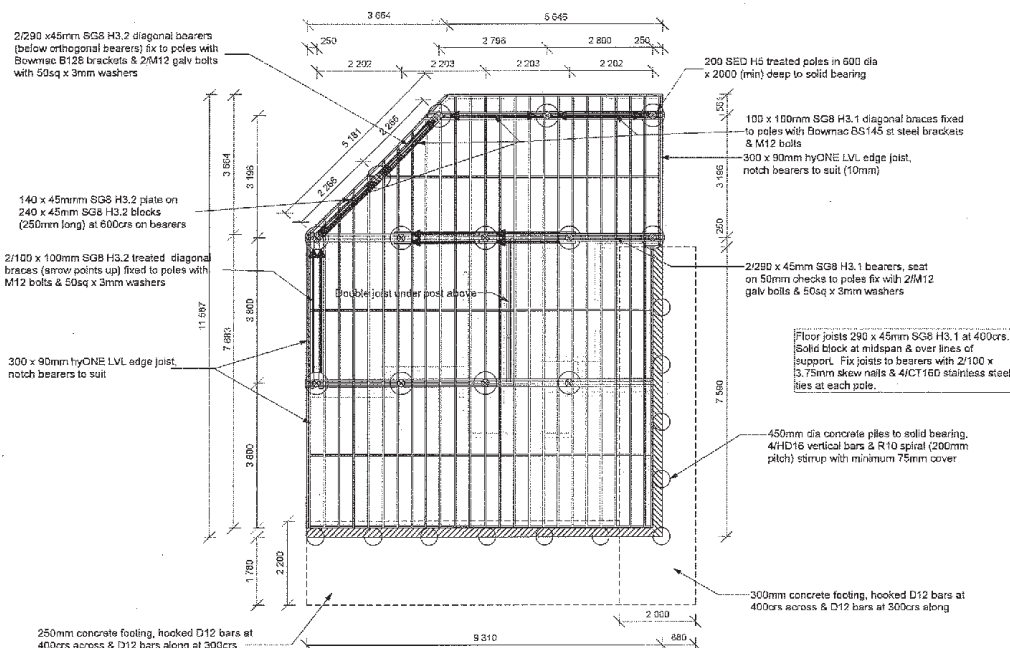
Read with Amendments:		
Ref. #	Date:	Comments:

District Plan		
Hutt City Council		
General Residential Zone		
Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E
Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C

Concept Drawn	ZG	5/07/16
Pricing Drawn	Ios	—
FWD Drawn	Ios	—
LSP	M. Buckhought	122007

Date: 1/06/2017	Sheet #
Job # 112637 - FWD	7 of 22
Elevations	
Scale: A3 / 1:100	Plan Ref. .





Main Contractor to cross reference all floor and frame dimensions prior to commencing any work.

Always cross reference the foundation plan with the floor plan prior to setting slab.
Contractor refer to local manufacturers produce statements for any further load bearing footing / slab thickenings that may be required to support roof loads. The contractor shall accurately locate the position of all public drains on site prior to starting work. If any discrepancies are found in these drawings then the contractor must contact the designer before proceeding with any further works.
Confirm layout & fittings of kitchens, bathrooms and laundry etc before foundation commences.

Refer to engineer's details for retaining walls & footings.

All concrete must be 20KPa at 28 days.

All fixings in exposed situations (refer cross-section) must be grade 304 stainless steel, fittings in sheltered situations may be hot-dipped galvanised steel or stainless steel.

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6/06/2017

HUTT CITY COUNCIL



1-6-17

Client Sign Off:
Date:

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurissa Joyce & Michael Russ Contact: Jason Russ (04) 971 0034 or (021) 432 952	Read with Amendments:			District Plan				Concept Drawn: ZG		5/07/18		Date: 1/06/2017		Sheet #		
	Ref. #	Date	Comments	Hutt City Council General Residential Zone				Pricing Drawn		les		Job # 112637 - FWD		9 of 22		
				Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E	FWD Drawn		les				Foundation Plan			
				Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C	LBP M. Buckhought 122007						Scale: 39		Plan Ref.:	

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6/06/2017

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Framing shown as representation
only - sizes may vary

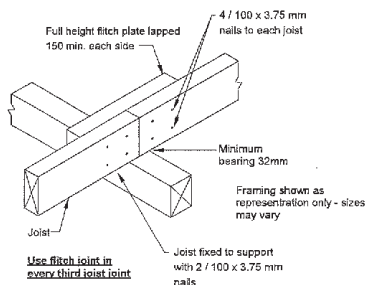
Non-loadbearing wall not over a joist

Flooring

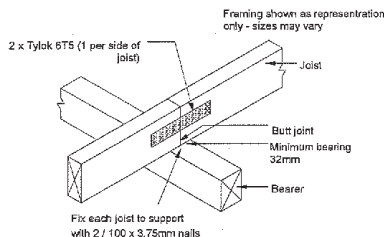
Joist

2 / 100 x 3.75 mm nails or
4 / 75 x 3.15 mm skew nailsMin. 100 x 50 mm solid blocking
between joists at within 100mm from end of any
bracing element and at 1.2 m max. crs. and at
each side of door openings in wall above**Support to Non Load-Bearing Walls Between Floor
Joists (parallel)**

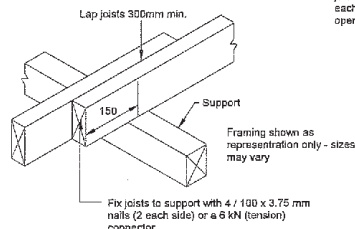
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**Flitched Joint in Floor Joist**

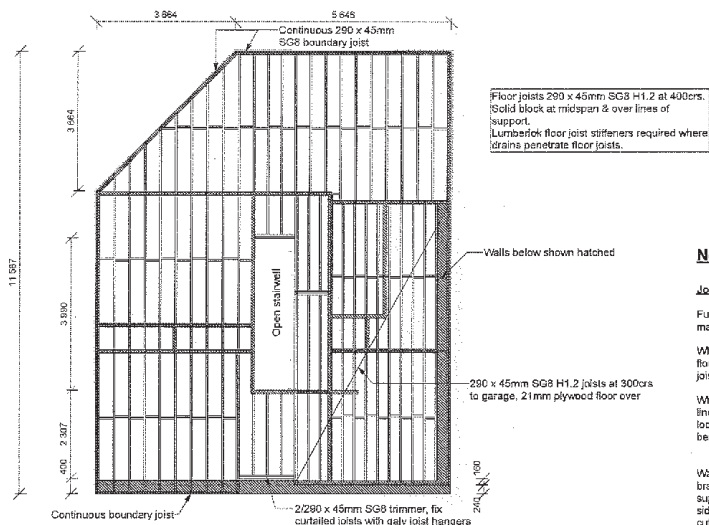
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**Butt Joint in Floor Joist**

Scale: 1:10

**Lapped Joint in Floor Joist**

Scale 1:10

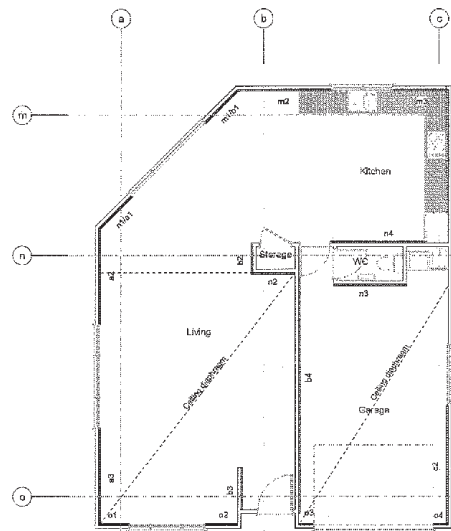
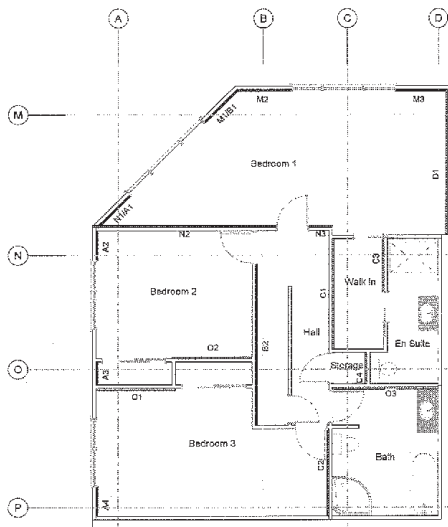
**Notes:****Joist Note:**Full depth solid blocking between joists @ 1.8m crs.
max. over all subfloor lines of supportWhere a loadbearing wall runs parallel to the line of
floor joists beneath, it shall be supported by a pair of
joists.Where a loadbearing wall runs at right angles to the
line of floor joists, such a loadbearing wall shall be
located at not more than 200 centre-to-centre from a
bearer or subfloor loadbearing wall.Wall above that is not loadbearing, but contains a
bracing element must be over a joist or be
supported by solid blocking between joists on either
side of the wall. Solid blocking shall be 140 x 45mm
cut neatly between joists, with its top flush with the
top of the joist, set at each end of the wall above, at
each side of any door openings, and at not more
than 1.2m crs.Wall above that is not loadbearing or does not
contain a bracing element must be within 150mm of
joist centre or be supported by solid blocking
between joists on either side of the wall. Solid
blocking shall be 140 x 45mm cut neatly between
joists, with its top flush with the top of the joist, set at
each end of the wall above, at each side of any door
openings, and at not more than 1.2m crs.

Michael
1-6-17

Client Sign Off:
Date:

Masterton Pft: 05 370 1390

Proposed Dwelling at: 5 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurissa Joyce & Michael Russ Contact: Jason Russ (04) 971 0034 or (021) 432 952	Read with Amendments:			District Plan		Concept Drawn		ZG	5/07/16	Date: 1/05/2017	Sheet #
	Ref. #	Date:	Comments:	Hutt City Council		Pricing Drawn		les	—/—	Job # 112637 - FWD	10 of 22
				General Residential Zone							
				Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E	FWD Drawn		les	—/—	Floor Joist Layout 40
				Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C	LBP M. Buckthout 122067				
											Scale: A3 / 1:100

**Notes:**

No power points or light switches situated within 90mm of edge of bracing element or as specified by manufacturers literature.

Read in conjunction with GIB Ezybrace, calculations attached to Technical Literature in spec.

LABEL	WIDTH	BRACE (HOLD DOWN)	MIN. LENGTH
A2	171	BL1 - H YES	0.4M
A3	2320	BL1 - H YES	0.4M
A4	865	BL1 - H YES	0.4M
B2	4220	BL1 - H YES	0.4M
C1	2283	GS2 - NNO	0.4M
C2	2787	GS1 - NNO	0.4M
C3	1390	GS1 - NNO	0.4M
C4	800	GS2 - NNO	0.4M
C7	3807	GS1 - NNO	0.4M
M1B1	1190	BL1 - H YES	0.4M
M2	1430	BL1 - H YES	0.4M
M3	1336	BL1 - H YES	0.4M
M1A1	1183	BL1 - H YES	0.4M
N2	4732	GS2 - NNO	0.4M
N3	524	GS2 - NNO	0.4M
O1	2050	GS2 - NNO	0.4M
O2	2040	GS2 - NNO	0.4M
O3	2787	GS1 - NNO	0.4M

Label	Width	Brace	Hold Down	Min. Length
a2	2245	GS1 - NNO		0.4M
a3	2837	GS1 - NNO		0.4M
b2	625	GS2 - NNO		0.4M
b3	1105	GS2 - NNO		0.4M
b4	1077	GS2 - NNO		0.4M
c1	8755	GS1 - NNO		0.4M
c2	5232	GS1 - NNO		0.4M
m1b1	1203	GS1 - NNO		0.4M
n2	2500	GS1 - NNO		0.4M
n3	1500	GS1 - NNO		0.4M
n1a1	1203	GS1 - NNO		0.4M
n2	1110	GS2 - NNO		0.4M
n3	1910	GS2 - NNO		0.4M
n4	3042	GS1 - NNO		0.4M
o1	865	BL1 - H YES		0.4M
o2	830	BL1 - H YES		0.4M
o3	496	BL1 - H YES		0.4M
o4	475	BL1 - H YES		0.4M

BUILDING CONSENT

GRANTED
6/06/2017

HUTT CITY COUNCIL



Handwritten signature
1-6-17

Client Sign Off:
Date:

Read with Amendments:			District Plan		Concept Drawn		ZG		5/07/16		Date: 1/06/2017		Sheet #	
Ref. #	Date	Comments	Hutt City Council		Pricing Drawn		les		---		Job # 112637 - FWD		11	
Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt.			General Residential Zone		FWD Drawn		les		---		Bracing Plan		41	
Client: Laurissa Joyce & Michael Russ			Wind Zone: Very High		EQ Zone: 3		Geotech Class: D/E		LBP M. Buckthrought		Scale: A3 / 1:100		Plan Ref.	
Contact: Jason Russ (04) 971 0034 or (021) 432 952			Snow Load: 0kPa		Climate Zone: 2		Exposure Zone: C		122037					

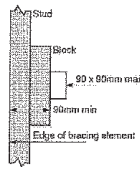
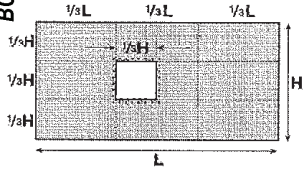


BC170097

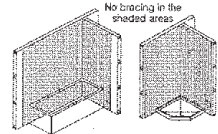
Openings in Bracing Elements:

Openings are allowed within the middle third of a wall bracing element's length and height. Neither opening dimension shall be more than 1/3 of the element height. Wall linings are fixed to opening trimmers at 150 centres. Small openings (e.g., power outlets) of 90 x 90mm or less may be placed no closer than 90mm to the edge of the braced element. A block may need to be provided alongside the perimeter stud as shown below.

Always cross reference with current Manufacturers literature.

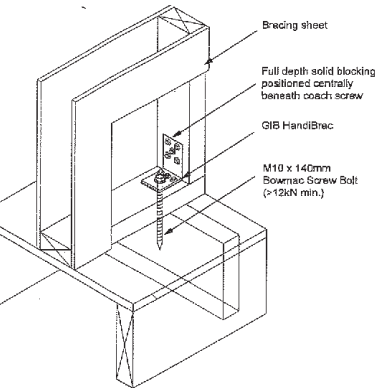
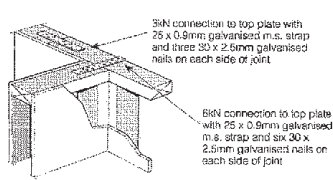


Small opening e.g. switch box

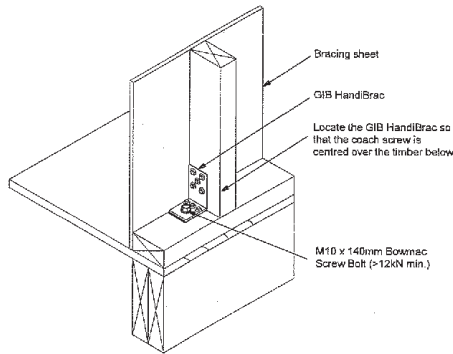


Top plates not to be joined within 1.2m of each other. 2/70 x 3.15 nail lamination at 600 c/s. But joint in plate must be made over a support, i.e. (a) Stud; or (b) Solid blocking fixed between studs and directly under the plate

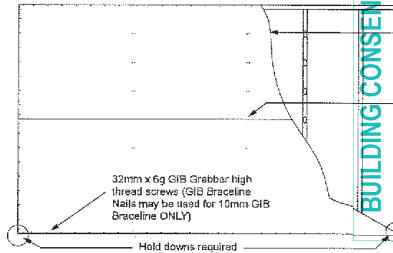
ST10 nail plate connection and min. 2/90 x 3.15 nails either side of joint



HandiBrac® Bracing Element Tie Down Timber Floor - Internal Wall
Scale 1:10 ISO

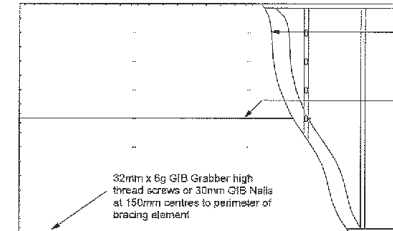
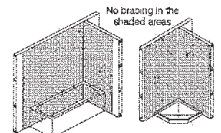
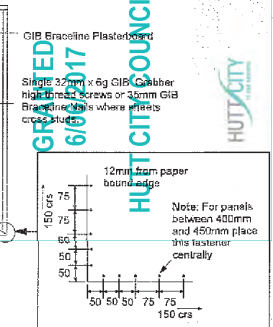


HandiBrac® Bracing Element Tie Down Timber Floor - External Wall
Scale 1:10 ISO



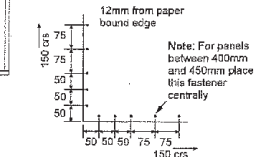
Fastener centres 50, 100, 150, 225, 300mm from each corner and 150mm thereafter around the perimeter of the bracing element. For horizontally fixed sheets place single fasteners to the sheet edge where it crosses the stud. Use dabs of GIBFix® adhesive at 300mm centres to intermediate studs. Place fasteners no closer than 12mm from paper bound sheet edges and 18mm from any steel end or cut edge.

10mm or 13mm GIB Braceline Plasterboard
MINIMUM LENGTH 400mm - One side only - Horizontal Fix - BL1-H



Fastener centres 50, 100, 150, 225, 300mm from each corner and 150mm thereafter around the perimeter of the bracing element. For horizontally fixed sheets place single fasteners to the sheet edge where it crosses the stud. Use dabs of GIBFix® adhesive at 300mm centres to intermediate studs. Place fasteners no closer than 12mm from paper bound sheet edges and 18mm from any steel end or cut edge.

10mm or 13mm GIB Standard Plasterboard
MINIMUM LENGTH 400mm - One side only - Horizontal Fix - GS1-N (Both sides - GS2-N)



1-6-17

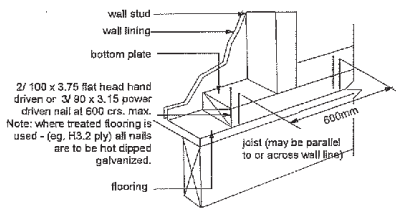
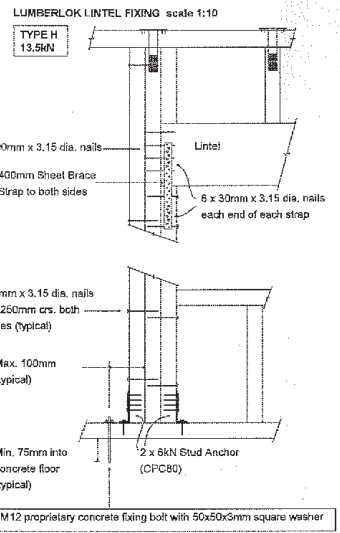
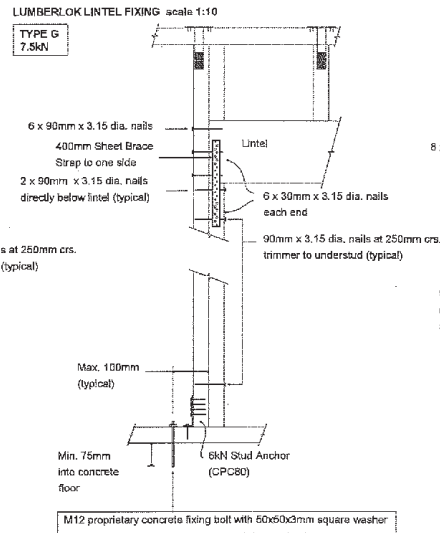
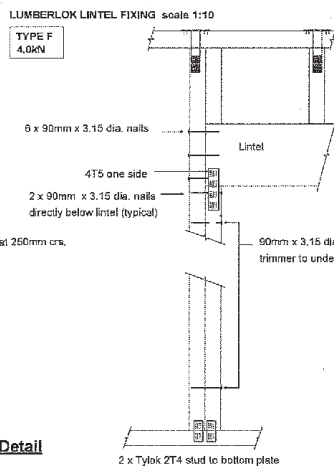
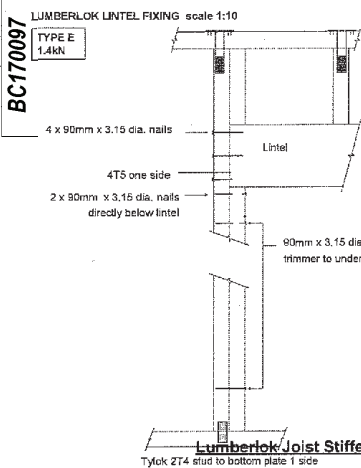
Client Sign Off:
Date:

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurensa Joyce & Michael Russ Contact: Jason Russ (04) 971 0934 or (021) 432 952	Read with Amendments:		District Plan	Hutt City Council General Residential Zone	Concept Drawn	ZG	5/07/16	Date: 1/06/2017	Sheet # 12 of 22
	Ref. #	Date							
			Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E	Pricing Drawn	les	Job # 112637 - FWD	Bracing Details 42
			Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C	FWD Drawn	les	Scale: A3 / NTS	
						LBP M. Buckthought	122007	Plan Ref.:	



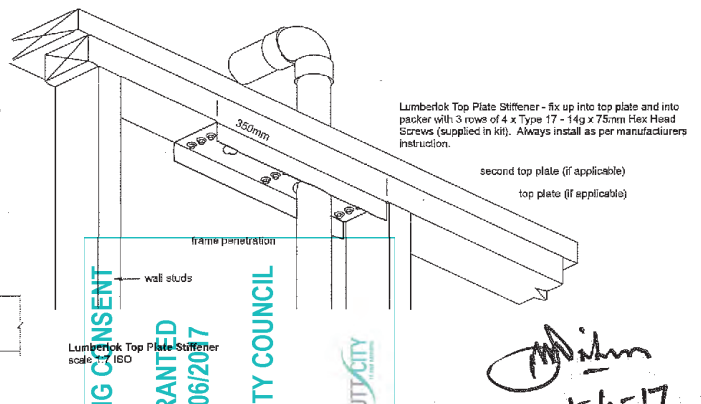
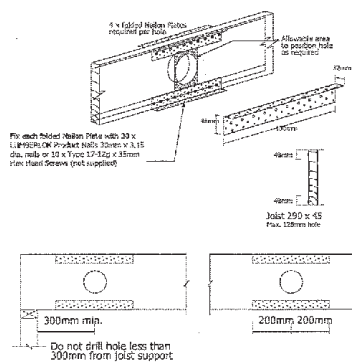
Masterlon PH: 06 370 1300

BC170097



Note, where bottom plate does not land on joist, fit solid blocking between joists under wall within 150mm from each end of bracing element and at 600 c/s. along the length of bracing element. (Exterior walls will land on joist).

Typical Wall and Wall Bracing Element Bottom Plate Fixing.
(Where wall bracing elements require no additional hold down requirements).
Scale 1:10 ISO

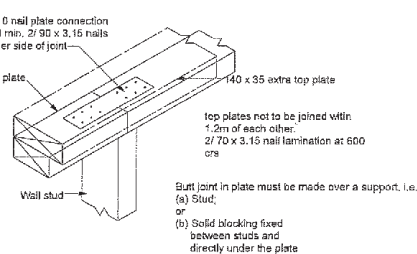


Client Sign Off:
Date:

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurissa Joyce & Michael Russ Contact: Jason Russ (04) 971 0034 or (021) 432 952	Read with Amendments:			District Plan Hutt City Council General Residential Zone	Concept Drawn	ZG	5/07/15	Date: 1/06/2017	Sheet #		
	Ref. #	Date	Comments					Pricing Drawn	Is	Job # 112637 - FWD	13
											of 22
											43
											Bracing Details
				Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E	FWD Drawn	Is			
				Snow Load 0kPa	Climate Zone: 2	Exposure Zone: C	Lsp M. Buckthought 122007			Scale: A3 / NTS	Plan Ref.:

Masterton PH: 06 370 1390

BC-170097



Joint (3kN min.) in Top Plate Bracing Walls
Scale 1:10 ISO

TYPE A
0.7kN
Interior and Gable End Wall



2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.

TYPE B
4.7kN
Exterior Wall



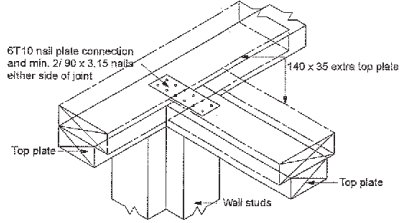
1/ Lumberlok Stud Strap and
2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.

TYPE B
4.7kN
Internal Load Bearing Wall

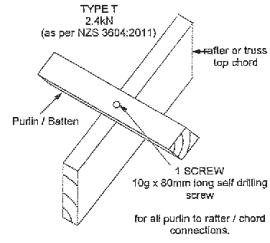


1/ Lumberlok CPC80 and
2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.

Stud to Top Plate Fixing Detail
Scale 1:10



Butt Joint (6kN min.) in Top Plate Bracing Walls
Scale 1:10 ISO



Purlin Fixing Type T Detail
Scale 1:10

Foundation
200 SED H5 poles with 2290 x 45mm bearers, fix with 20412 bolts & 50g x 3mm washers. Seal bearers on 50mm check to poles. Fixings in exposed areas must be stainless steel, fixings in sheltered areas may be either stainless steel or galvanised.

Timber Floor
Lower level
Maglok 20mm sheets over 290 x 45 SG8 H3.1 treated floor joists at 400c/s insulated with R1.8 Expol underfloor insulation.
Midfloor level
Maglok 20mm sheets (2mm ply to garage) over 290 x 45 SG8 H1.2 treated floor joists at 400c/s (300c/s to garage).
Solid block between all floor joists over lines of support & at midspans.

External Walls
90 x 45mm SG8 H1.2 timber frame with 140 x 35mm H1.2 packer plate, 2.420m studs at 400c/s max, nogs at 850c/s nom., unless noted otherwise. Vastergaard building wrap taken up to top plate. Fix bottom plate to floor with 2/100 x 3.75 flat head hand driven or 3/90 x 3.15 power driven nails at 600c/s max.

Wall Cladding
Pallate Traditional profile Weatherboards with 2 piece soakers & boxed corners. In accordance with manufacturers specifications & NZBC: E2/A51 External Moisture, over Thermakraft Watergate building wrap with Aluband proprietary flashing tape. Bottom of cladding to extend 50mm min. below floor joist.

Internal Walls
90 x 45 SG8 H1.2 timber frame. 140 x 35 H1.2 top plate packer, studs at 600c/s max, nogs at 850c/s nom. 10mm Gib linings throughout. Aqualine to wet areas. Broomline as required by Bracing Plan, fixed to comply with the latest Winstones Gib Manual. Fix bottom plate to floor with 2/100 x 3.75 flat head hand driven or 3/90 x 3.15 power driven nails at 600c/s max.

Wall Linings
10mm Gib linings - level 4 paint finish

Ceilings
Timber 70 x 35mm H1.2 ceiling battens fixed to trusses at 600c/s. (13mm Gib linings) Fix Gib to battens with 20mm x 8g Gib Grabber Screws. Gable daubs - minimum of 200mm from centre screw. Do not screw where you glue. Gib stopping to level 4 paint finish. 1800g ceiling access to roof space.

Roofs
7.5mm Tropicool high pressure laminated board fixed to 90 x 45 soffit liggers & 90 x 45 soffit at wall. 600 wires. Metal Colorsteel 180mm fascia. Metal Colorsteel external spouting with metal Colorsteel downpipe system.

Wall Insulation
R2.6 Earthwool insulation to all exterior wall cavities excluding Garage. Insulate internal wall between Garage and inhabitable areas. Friction fitted.

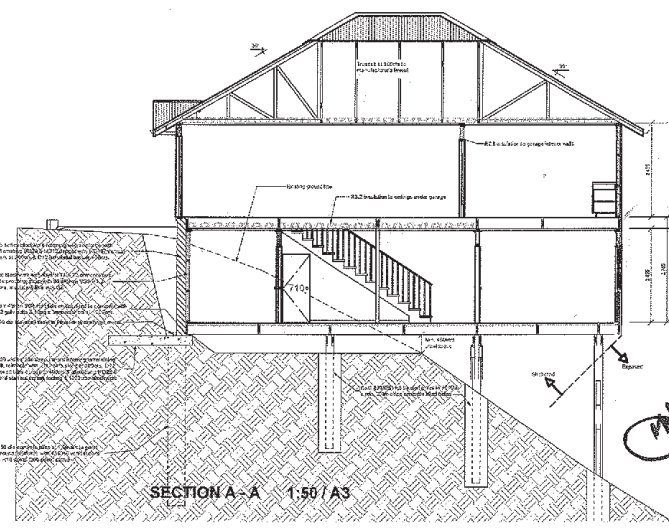
Ceiling Insulation
R3.2 Earthwool insulation to all ceiling cavities. Friction fitted.

Roof Trusses
Pre-fabricated QANGALAN 30° pitch H1.2 trusses at 800c/s - Bitumac 750 with galvanized netting. 75x45 SG8 H1.2 purlins, at 600mm max. c/s. Top purlin 600 from ridge and bottom purlin 500 from fascia. Fixing for Mid to V High - Type T - 10G self-drilling screw, 80mm long purlin / truss connection (2.4kN fixing).

Roof Cladding
Corrugated Metal Coloursteel, 0.40bmt, Endura, fixed with competitive roofing nails. All flashings 0.55bmt. Installation by LBP.

Joinery
Powder coated aluminium double glazed joinery (excluding garage).

Separation
Separate all timber from contact with concrete with full width dpc.



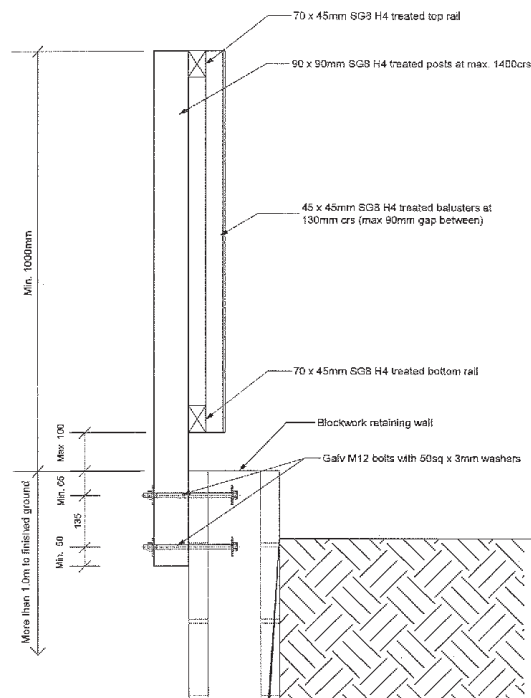
SECTION A-A 1:50 / A3

Stairs
Rise: 164mm (275/15)
Going: 280mm
Tread Depth: 300mm
Balusters: 45 x 45mm at 140mm centres (85mm clearance between)
Handrail: 900mm above stair nosing profile to comply with NZBC D1

CPS
Masterplan PH: 06 370 1390

Client Sign Off:
Date:

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurissa Joyce & Michael Russ Contact: Jason Russ (04) 971 0034 or (021) 432 952	Read with Amendments:			District Plan Hutt City Council General Residential Zone			Concept Drawn ZG 5/07/16		Date: 1/06/2017		Sheet # 14 of 22
	Ref. #	Date	Comments	Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E	Pricing Drawn	Iss	Job #	112637 - FWD	
				Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C	FWD Drawn	Iss	Cross Section A-A		
							Lbp M. Buckthought		Scale: A3 / 1:50		Plan Ref. :
							122007				



Barrier Detail
scale 1:10

BUILDING CONSENT

GRANTED
6/06/2017

HUTT CITY COUNCIL

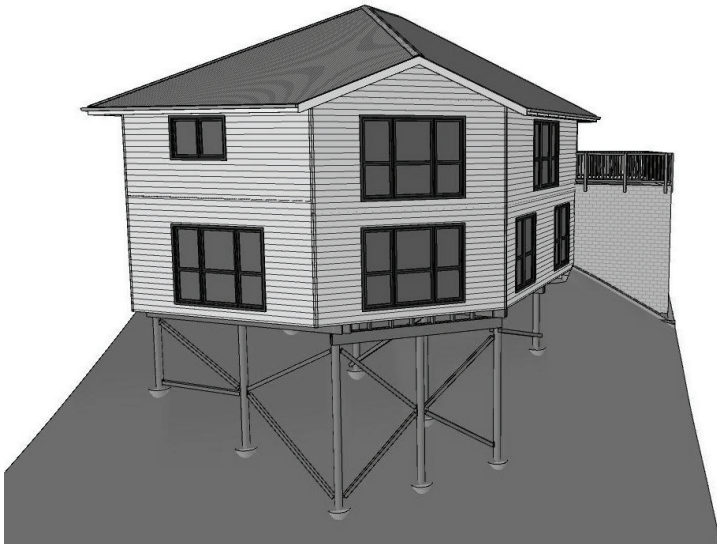


Client Sign Off:
Date:

Masterton PH: 06 370 1390

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurissa Joyce & Michael Russ Contact: Jason Russ (04) 971 0034 or (021) 432 952	Read with Amendments:			District Plan			Concept Drawn	ZG	5/07/16	Date: 1/06/2017	Sheet #
	Ref. #	Date	Comments	Hutt City Council			Pricing Drawn	Ias	---	Job # 112637 - FWD	22
				General Residential Zone			FWD Drawn	Ias	---		of 22
				Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E					
				Snow Load: 6kPa	Climate Zone: 2	Exposure Zone: C	LBP M. Buckthorpe 122007			Barrier Detail	45
										Scale:	Plan Ref.:

Michael
1-6-17



BUILDING CONSENT

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6/06/2017

HUTT CITY COUNCIL



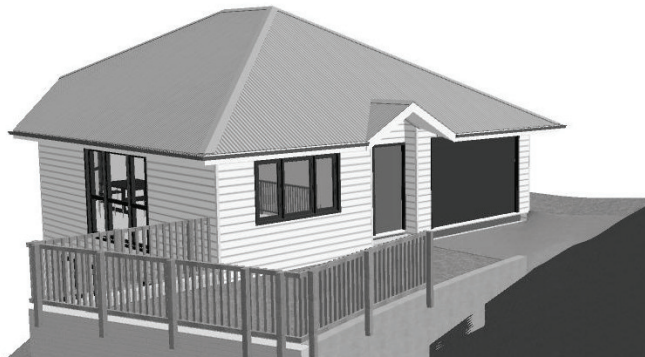
PROPOSED DWELLING

FOR

Jason Russ
AT6 Castle Crescent,
Stokes Valley,
Lower Hutt

Sheet Index

- 1 Cover Sheet
- 2 Site Plan
- 3 Excavation Plan
- 4 Floor Plan
- 5 Dimension Plans
- 6 Elevations
- 7 Elevations
- 8 Drainage Plan
- 9 Foundation Plan
- 10 Floor Joist Layout
- 11 Bracing Plan
- 12 Bracing Details
- 13 Bracing Details
- 14 Cross Section A-A
- 15 Cladding Details
- 16 Cladding Details
- 17 Cladding Details
- 18 Cladding Details
- 19 Roof Cladding Details
- 20 Wet Area Details
- 21 Additional Details
- 22 Barrier Detail

Client Sign Off:
Date:

Date: 1/06/2017	Sheet #
Job # 112637 - FWD	1 of 22
Cover Sheet	
Scale:	as Plan Ref. .

BC170097

Notes:

Site Barriers and Hoardings as Per F5/AS.1 if specific hazards exist

Adequate slip resistance for walking surfaces as per D1/AS1 Table 2

BUILDING CONTRACTOR TO ASSESS SITE TO ENSURE DAYLIGHTING & BUILDING RESTRICTIONS ARE COMPLIED WITH. NO LIABILITY FOR ENCROACHMENT SHALL BEHELD BY DESIGNER IF SITE IS NOT SURVEYED BY A REGISTERED SURVEYOR PRIOR TO COMMENCEMENT OF FOUNDATIONS.

Contractor Note:

Contractor to ensure final building platform & finished ground have an even fall away from building to ensure water not be allowed to accumulate in buildings subfloor. Any fill to be dry & approved by engineer & compacted down in accordance with NZS 3604:2011.

Confirm ground has adequate bearing to comply with NZS 3604: 2011.

Locate and confirm Datum and FFL.

Locate all service connections points on site prior to commencement of works. Check invert levels or pipes and manholes.

Confirm all frame and foundation dimensions, plus plumbing route and fixture positions on site are correct prior to commencement of works.

Confirm site boundary bearings, lengths & peg locations on site prior to commencement of work, to ensure building position is correct.

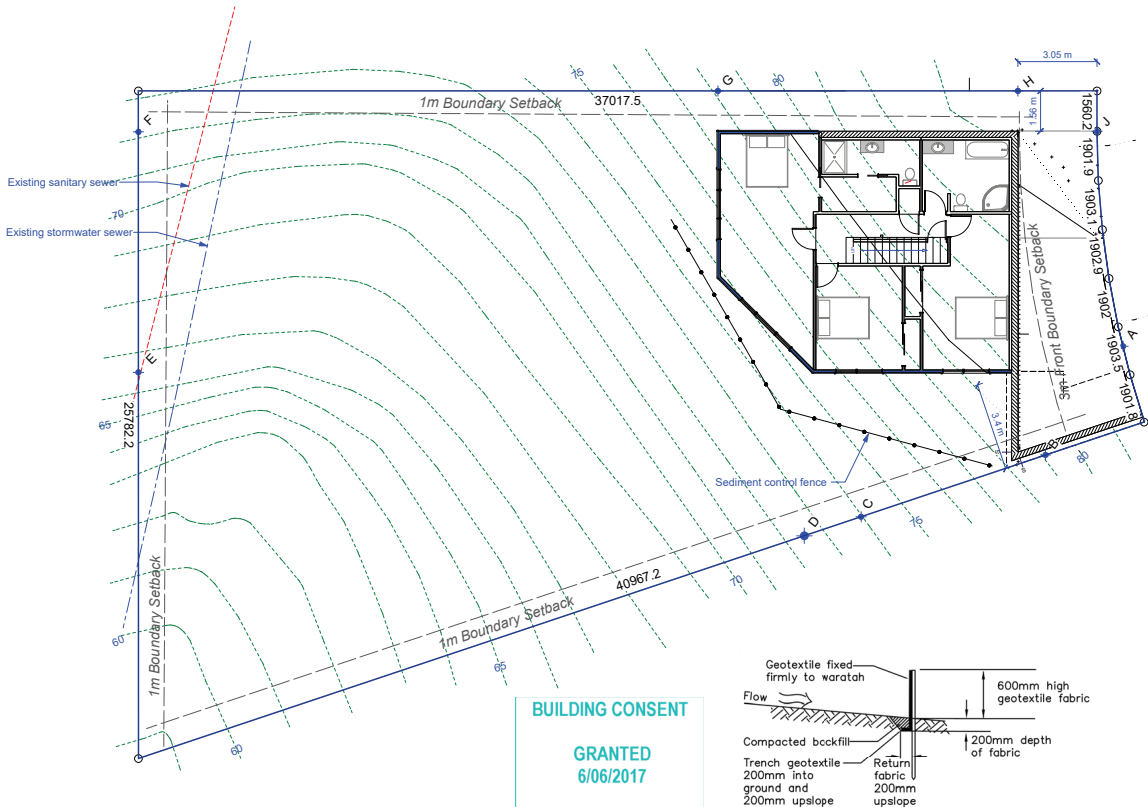
Sediment and runoff control shall be installed by the licensed building practitioner prior to or during the earthworks for the project. The sediment controls shall be installed in accordance with the requirements of the District Council in accordance with the Resource Management Act (1991).

**LOT: 10****DP: 25914****TOTAL SITE AREA: 732m²****SITE COVERAGE: 101.2m² / 13.83%**

Plan View

Sediment Control Legend: (as per TY90)

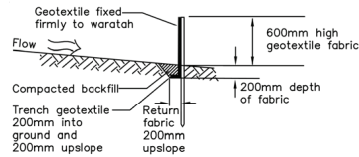
- → → Drainage Control
- ● ● Sediment Fence
- woven geotextile fabric
- 600mm high min.
posts crs. 2m max.

**BUILDING CONSENT**

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6/06/2017

HUTT CITY COUNCIL

HUTT CITY

**Sediment Fence Detail**

Not to scale

Client Sign Off:

Date:

Read with Amendments:			District Plan		Concept Drawn	ZG	5/07/16	Date: 1/06/2017	Sheet #
Ref. #	Date:	Comments:	Hutt City Council		Pricing Drawn	les	--/--	Job # 112637 - FWD	2 of 22
			General Residential Zone		FWD Drawn	les	--/--	Site Plan	
			Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E				
			Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C	LBP M. Buckthought 122007		Scale: A3 / 1:150	57 Plan Ref. .

Proposed Dwelling
at: 6 Castle Crescent,
Stokes Valley,
Lower Hutt
Client: Laurissa Joyce & Michael Russ
Contact: Jason Russ (04) 971 0034 or (021) 432 952

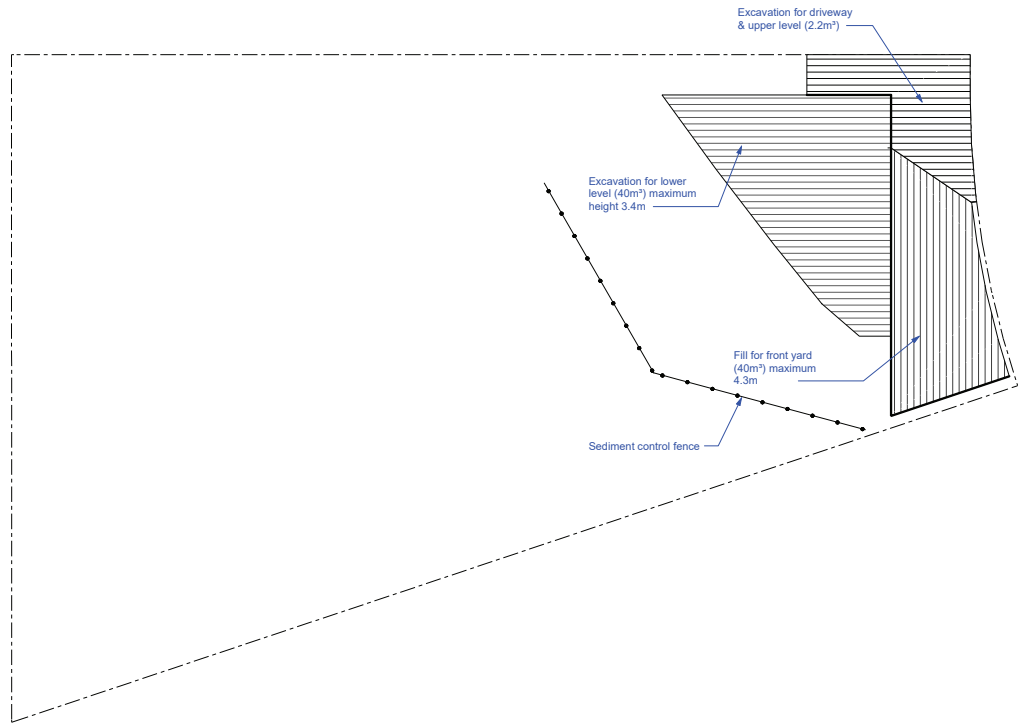


Masterston PH: 06 370 1390

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6/06/2017

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	Ref. #	Date:	Comments:	Hutt City Council General Residential Zone			Pricing Drawn	les	--/--	Job # 112637 - FWD	3
				Wind Zone: Very High	EQ Zone: 3	Geotech. Class: D/E	FWD Drawn	les	--/--	Excavation Plan	
				Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C	LBP M. Buckthought 122007	Scale: A3 / 1:150		Plan Ref. .	



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Notes:

Always cross reference the foundation plan with the floor plan prior to setting out. Window and door openings sizes shown are box sizes & are preliminary only. Site measure and confirm all joinery sizes. Inform designer any changes PRIOR to ordering joinery. No liability shall be held by designer for incorrect supply of joinery. Refer to attached pre-cut design & documents for all lintel sizes, truss & top plate fixings. Contractor to refer to truss manufacturers producer statements for any further load bearing footing /slab thickenings that may be required to support roof loads. This layout is preliminary. Read in conjunction with final PS1 & pre-cut design & documents. If a discrepancy occurs contact pre-cut manufacturer or, contact designer immediately.

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Safety from Falling

Adequate slip resistance for walking surfaces as per D1/AS1 Table 2

Insulation

All external walls R2.6 insulation (excluding garage)
All ceilings insulated R3.2 insulation (excluding garage)
Internal walls R2.6 insulation between garage & inhabitable house.
R3.2 insulation under garage floor to habitable rooms below.

Artificial Light

Minimum illuminance 20 lux in each habitable room to meet compliance with G8

Warning Systems

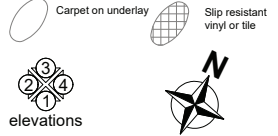
Smoke Alarm with hush button to comply with F7

Legend:

- Exterior wall
- Interior wall
- Loadbearing wall

Floor Coverings Key

Refer to specs for locations



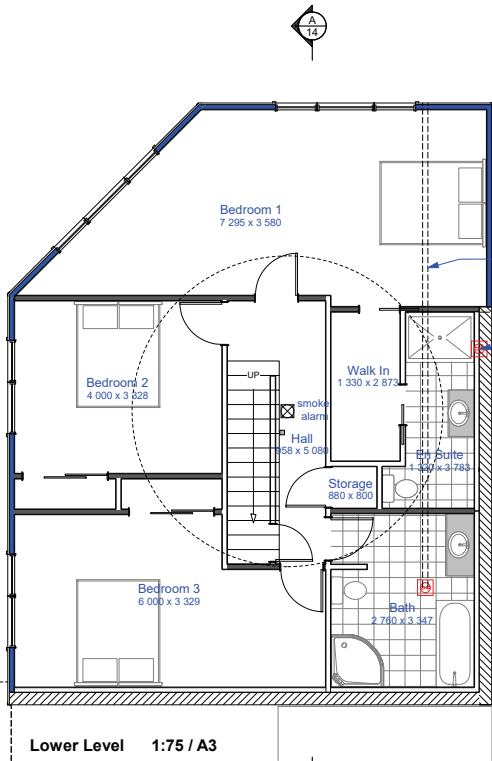
Lower Footprint : 101.2m²

Lower Perimeter: 39.65m
(OVER FRAME)

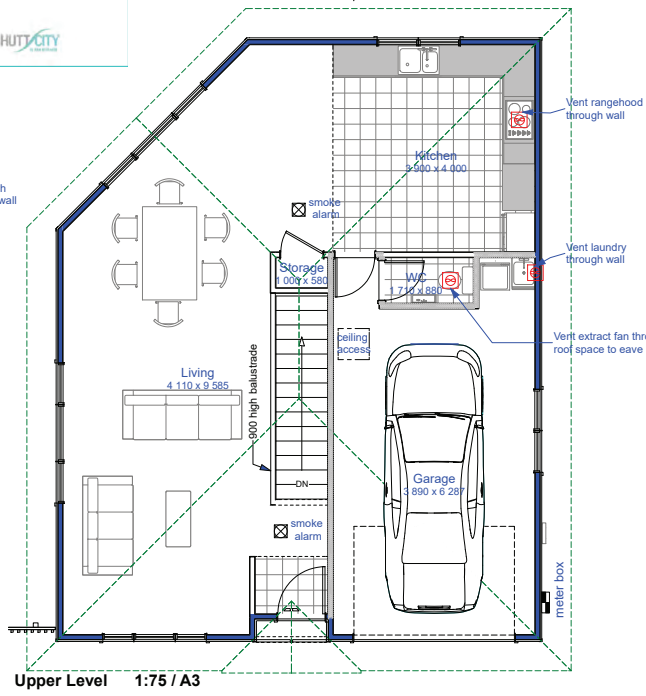
Upper Footprint : 100.6m²

Upper Perimeter: 40.65m
(OVER FRAME)

Total Footprint : 201.8m²
(OVER FRAME)



Lower Level 1:75 / A3



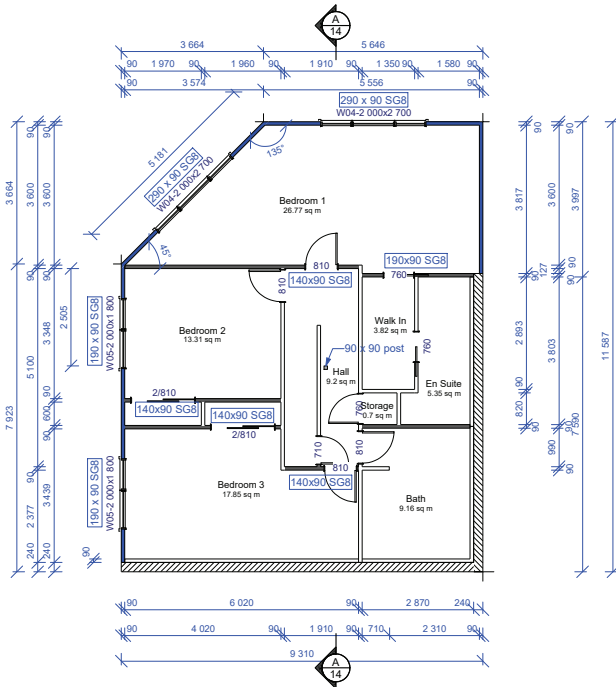
Upper Level 1:75 / A3

Client Sign Off:
Date:

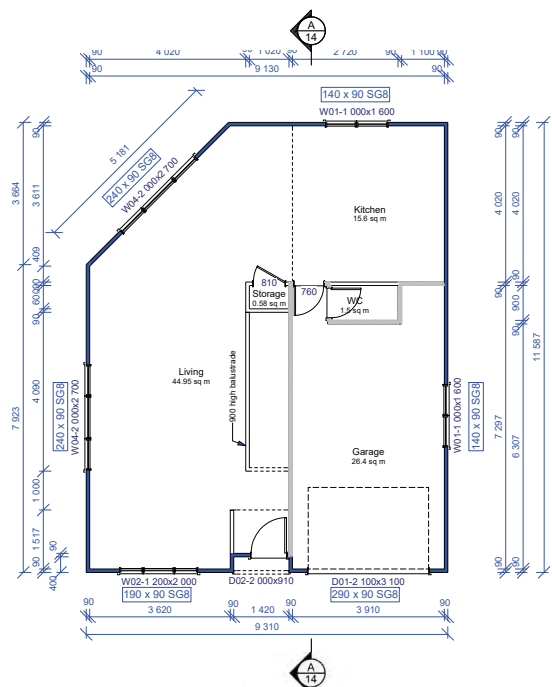
Read with Amendments:			District Plan		Concept Drawn	ZG	5/07/16	Date: 1/06/2017	Sheet #
Ref. #	Date:	Comments:	Hutt City Council		Pricing Drawn	les	--/--	Job # 112637 - FWD	4 of 22
Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt			General Residential Zone		FWD Drawn	les	--/--	Floor Plan	
Client: Laurissa Joyce & Michael Russ			Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E	LBP M. Buckthought		Scale: A3 / 1:75	Plan Ref. .
Contact: Jason Russ (04) 971 0034 or (021) 432 952			Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C	122007			



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Lower Level 1:100 / A3



Upper Level 1:100 / A3

Notes:

All sashes on LHS unless noted otherwise - 600mm - Awning.
All vision rails shall be a height of 800mm.

Glazing

Grade A safety glass to be fitted to all doors and windows within 500mm of FFL
Grade A safety glass to be fitted to Laundry window.
Obscure Grade A safety glass to be fitted to Bathroom. To comply with F2/AS1
Site measure and confirm sizes and details prior to fabricating any joinery.

Window and door manufacturer to show compliance with all relevant standards and provide warranty.

Natural Light & Ventilation

All glazing in habitable rooms have greater than 10% natural light for area of floor, to comply with NZBC clause G7 Natural Light.
All habitable and amenity rooms have greater than 5% natural ventilation / area of floor, to comply with NZBC clause G4 Ventilation.
All habitable rooms have a visual awareness of outside activity.

Dimensioning

All openings at exterior walls to be centred in room or located as dimensioned. Dimensioning as shown to wall frame.

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G4 & G7 Compliance								
Room (m2)	Ventilation				Natural Light			
	Opening	width	height	area	width	height	area	
Living 44.95	W02	1.2	1.1	1.44	2	1.2	2.4	
	W04	1.20	1.20	1.44	2.70	2.00	5.40	
	W04	1.20	1.28	1.44	2.70	2.00	5.40	
	Pass				Pass			
Kitchen 15.6	W06	0.80	1.08	0.80	1.60	1.00	1.60	
	Pass				Pass			
	Pass				Pass			
Bedroom 3 17.85	W05	0.90	1.28	1.08	1.80	2.00	3.60	
	Pass				Pass			
	Pass				Pass			
Bedroom 2 13.31	W05	0.90	1.28	1.08	1.80	2.00	3.60	
	Pass				Pass			
	Pass				Pass			
Master Bedroom 26.77	W04	1.2	1.1	1.44	2.70	2.00	5.40	
	W04	1.2	1.1	1.44	2.70	2.00	5.40	
	Pass				Pass			
	Pass				Pass			

EXTERIOR WINDOW SCHEDULE			
NUMBER	QTY	WIDTH	HEIGHT
W01	2	1800	1100
W02	1	2000	1200
W04	4	2700	2000
W05	2	1800	2000

EXTERIOR DOOR SCHEDULE			
NUMBER	QTY	WIDTH	HEIGHT
D01	1	3100	2100
D02	1	910	2000

Client Sign Off:

Date:

Proposed Dwelling
at: **6 Castle Crescent,
Stokes Valley,
Lower Hutt**
Client: **Laurissa Joyce & Michael Russ**
Contact: **Jason Russ (04) 971 0034 or (021) 432 952**

Read with Amendments:

Ref. #

Date:

Comments:

District Plan

Hutt City Council

General Residential Zone

Wind Zone: **Very High**EQ Zone: **3**Geotech Class: **D/E**Snow Load: **0kPa**Climate Zone: **2**Exposure Zone: **C**

Concept Drawn

ZG

5/07/16

Date: **1/06/2017**Job # **112637 - FWD**Sheet # **5** of 22

Pricing Drawn

FWD Drawn

M. Buckthought

122007

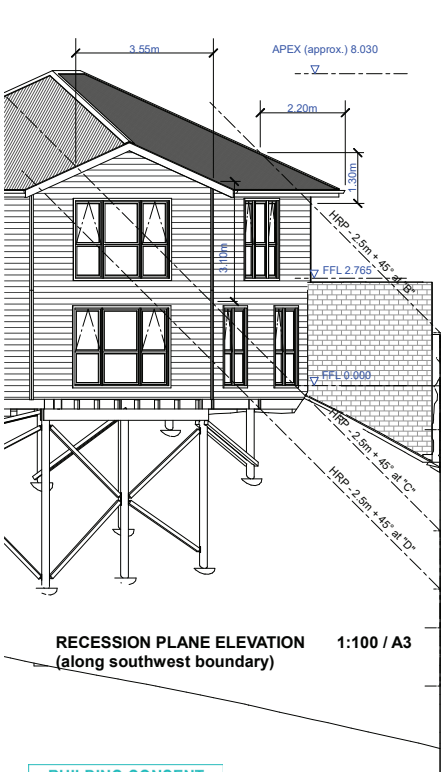
Date: **1/06/2017**Job # **112637 - FWD**Sheet # **5** of 22

Dimension Plans

Scale: **A3 / 1:100**

Plan Ref. .





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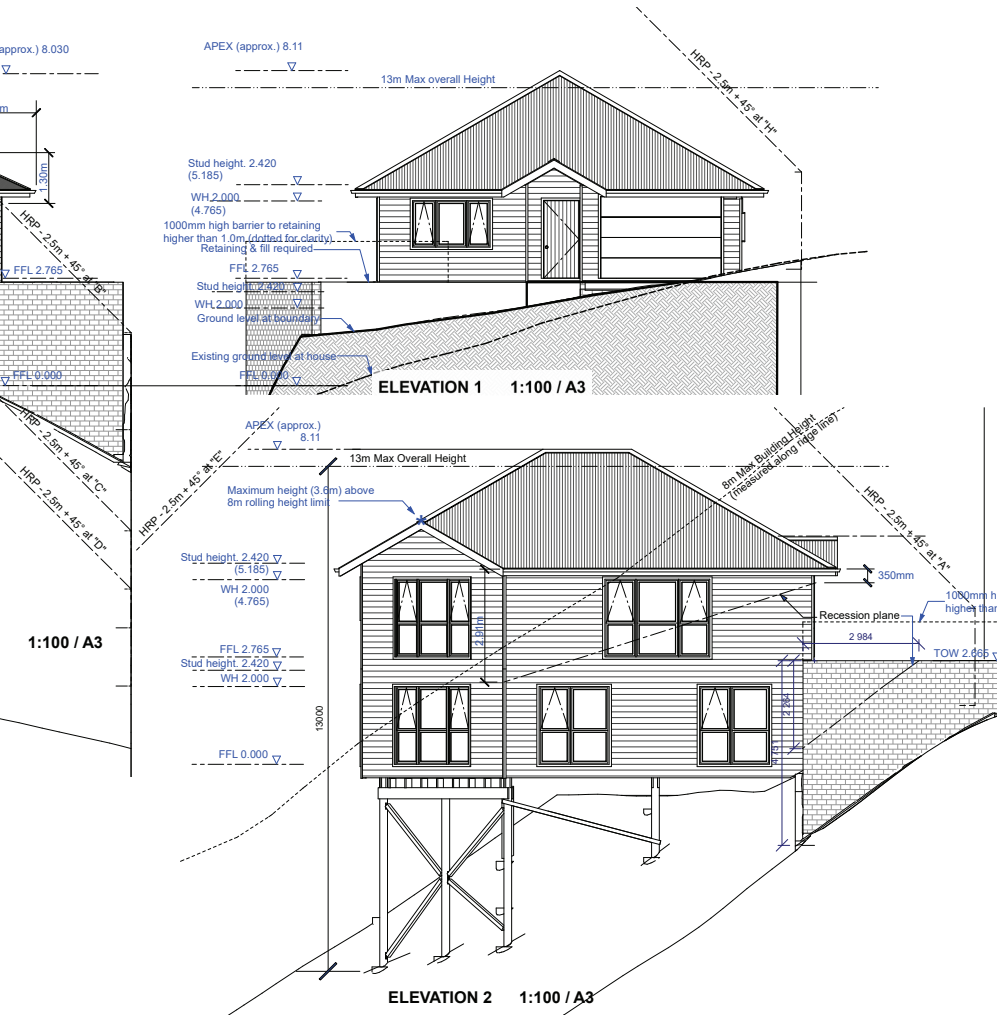
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Client Sign Off:
Date:



Notes:
BUILDING CONTRACTOR TO ASSESS SITE TO ENSURE DAYLIGHTING & BUILDING RESTRICTIONS ARE COMPLIED WITH. NO LIABILITY FOR ENCROACHMENT SHALL BE HELD BY DESIGNER IF SITE IS NOT SURVEYED BY A REGISTERED SURVEYOR PRIOR TO COMMENCEMENT OF FOUNDATIONS.

CROSS REFERENCE NOTES BETWEEN ELEVATIONS AS TYPICAL

Glazing
Grade A safety glass to be fitted to doors and windows within 500mm of FFL and Laundry window. Vision rails must be minimum 760mm from FFL. Obscure Grade A safety glass to be fitted to Bathroom. To comply with F2/AS1. Site measure and confirm sizes and details prior to fabricating any joinery. Window and door manufacturer to show compliance with all relevant standards and provide warranty.

Floor
Engineered Foundation (see engineer's notes & details)

Cladding
Direct fixed Pallside with 2-piece soakers & corners

Roof
Corrugated Colorsteel Endura
30° pitch
600mm overhang 450 to gable ends

Fascia & Spouting
Klass Coloursteel Fascia & spouting with Marley uPVC downpipe system

Joinery
Aluminium with double glazing (Excluding Garage)

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurissa Joyce & Michael Russ Contact: Jason Russ (04) 971 0034 or (021) 432 952			Read with Amendments: Ref. # Date: Comments:			District Plan Hutt City Council General Residential Zone			Concept Drawn	ZG	5/07/16	Date: 1/06/2017	Sheet #
						Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E	Pricing Drawn	les	---	Job # 112637 - FWD	6 of 22
						Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C	FWD Drawn	les	---	Elevations	
						LBP M. Buckthought 122007						Scale: A3 / 1:100	51 Plan Ref. .

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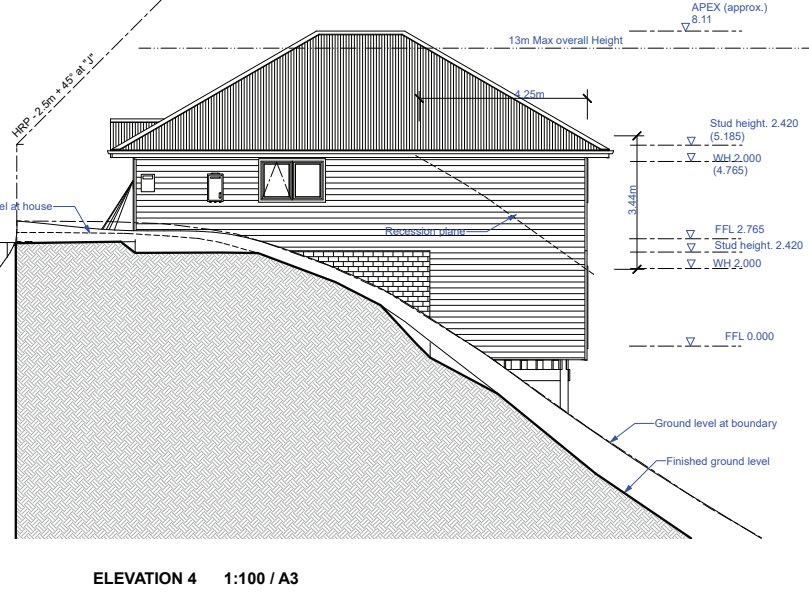
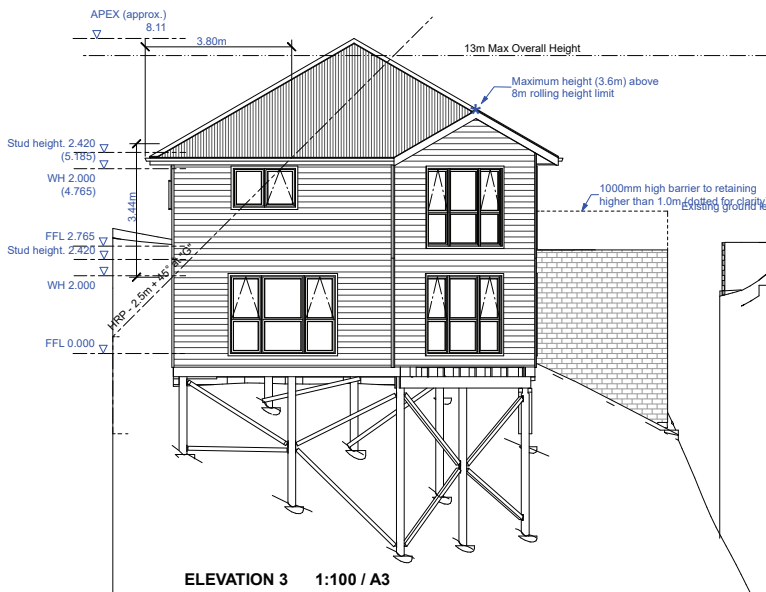


Notes

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CROSS REFERENCE NOTES BETWEEN ELEVATIONS
AS TYPICAL

HRP - 2.5m + 45° at 1°

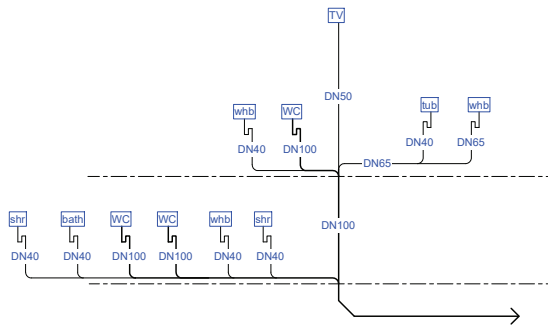


Client Sign Off:
Date:

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurissa Joyce & Michael Russ Contact: Jason Russ (04) 971 0034 or (021) 432 952	Read with Amendments:		District Plan		Concept Drawn		ZG	5/07/16	Date: 1/06/2017	Sheet #		
	Ref. #	Date:	Comments:	Hutt City Council General Residential Zone		Pricing Drawn		les	--/-	Job # 112637 - FWD	7 of 22	
				Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E	FWD Drawn		les	--/-	Elevations	
				Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C	LBP M. Buckthought 122007				Scale: A3 / 1:100	52 Plan Ref. .



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Drainage Schematic (not to scale)

Key

- _{org} shows location of overflow relief gully
- _{gt} shows location of gully trap
- _{ip} shows location of pipe inspection point
- _{tv} shows location of 50mm terminal vent to DN100 stack (for maximum 30 fixture drainage units) - terminate 150mm above roof with vermin proofing cowl and flash penetration with Dekkitt boot flashing.
- _{dp} shows location of Ø80mm downpipe.

Downpipe Calcs

E1/AS1 Table 5
74mm diameter (min. internal sizes) @ 25-35° services 70m² of roof.

Total Roof Area = 129m²
Therefore 129m² / 70m² = minimum 2 downpipes required.

4 of 80mm coloursteel downpipes supplied

External Gutter Calcs

E1/AS1 Figure 15
Quadrant gutter: 5550mm² cross section
5500mm² Cross Sectional Area per 40m² of roof with 25-35° pitch @ 100mm/hr rainfall intensity

NOTES

All Plumbing & Drainage Design to AS/NZS 3500.2
Registered Plumber/Drainlayer to carry out all drainage work and provide as built drawings prior to backfilling any trench or covering any work.
Main Contractor to confirm location of any existing drains, all services, connections, invert levels, boundary setbacks, and restrictions on site prior to earthwork excavation or any other work.

Relationship of Pipe Trench to Building Foundation
Refer to E1/AS1 section 3.9.7 Figure 14

Drain Bedding/Backfilling
Refer to E1/AS1 Figure 13

Pipe Size and Gradient:

Main Drain: DN 100 at 1:60
Ensuite:
WC: DN100 fixture pipe to DN 100 stack at 1:60
Basin: DN 40 fixture pipe to DN 100 branch drain at 1:40 to DN 100 stack at 1:60
Shower: DN 40 fixture pipe to DN 100 branch drain at 1:40 to DN 100 stack at 1:60
Bathroom:
WC: DN100 fixture pipe to DN 100 stack at 1:60
Basin: DN 40 fixture pipe to DN 100mm branch drain at 1:60 to DN 100 stack at 1:60
Bath: DN 40 fixture pipe to DN 100mm branch drain at 1:60 to DN 100 stack at 1:60
Shower: DN 40 fixture pipe to DN 100mm branch drain at 1:60 to DN 100 stack at 1:60
Kitchen:
Sink: DN 65 fixture pipe to DN 100 stack at 1:60
Laundry:
Tub: DN 50mm to DN 65mm branch drain at 1:40 to DN 100 stack at 1:60
WC:
DN100 fixture pipe to DN 100 stack at 1:60
Basin: DN 40 fixture pipe to DN 100mm branch drain at 1:60 to DN 100 stack at 1:60

All Stormwater Drainage to E1/AS1

All stormwater drains shall be 100mm min. diameter uPVC @ 1:120 gradient

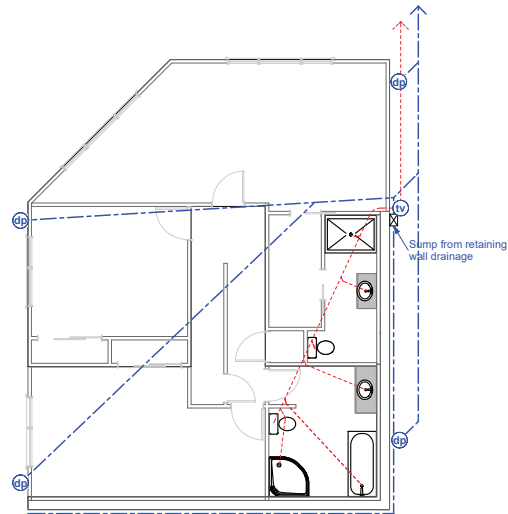
Water Pipe G12/AS1 (AS/NZS 2842: Pt 1, 2 & 3):

All water pipe Polybutylene.
Pipe to shower - Ø20mm
Pipe to basin and WC - Ø15mm
Pipe supports located at 1.5m max. at vertical pipe run, and 0.75m max. at horizontal pipe run.
Pipe design for runs no greater than 20m.

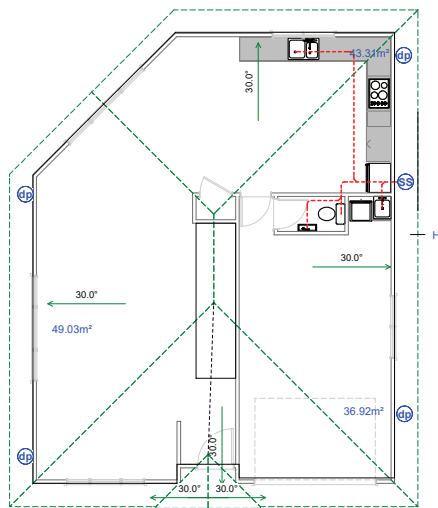
Gas
Rheem 27 Natural

Insulation

Thermal insulate pipe work as required to Section 8 NZS:3500



Lower Level Drainage Plan



Upper Level Drainage Plan

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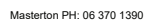
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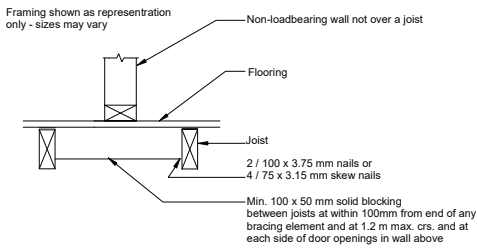
Client Sign Off:
Date:

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurissa Joyce & Michael Russ Contact: Jason Russ (04) 971 0034 or (021) 432 952	Read with Amendments:		District Plan		Concept Drawn		ZG	5/07/16	Date: 1/06/2017	Sheet #	
	Ref. #	Date:	Comments:		Hutt City Council					8 of 22	
					General Residential Zone		Pricing Drawn		les		Job # 112637 - FWD
	Wind Zone:		EQ Zone:		Geotech Class:		FWD Drawn		les		Drainage Plan
	Very High		3		D/E						
Snow Load:		Climate Zone:		Exposure Zone:		LBP		M. Buckthought		Scale: A3 / 1:100	SS Plan Ref. .
0kPa		2		C		122007					



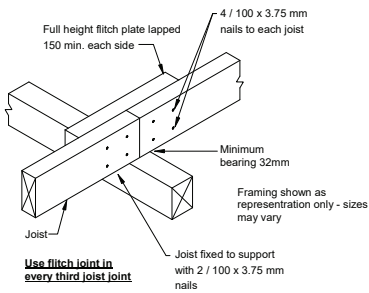
Masterton PH: 06 370 1390





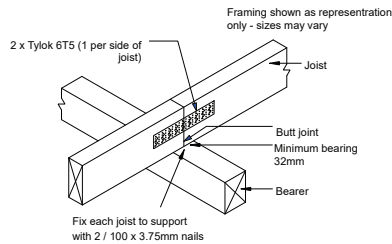
Support to Non Load-Bearing Walls Between Floor Joists (parallel)

Scale 1:10



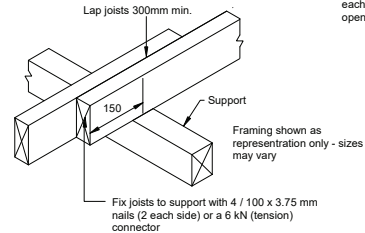
Flitched Joint in Floor Joist

Scale 1:10



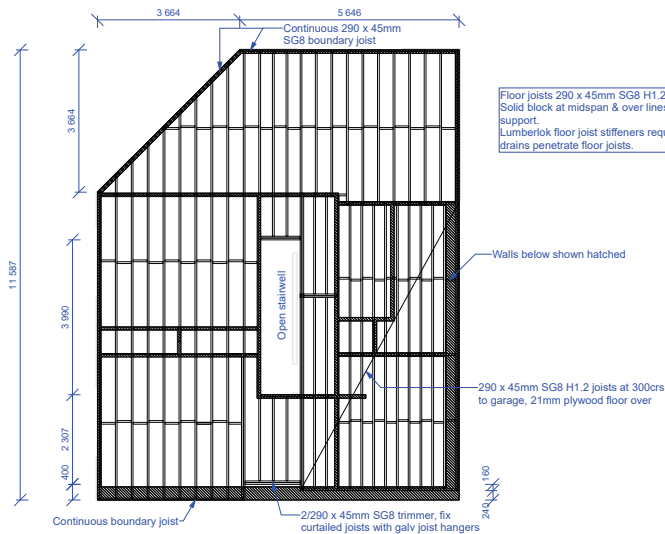
Butt Joint in Floor Joist

Scale: 1:10



Lapped Joint in Floor Joist

Scale 1:10



Notes:

Joist Note:

Full depth solid blocking between joists @ 1.8m crs. max. over all subfloor lines of support

Where a loadbearing wall runs parallel to the line of floor joists beneath, it shall be supported by a pair of joists.

Where a loadbearing wall runs at right angles to the line of floor joists, such a loadbearing wall shall be located at not more than 200 centre-to-centre from a bearer or subfloor loadbearing wall.

Wall above that is not loadbearing, but contains a bracing element must be over a joist or be supported by solid blocking between joists on either side of the wall. Solid blocking shall be 140 x 45mm cut neatly between joists, with its top flush with the top of the joist, set at each end of the wall above, at each side of any door openings, and at not more than 1.2m crs.

Wall above that is not loadbearing or does not contain a bracing element must be within 150mm of joist centre or be supported by solid blocking between joists on either side of the wall. Solid blocking shall be 140 x 45mm cut neatly between joists, with its top flush with the top of the joist, set at each end of the wall above, at each side of any door openings, and at not more than 1.2m crs.

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Date:

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurissa Joyce & Michael Russ Contact: Jason Russ (04) 971 0034 or (021) 432 952	Read with Amendments:		District Plan			Concept Drawn	ZG	5/07/16	Date: 1/06/2017	Sheet #	
	Ref. #	Date:	Comments:	Hutt City Council General Residential Zone			Pricing Drawn	les	~/-	Job # 112637 - FWD	10 of 22
				Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E	FWD Drawn	les	~/-		
				Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C	LBP M. Buckthought 122007	Floor Joist Layout			
							Scale: A3 / 1:100			\$5 Plan Ref. .	



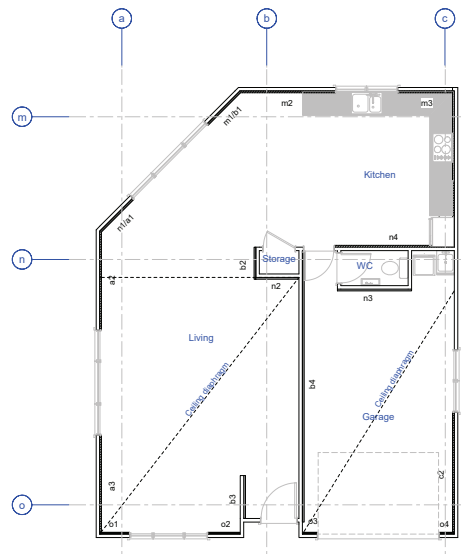
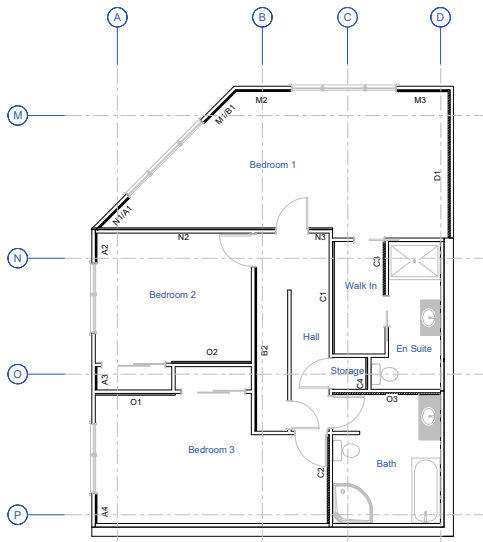
Masterton PH: 06 370 1390

BC170097

Notes:

No power points or light switches situated within 90mm of edge of bracing element or as specified by manufactures literature.

Read in conjunction with GIB Ezybrace, calculations attached to Technical Literature in specs.



LABEL	WIDTH	BRACE	HOLD DOWN	MIN. LENGTH
A2	771	BL1 - H	YES	0.4M
A3	2320	BL1 - H	YES	0.4M
A4	865	BL1 - H	YES	0.4M
B2	4220	BL1 - H	YES	0.4M
C1	2893	GS2 - NNO		0.4M
C2	2287	GS1 - NNO		0.4M
C3	1390	GS1 - NNO		0.4M
C4	800	GS2 - NNO		0.4M
D1	3807	GS1 - NNO		0.4M
M1/B1	1180	BL1 - H	YES	0.4M
M2	1430	BL1 - H	YES	0.4M
M3	1336	BL1 - H	YES	0.4M
N1/A1	1183	BL1 - H	YES	0.4M
N2	4732	GS2 - NNO		0.4M
N3	824	GS2 - NNO		0.4M
O1	2050	GS2 - NNO		0.4M
O2	2040	GS2 - NNO		0.4M
O3	2787	GS1 - NNO		0.4M

Label	Width	Brace	Hold Down	Min. Length
a2	2545	GS1 - NNO		0.4M
a3	2637	GS1 - NNO		0.4M
b2	825	GS2 - NNO		0.4M
b3	1105	GS2 - NNO		0.4M
b4	7077	GS2 - NNO		0.4M
c1	6752	GS1 - NNO		0.4M
c2	3232	GS1 - NNO		0.4M
m1/b1	1203	GS1 - NNO		0.4M
m2	2500	GS1 - NNO		0.4M
m3	1500	GS1 - NNO		0.4M
n1/a1	1203	GS1 - NNO		0.4M
n2	1110	GS2 - NNO		0.4M
n3	1910	GS2 - NNO		0.4M
n4	3042	GS1 - NNO		0.4M
o1	865	BL1 - H	YES	0.4M
o2	930	BL1 - H	YES	0.4M
o3	480	BL1 - H	YES	0.4M
o4	475	BL1 - H	YES	0.4M

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Client Sign Off:

Date:

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurissa Joyce & Michael Russ Contact: Jason Russ (04) 971 0034 or (021) 432 952	Read with Amendments:		District Plan			Concept Drawn		ZG	5/07/16	Date: 1/06/2017	Sheet #
	Ref. #	Date:	Comments:	Hutt City Council General Residential Zone			Pricing Drawn	les	--/--	Job # 112637 - FWD	11 of 22
				Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E	FWD Drawn	les	--/--	Bracing Plan	
				Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C	LBP	M. Buckthought 122007			Scale: A3 / 1:100

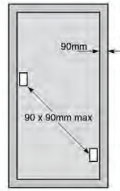
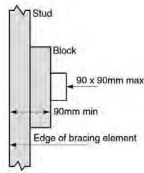
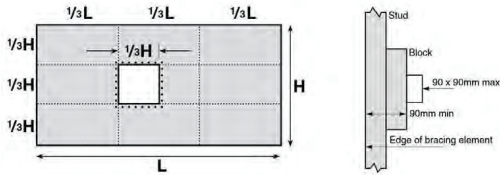


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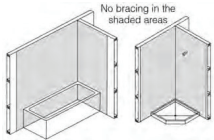
Openings in Bracing Elements:

Openings are allowed within the middle third of a wall bracing element's length and height. Neither opening dimension shall be more than 1 third of the element height. Wall linings are fixed to opening trimmers at 150 centres. Small openings (e.g., power outlets) of 90 x 90mm or less may be placed no closer than 90mm to the edge of the braced element. A block may need to be provided alongside the perimeter stud as shown below.

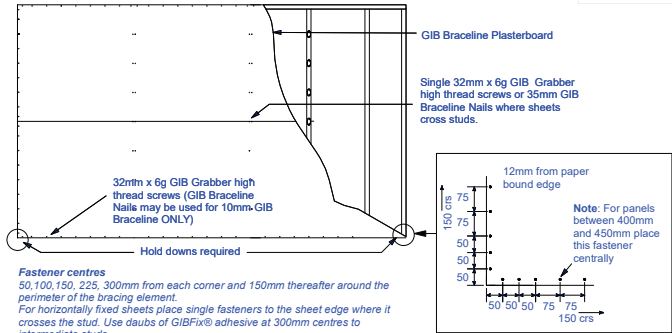
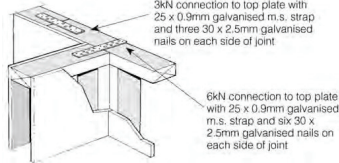
Always cross reference with current Manufacturers literature.



Small opening e.g. switch box.



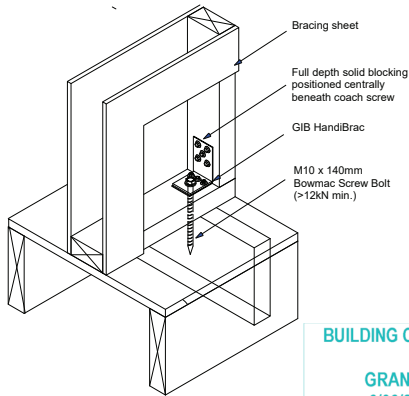
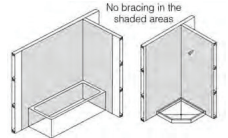
Top plates not to be joined within 1.2m of each other.
2170 x 3.15 nail lamination at 600 c/s
Butt joint in plate must be made over a support, i.e.
(a) Stud, or
(b) Solid blocking fixed between studs and directly under the plate
6T10 nail plate connection and min. 2/ 90 x 3.15 nails either side of joint



Fastener centres
50, 100, 150, 225, 300mm from each corner and 150mm thereafter around the perimeter of the bracing element.
For horizontally fixed sheets place single fasteners to the sheet edge where it crosses the stud. Use daubs of GIBFix® adhesive at 300mm centres to intermediate studs.
Place fasteners no closer than 12mm from paper bound sheet edges and 18mm from any sheet end or cut edge.

10mm or 13mm GIB Braceline Plasterboard

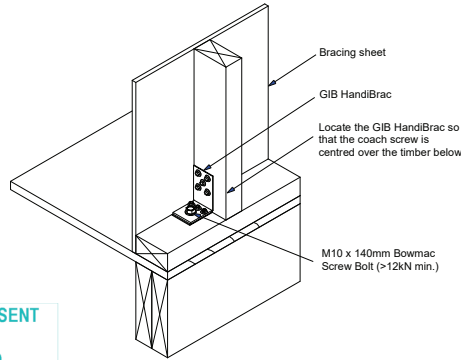
MINIMUM LENGTH 400mm - One side only - Horizontal Fix - BL1-H



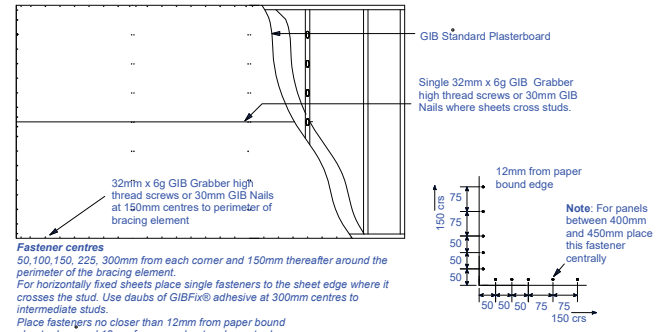
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HandiBrac®/ Bracing Element Tie Down
Floor - Internal Wall
Scale 1:10 ISO



HandiBrac®/ Bracing Element Tie Down
Floor - External Wall
Scale 1:10 ISO



10mm or 13mm GIB Standard Plasterboard

MINIMUM LENGTH 400mm - One side only - Horizontal Fix - GS1-N (Both sides - GS2-N)

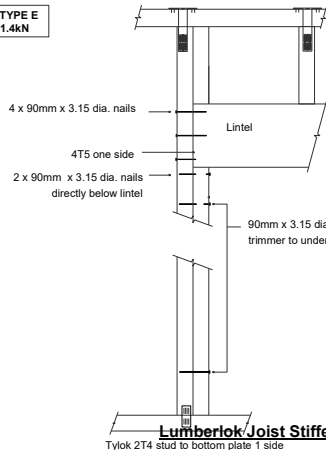
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Date:

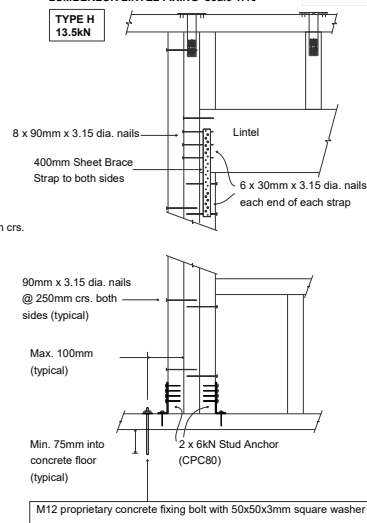
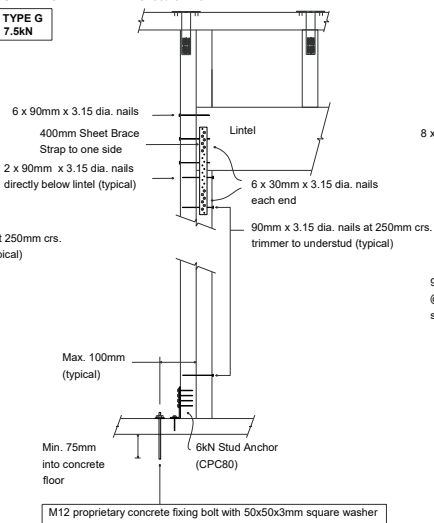
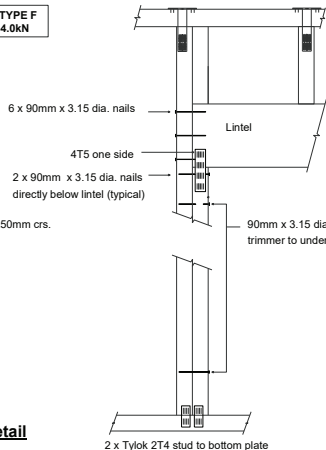


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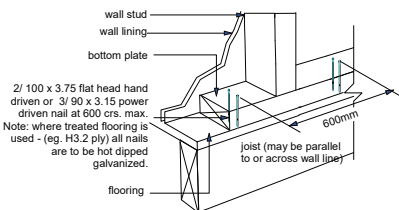
Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt			Read with Amendments:			District Plan			Concept Drawn			Date: 1/06/2017			Sheet #		
Client: Laurissa Joyce & Michael Russ			Ref. #	Date:	Comments:	Hutt City Council General Residential Zone			Pricing Drawn	ZG	5/07/16	Job # 112637 - FWD			12 of 22		
Contact: Jason Russ (04) 971 0034 or (021) 432 952						Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E	FWD Drawn	les	--/--	Bracing Details			Scale: A3 / NTS		
						Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C	LBP	M. Buckthought	122007				5/ Plan Ref. .		



Lumberlok Joist Stiffener Detail
Tylok 2T4 stud to bottom plate 1 side



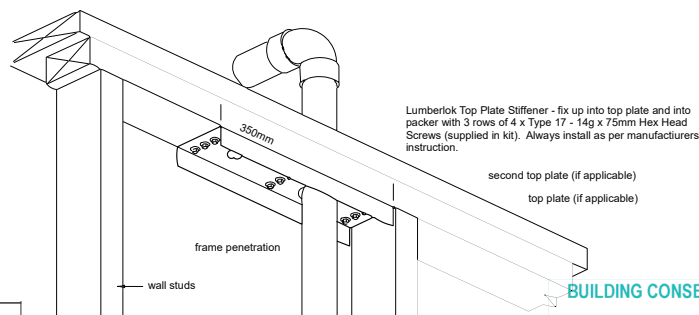
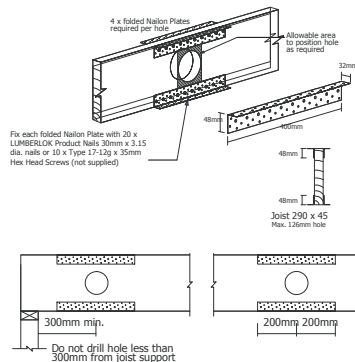
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Note, where bottom plate does not land on joist, fit solid blocking between joists under wall within 150mm from each end of bracing element and at 600 crs. along the length of bracing element. (Exterior walls will land on joist).

Typical Wall and Wall Bracing Element Bottom Plate Fixing.

Scale 1:10 ISO



Lumberlok Top Plate Stiffener
scale 1:7 ISO

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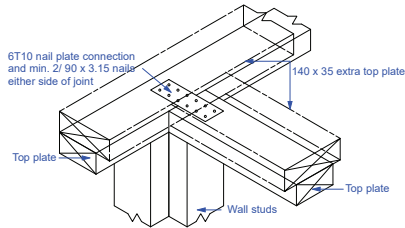
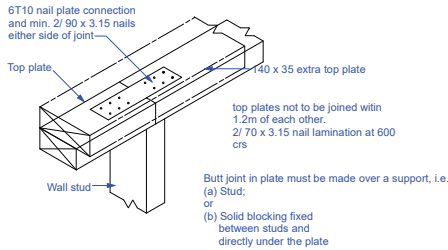


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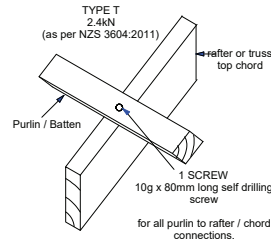
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Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurissa Joyce & Michael Russ Contact: Jason Russ (04) 971 0034 or (021) 432 952	Read with Amendments:			District Plan			Hutt City Council			Concept Drawn			ZG		5/07/16		Date: 1/06/2017		Sheet #	
	Ref. #	Date:	Comments:	General Residential Zone			Pricing Drawn			les		-/-		Job #		112637 - FWD		13 of 22		
				Wind Zone: Very High			EQ Zone: 3			Geotech Class: D/E			FWD Drawn		les		-/-		Bracing Details	
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																	58 Plan Ref. .			

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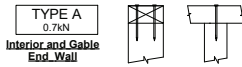
Butt Joint (6kN min.) in Top Plate Bracing Walls
Scale 1:10 ISO



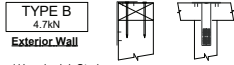
Purlin Fixing Type T Detail
Scale 1:10

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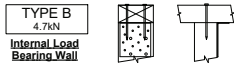
Joint (3kN min.) in Top Plate Bracing Walls
Scale 1:10 ISO



2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.



1/ Lumberlok Stud Strap and 2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.

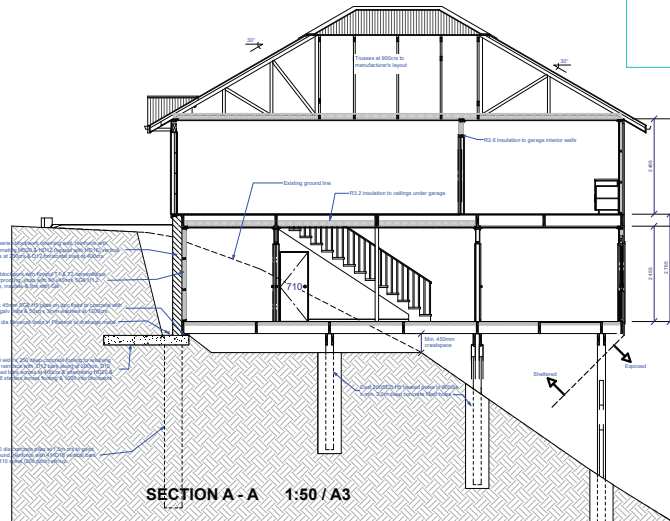


1/ Lumberlok CPC80 and 2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.

Stud to Top Plate Fixing Detail
Scale 1:10

Stairs

Rise: 184mm (2765/15)
Going: 280mm
Tread Depth: 300mm.
Balusters: 45 x 45mm at 140mm centres (95mm clearance between)
Handrail: 900mm above stair nosing profile to comply with NZBC D1



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Foundation
200 SED H5 poles with 2/290 x 45mm bearers, fix with 2#12 bolts & 50sq x 3mm washers. Seat bearers on 50mm check to poles. Fixings in exposed areas must be stainless steel, fixings in sheltered areas may be either stainless steel or galvanneal.

Timber Floor
Lower level
Maglok 20mm sheets over 290 x 45 SG8 H3.1 treated floor joists at 400c/s insulated with R1.8 Expol underfloor insulation.
Midfloor level
Maglok 20mm sheets (21mm ply to garage) over 290 x 45 SG8 H1.2 treated floor joists at 400c/s (300c/s to garage).

Solid block between all floor joists over lines of support & at midspans.

External Walls
90 x 45mm SG8, H1.2 timber frame with 140 x 35mm H1.2 packer plate, 2.420m studs at 400c/s max, nogs at 855c/s nom., unless noted otherwise. Watertight building wrap taken up to top plate. Fix bottom plate to floor with 2/100 x 3.75 flat head hand driven or 3/90 x 3.15 power driven nails at 600c/s max.

Wall Cladding
Pallisade Traditional profile Weatherboards with 2 piece soakers & boxed corners in accordance with manufacturers specifications & NZBC: E2/AS1 External Moisture, over Thermakraft Watertight building wrap with Aluband proprietary flashing tape. Bottom of cladding to extend 50mm min. below floor joist.

Internal Walls
90 x 45 SG8, H1.2 timber frame. I40 x 35 H1.2 top plate packer, studs at 600c/s max, nogs at 855c/s nom. 10mm Gib linings throughout, Aquiline to wet areas, Braceline as required by Bracing Plan, fixed to comply with the latest Winstones Gib Manual.
Fix bottom plate to floor with 2/100 x 3.75 flat head hand driven or 3/90 x 3.15 power driven nails at 600c/s max.

Wall Linings
10mm Gib linings - level 4 paint finish

Ceilings
Timber 70 x 35mm H1.2 ceiling battens fixed to trusses at 600c/s. (13mm Gib linings) Fix Gib to battens with 32mm x 8g Gib® Grabber Screws. Glue daubs - minimum of 200mm from centre screw. Do not screw where you glue. Gib stopping to level 4 paint finish. 1/850sq ceiling access to roof space.

Soffits
7.5mm Hydrapanel high pressure laminated board fixed to 90 x 45 soffit bearers & 90 x 45 stringer at wall. 600 eaves. Metal Colorsteel 185mm fascia. Metal Colorsteel external spouting with metal Colorsteel downpipe system.

Wall Insulation
R2.6 Earthwool insulation to all exterior wall cavities excluding Garage. Insulate internal wall between Garage and inhabitable areas. Friction fitted.

Ceiling Insulation
R3.2 Earthwool insulation to all ceiling cavities. Friction fitted.

Roof Framing
Pre-fabricated GANGNAIL 30° pitch H1.2 trusses at 900c/s - Bitumac 750 with galvanized netting. 75x45 SG6, H1.2 purlins, at 900mm max. c/s. Top purlin 600 from ridge and bottom purlin 600 from fascia.
Fixing for Med to V.High - Type T - 1/10g self-drilling screw, 80mm long purlin/ truss connection (2.4kN fixing)

Roof Cladding
Corrugated Metal Coloursteel, 0.40bmt, Endura, fixed with compatible roofing nails. All flashings 0.55bmt. Installation by LBP.

Joinery
Powder coated aluminium double glazed joinery (excluding garage).

Separation
Separate all timber from contact with concrete with full width dpc.

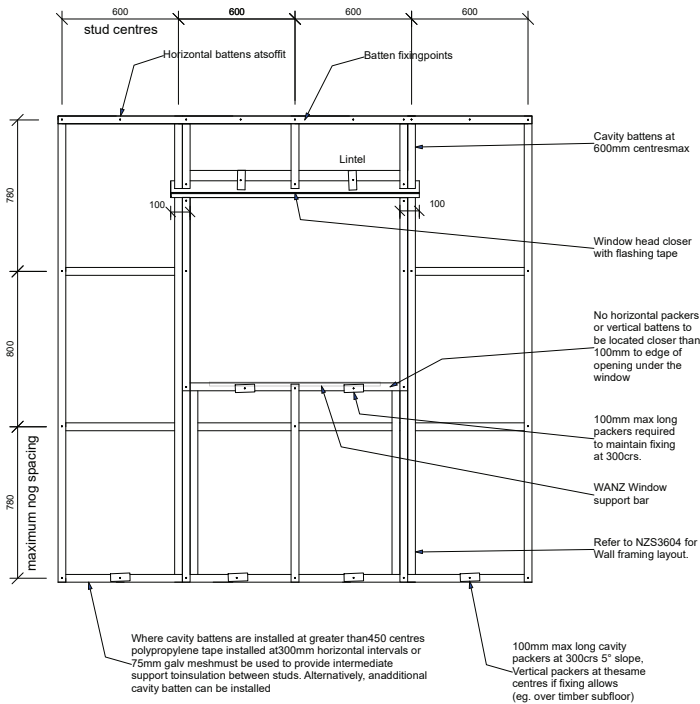
Client Sign Off:
Date:

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurissa Joyce & Michael Russ Contact: Jason Russ (04) 971 0034 or (021) 432 952	Read with Amendments:		District Plan			Concept Drawn	ZG	5/07/16	Date: 1/06/2017	Sheet #	
	Ref. #	Date:	Comments:	Hutt City Council General Residential Zone			Pricing Drawn	les	--/--	Job # 112637 - FWD	14 of 22
				Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E	FWD Drawn	les	--/--		
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									Scale: A3 / 1:50	sg Plan Ref. .	

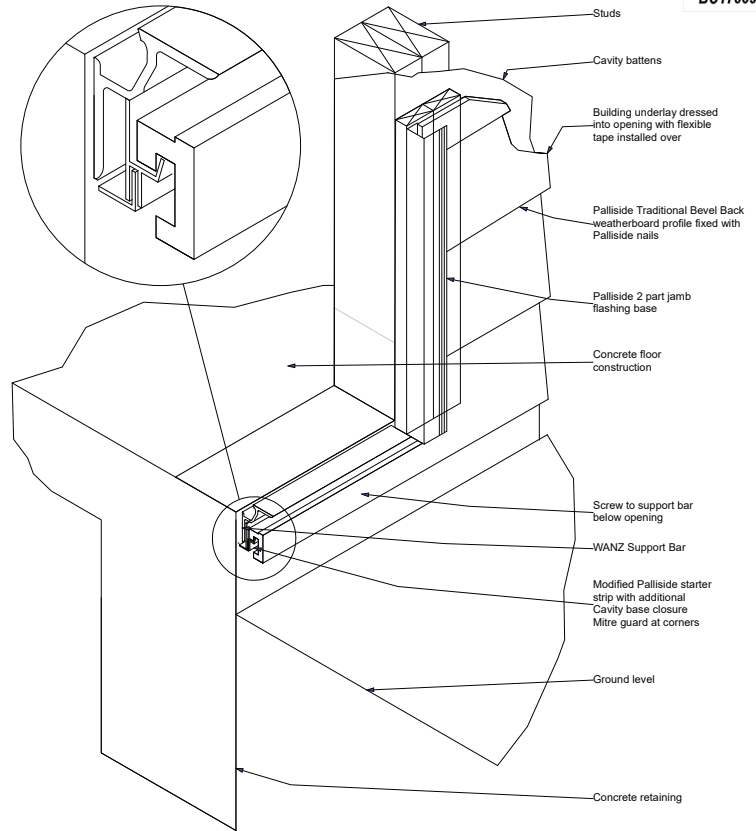


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Cavity Batten at Window
scale 1:20



Door Sill Layout Detail
scale 1:5

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COUNCILClient Sign Off:
Date:

Read with Amendments:			District Plan			Concept Drawn	ZG	5/07/16	Date: 1/06/2017	Sheet #
Ref. #	Date:	Comments:	Hutt City Council			Pricing Drawn	les	--/--	Job # 112637 - FWD	15 of 22
Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt			Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E	FWD Drawn	les	--/--	Cladding Details	
Client: Laurissa Joyce & Michael Russ			Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C	LBP M. Buckthought 122007			Scale: A3 / as shown	60 Plan Ref. .
Contact: Jason Russ (04) 971 0034 or (021) 432 952										



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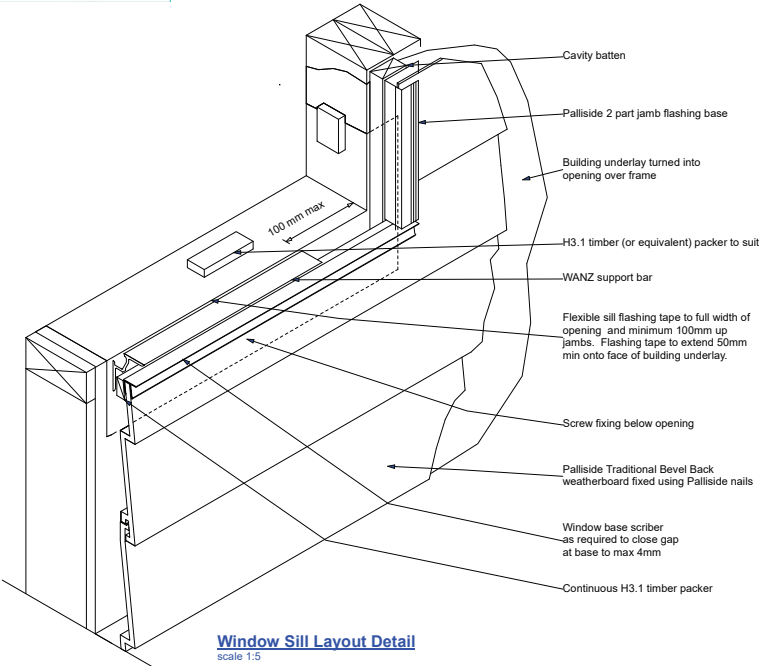
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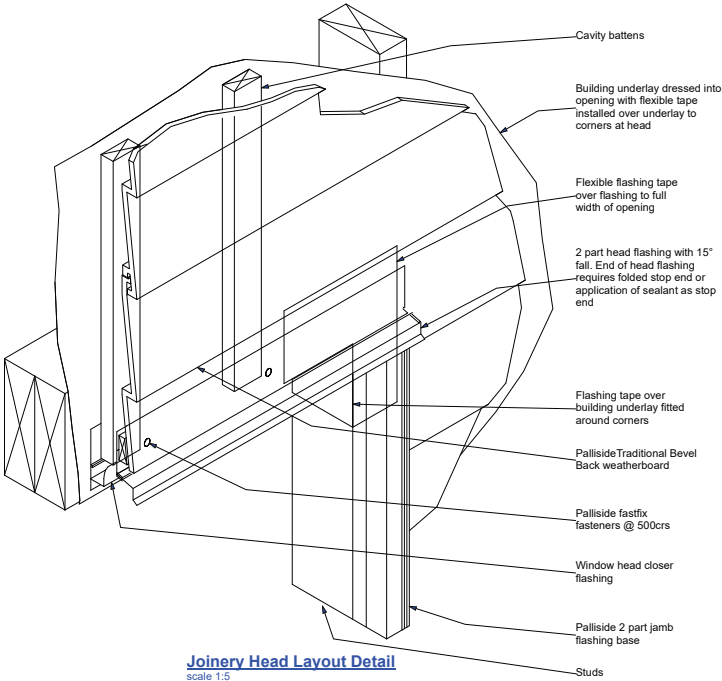
HUTT CITY COUNCIL



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Window Sill Layout Detail
scale 1:5

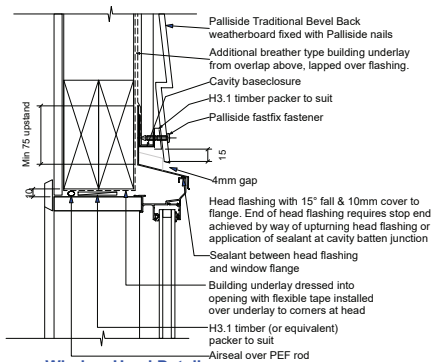


Joinery Head Layout Detail
scale 1:5

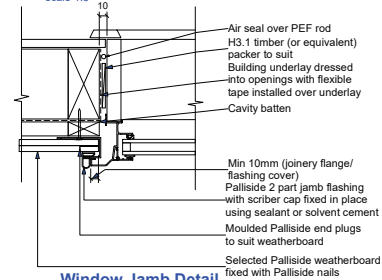
Note:
Window omitted
for clarity.

Client Sign Off:
Date:

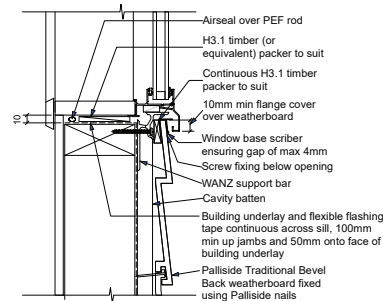
Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurissa Joyce & Michael Russ Contact: Jason Russ (04) 971 0034 or (021) 432 952	Read with Amendments:			District Plan		Concept Drawn		ZG	5/07/16	Date: 1/06/2017	Sheet #			
	Ref. #	Date:	Comments:	Hutt City Council General Residential Zone		Pricing Drawn	les	--/--	Job # 112637 - FWD	16	of 22			
				Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E	FWD Drawn	les	--/--			Cladding Details		
				Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C	LBP M. Buckthought 122007						Scale: A3 / as shown	51 Plan Ref. .



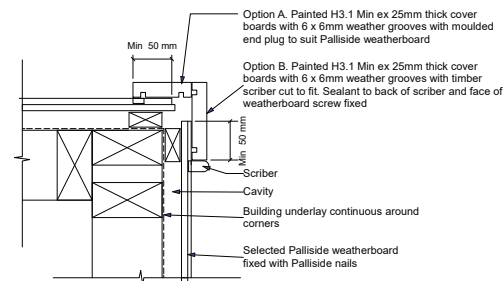
Window Head Detail
scale 1:5



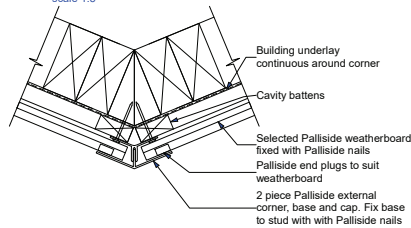
Window Jamb Detail
scale 1:5



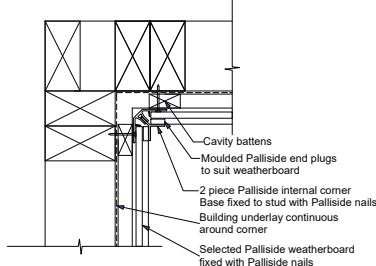
Window Sill Detail
scale 1:5



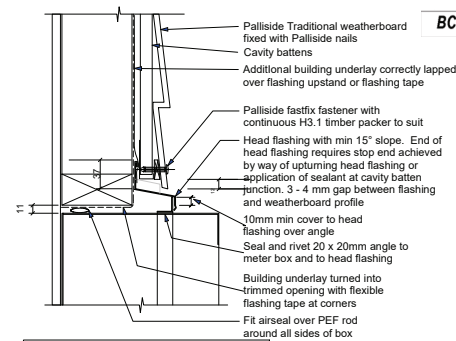
External Corner Detail
scale 1:5



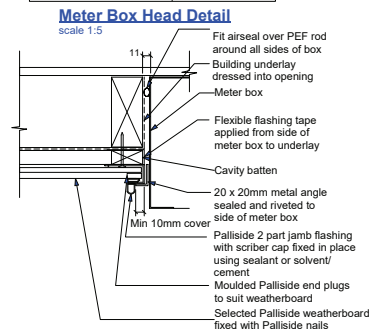
External 135° Corner Detail
scale 1:5



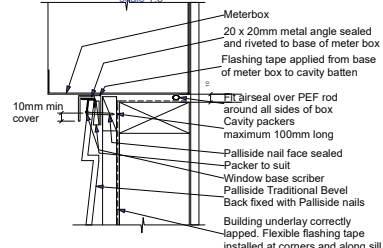
Internal Corner Detail
scale 1:5



Meter Box Head Detail
scale 1:5



Meter Box Jamb Detail
scale 1:5



Meter Box Sill Detail
scale 1:5

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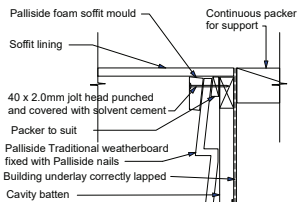
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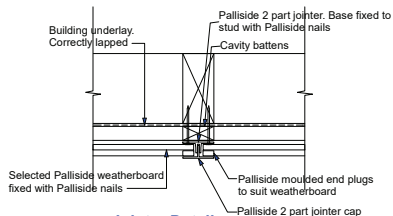


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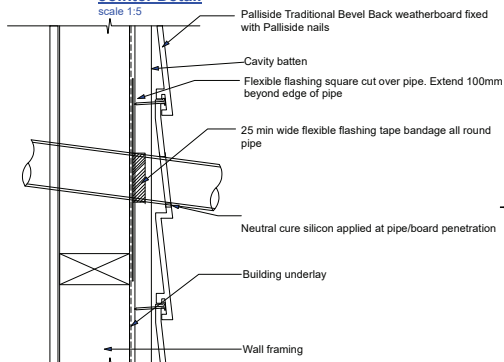
Read with Amendments:			District Plan			Concept Drawn			Date: 1/06/2017			Sheet #	
Ref. #	Date:	Comments:	Hutt City Council			Pricing Drawn			Job # 112637 - FWD			17	
Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt			General Residential Zone			FWD Drawn			Cladding Details			of 22	
Client: Laurissa Joyce & Michael Russ			Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E	LBP M. Buckthought 122007			Scale: A3 / 1:10, 1:5			52 Plan Ref. .	
Contact: Jason Russ (04) 971 0034 or (021) 432 952			Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C								



Soffit Detail
scale 1:5

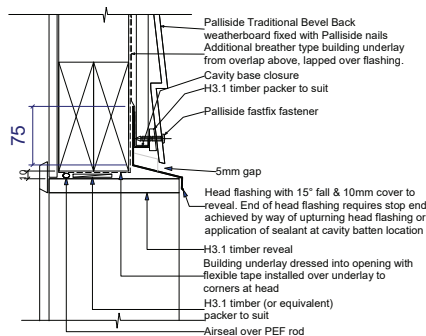


Jointer Detail
scale 1:5

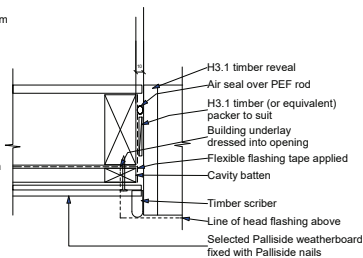


Pipe Penetration Detail
scale 1:5

Note: pipe must slope 5° down to exterior

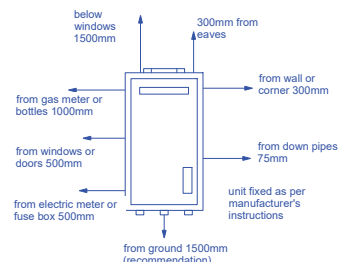


Garage Door Head Detail
scale 1:5



Garage Door Jamb Detail
scale 1:5

Note: This diagram is to be used as a reference only. A suitably qualified person must certify compliance for all aspects of gas installation



Read in conjunction with
NZS 5261:2003 2.6.13.3

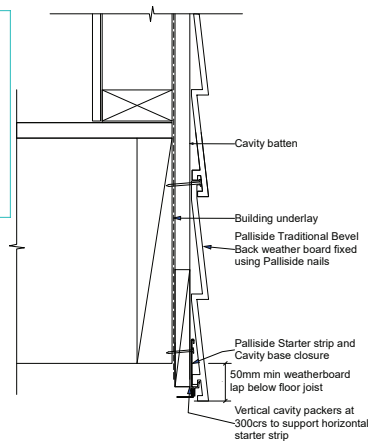
NOTE: Hot water to sanitary fittings must be tempered to max. 55°C

External Gas Water Heater Clearances
Scale 1:20 ISO

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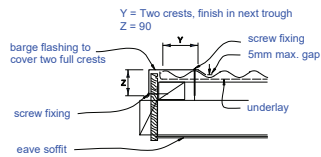
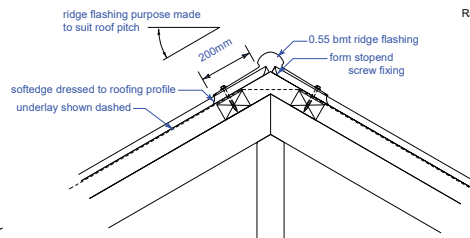
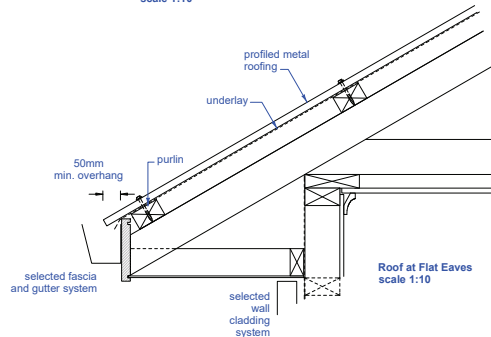
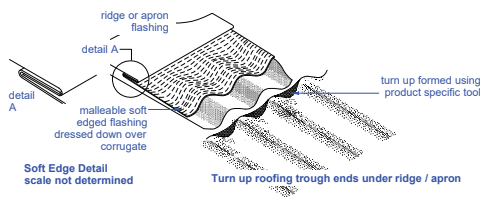
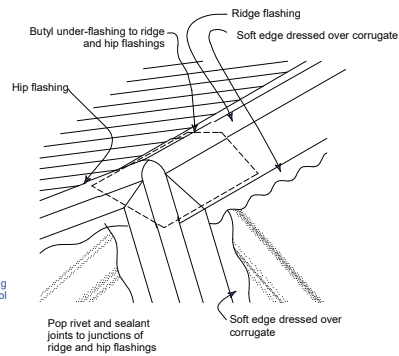
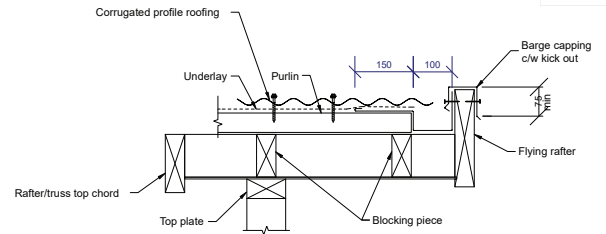
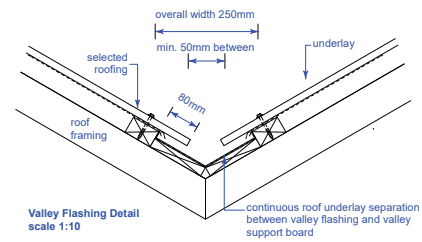
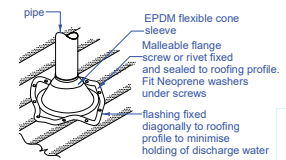
Base Detail
scale 1:5

Client Sign Off:
Date:

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurissa Joyce & Michael Russ Contact: Jason Russ (04) 971 0034 or (021) 432 952	Read with Amendments:			District Plan			Concept Drawn		ZG	5/07/16	Date: 1/06/2017	Sheet #	
	Ref. #	Date:	Comments:	Hutt City Council			Pricing Drawn		les	--/--	Job # 112637 - FWD	18 of 22	
				General Residential Zone			FWD Drawn		les	--/--	Cladding Details		
				Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E							
				Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C	LBP M. Buckthought 122007					Scale: A3 / as shown	53 Plan Ref. .



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Barge Detail
scale 1:10Ridge Flashing Detail
scale 1:10Roof at Flat Eaves
scale 1:10Soft Edge Detail
scale not determinedHip Flashing Detail
scale 1:10 ISOBarge Gutter Detail
scale 1:10Valley Flashing Detail
scale 1:10

NOTE:
(1) max. roof pitch for this flashing 45°
min. pitch 10° if base of flange covers one or more complete troughs.
(2) for pipes up to 85mm diameter.

Small Roof Penetrations
scale 1:10 ISO

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Client Sign Off:
Date:

Proposed Dwelling
at: **6 Castle Crescent,
Stokes Valley,
Lower Hutt**
Client: **Laurissa Joyce & Michael Russ**
Contact: **Jason Russ (04) 971 0034 or (021) 432 952**

Read with Amendments:
Ref. # Date: Comments:

District Plan **Hutt City Council**
General Residential Zone

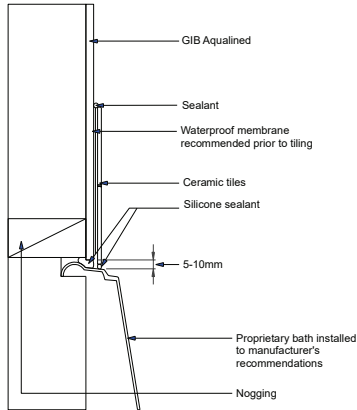
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EQ Zone: **3**
Geotech. Class: **D/E**
Snow Load: **0kPa**
Climate Zone: **2**
Exposure Zone: **C**

Concept Drawn
Pricing Drawn
FWD Drawn
LBP
M. Buckthought
122007

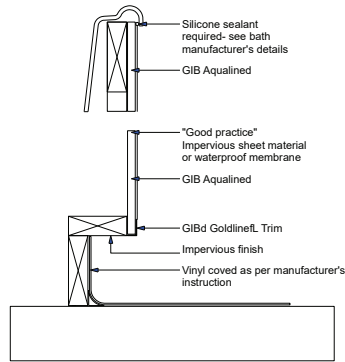
5/07/16
Date: **1/06/2017**
Job # **112637 - FWD**
Roof Cladding Details
Scale: **A3 / as shown**
Sheet # **19** of 22
Plan Ref. .



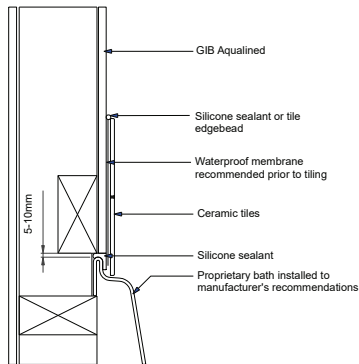
Masterston PH: 06 370 1390



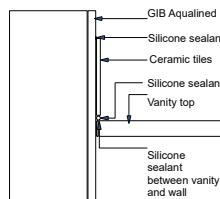
Bath/Wall Detail - Tiled Upstand
Scale 1:10



Bath Plinth Detail - Tiled Upstand
Scale 1:10



Bath/Wall Detail - Tiled Upstand
Scale 1:10

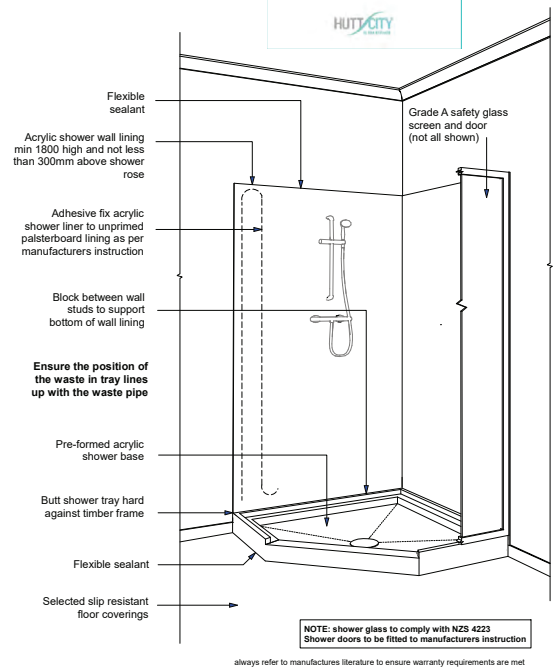


Vanity Top Detail - Tiled Upstand
Scale 1:10

BUILDING CONSENT

GRANTED
6/06/2017

HUTT CITY COUNCIL

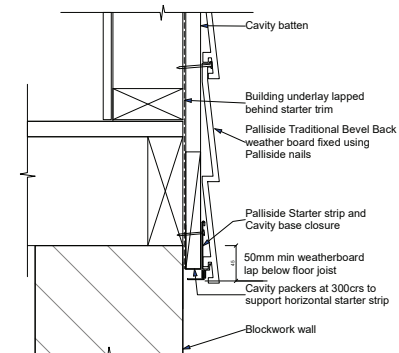


Typical Proprietary Shower Installation
Scale 1:20

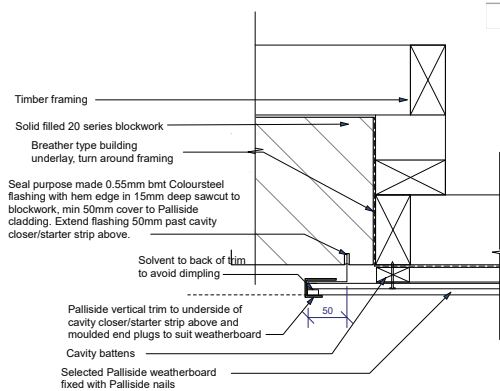
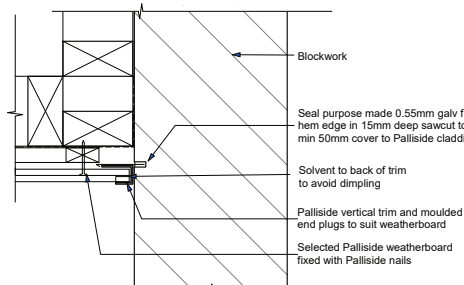
Client Sign Off:
Date:

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurissa Joyce & Michael Russ Contact: Jason Russ (04) 971 0034 or (021) 432 952	Read with Amendments:		District Plan		Concept Drawn	ZG	5/07/16	Date: 1/06/2017	Sheet #
	Ref. #	Date:	Comments:	Hutt City Council General Residential Zone		Pricing Drawn	les	--/--	20 of 22
				Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E	FWD Drawn	les	
				Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C	LBP M. Buckthought 122007	Wet Area Details	
								Scale: A3 / as shown	65 Plan Ref. ,



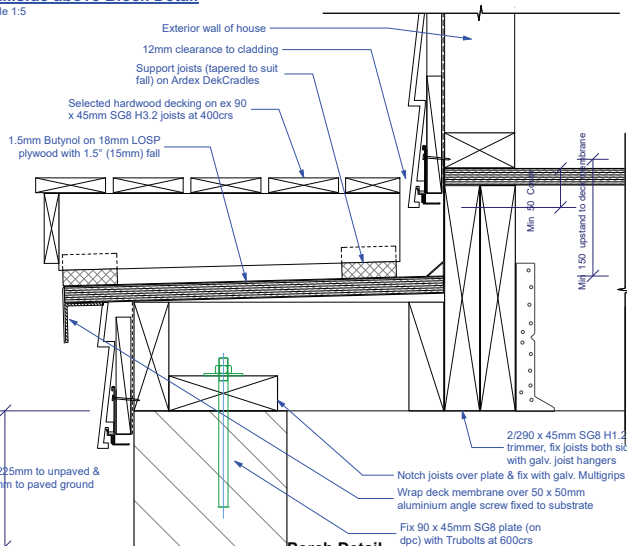


Palliside - Blockwork Internal Corner Detail
scale 1:5

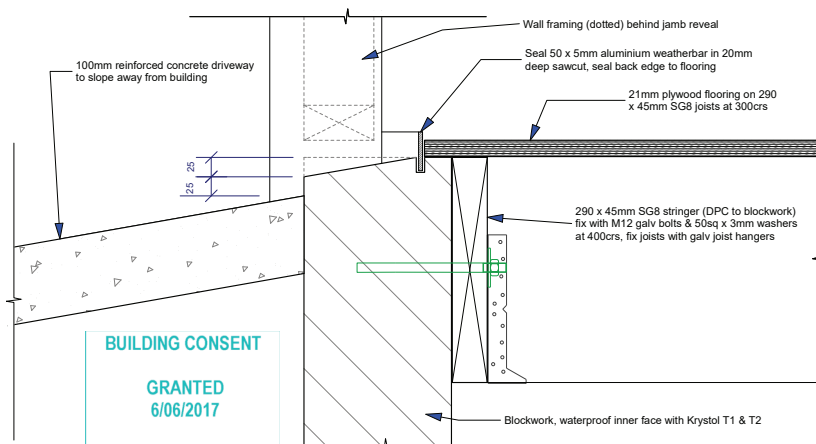


Palliside - Blockwork Vertical Junction Detail
scale 1:5

Palliside above Block Detail
scale 1:5



Porch Detail
scale 1:5



Garage Door Sill Detail
scale 1:5

BUILDING CONSENT

GRANTED
6/06/2017

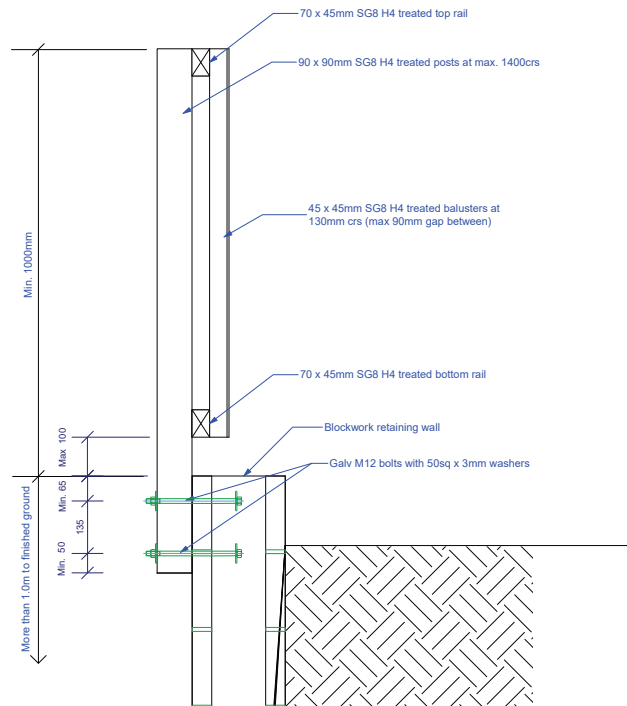
HUTT CITY COUNCIL

HUTT CITY

Client Sign Off:
Date:

Read with Amendments:			District Plan			Concept Drawn			Date: 1/06/2017			Sheet #	
Ref. #	Date:	Comments:	Hutt City Council General Residential Zone			Pricing Drawn	ZG	5/07/16	Job # 112637 - FWD			21 of 22	
Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt			Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E	FWD Drawn	les	---	Additional Details			Scale: 66 Plan Ref. .	
Client: Laurissa Joyce & Michael Russ			Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C	LBP M. Buckthought 122007	les	---					
Contact: Jason Russ (04) 971 0034 or (021) 432 952													





Barrier Detail
scale 1:10

BUILDING CONSENT

GRANTED
6/06/2017

HUTT CITY COUNCIL



Client Sign Off:
Date:

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurissa Joyce & Michael Russ Contact: Jason Russ (04) 971 0034 or (021) 432 952	Read with Amendments:		District Plan			Concept Drawn	ZG	5/07/16	Date: 1/06/2017	Sheet #
	Ref. #	Date:	Comments:	Hutt City Council General Residential Zone			Pricing Drawn	les	--/--	22
				Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E	FWD Drawn	les	--/--	112637 - FWD
				Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C	LBP M. Buckthought 122007			Barrier Detail
Scale:										57 Plan Ref. .



Historic Building Card and Pre-1990 Building Permits Plans

PLUMBING AND DRAINAGE

COUNCIL MAINS POSITIONS

Council records show the stormwater drain discharges from the property.

The property is connected to council's sewerage system.

Council records indicate there is a council stormwater main on the property. Council has right of access to the main to undertake any work on it deemed necessary.

Council records indicate there is a council sewer main on the property. Council has right of access to the main to undertake any work on it deemed necessary.

Council does not allow building over council mains or within council easements unless otherwise approved.

PRIVATE PLUMBING AND DRAINAGE

There are plans (below) showing private drains on the property, although council cannot guarantee their accuracy. Only digging on site can confirm the pipes' precise position.

STREAMS / OPEN DRAINS

Any streams or open drains on the property are the responsibility of the property owner. This includes ensuring the water is free flowing, vegetation and erosion control, maintaining any retaining structures (or driveway culvert crossings) and fencing of the drain.

DRINKING WATER SUPPLY

The property is connected to council's potable water supply.

METERED WATER SUPPLY

Not Available

OVERLAND FLOW

No overland flow complaints reported or investigated.

INFLOW

The council inspected the property for stormwater entering sewer pipes on 14/12/1999 and found that it complied.

OTHER UNDERGROUND SERVICES

There are a number of services in Lower Hutt such as power and gas lines that are not owned or maintained by council. They may not be shown in the maps in this LIM Report. If you plan on digging on your property, it is recommended that you utilise the [BeforeUDig](#) service.

Contacts	Position	Phone
Plumbing and drainage enquiries	Duty Plumbing and Drainage Officer	04 570 6666
Inflow enquires	Trade Waste Officer	04 570 6666



LIM Property

Property Group

- Properties
- Parcels

Privately owned assets

- Wastewater Pipe
- Storm Pipe

Council owned assets

- Water Fixtures
- Wasterwater Fitting
- Stormwater Fixture
- Water Valve
- Water Pipe
- Wastewater Pipe
- Stormwater Pipe
- Service Connection



PLUMBING & DRAINAGE MAP

Scale: 1:439

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Plumbing and Drainage Plans

BC170097

Notes:

Site Barriers and Hoardings as Per F5/AS,1 if specific hazards exist

Adequate slip resistance for walking surfaces as per D1/AS1 Table 2

BUILDING CONTRACTOR TO ASSESS SITE TO ENSURE DAYLIGHTING & BUILDING RESTRICTIONS ARE COMPLIED WITH. NO LIABILITY FOR ENCROACHMENT SHALL BEHELD BY DESIGNER IF SITE IS NOT SURVEYED BY A REGISTERED SURVEYOR PRIOR TO COMMENCEMENT OF FOUNDATIONS.

Contractor Note:

Contractor to ensure final building platform & finished ground have an even fall away from building to ensure water not be allowed to accumulate in buildings subfloor. Any fill to be dry & approved by engineer & compacted down in accordance with NZS 3604:2011.

Confirm ground has adequate bearing to comply with NZS 3604: 2011.

Locate and confirm Datum and FFL.

Locate all service connections points on site prior to commencement of works. Check invert levels or pipes and manholes.

Confirm all frame and foundation dimensions, plus plumbing route and fixture positions on site are correct prior to commencement of works. Confirm site boundary bearings, lengths & peg locations on site prior to commencement of work, to ensure building position is correct.

Sediment and runoff control shall be installed by the licensed building practitioner prior to or during the earthworks for the project. The sediment controls shall be installed in accordance with the requirements of the District Council in accordance with the Resource Management Act (1991).



LOT: 10

DP: 25914

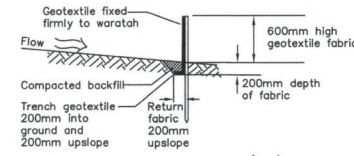
TOTAL SITE AREA: 732m²

SITE COVERAGE: 101.2m² / 13.83%

PLAN VIEW

Sediment Control Legend: (as per TY90)

- → → Drainage Control
- → → Sediment Fence
- woven geotextile fabric
- 600mm high min.
posts crs. 2m max.

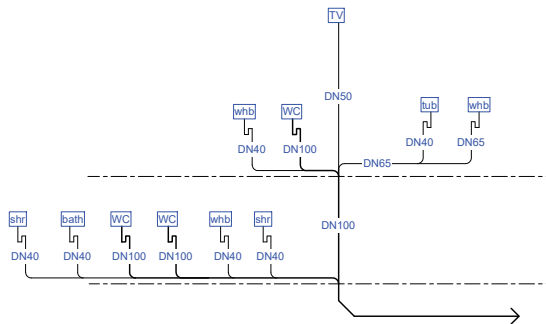


Sediment Fence Detail
Not to scale



Client Sign Off:
Date:

<div>Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurissa Joyce & Michael Russ Contact: Jason Russ (04) 971 0034 or (021) 432 952</div>	Read with Amendments:			District Plan			Hutt City Council			Concept Drawn			ZG			5/07/16			Date: 1/06/2017			Sheet #			
	Ref. #	Date:	Comments:				General Residential Zone			Pricing Drawn			les			--/--			Job # 112637 - FWD			2 of 22			
				Wind Zone: Very High			EQ Zone: 3			Geotech Class: D/E			FWD Drawn			les			--/--						
				Snow Load: 0kPa			Climate Zone: 2			Exposure Zone: C			LBP M. Buckthought 122007						Site Plan			Scale: A3 / 1:150			Play Ref.:



Drainage Schematic (not to scale)

Key

- _{org} shows location of overflow relief gully
- _{gt} shows location of gully trap
- _{ip} shows location of pipe inspection point
- _{tv} shows location of 50mm terminal vent to DN100 stack (for maximum 30 fixture drainage units) - terminate 150mm above roof with vermin proofing cowl and flash penetration with Dekkette boot flashing.
- _{dp} shows location of Ø80mm downpipe.

Downpipe Calcs

E1/AS1 Table 5
74mm diameter (min. internal sizes) @ 25-35° services 70m² of roof.

Total Roof Area = 129m²
Therefore 129m² / 70m² = minimum 2 downpipes required.

4 of 80mm coloursteel downpipes supplied

External Gutter Calcs

E1/AS1 Figure 15
Quadrant gutter: 5550mm² cross section
5500mm² Cross Sectional Area per 40m² of roof with 25-35° pitch @ 100mm/hr rainfall intensity

NOTES

All Plumbing & Drainage Design to AS/NZS 3500.2

Registered Plumber/Drainlayer to carry out all drainage work and provide as built drawings prior to backfilling any trench or covering any work.

Main Contractor to confirm location of any existing drains, all services, connections, invert levels, boundary setbacks, and restrictions on site prior to earthwork excavation or any other work.

Relationship of Pipe Trench to Building Foundation

Refer to E1/AS1 section 3.9.7 Figure 14

Drain Bedding/Backfilling

Refer to E1/AS1 Figure 13

Pipe Size and Gradient:

Main Drain: DN 100 at 1:60

Ensuite:

WC: DN100 fixture pipe to DN 100 stack at 1:60

Basin: DN 40 fixture pipe to DN 100 branch drain at 1:40 to DN 100 stack at 1:60

Shower: DN 40 fixture pipe to DN 100 branch drain at 1:40 to DN 100 stack at 1:60

Bathroom:

WC: DN100 fixture pipe to DN 100 stack at 1:60

Basin: DN 40 fixture pipe to DN 100mm branch drain at 1:60 to DN 100 stack at 1:60

Bath: DN 40 fixture pipe to DN 100mm branch drain at 1:60 to DN 100 stack at 1:60

Shower: DN 40 fixture pipe to DN 100mm branch drain at 1:60 to DN 100 stack at 1:60

Kitchen:

Sink: DN 65 fixture pipe to DN 100 stack at 1:60

Laundry:

Tub: DN 50mm to DN 65mm branch drain at 1:40 to DN 100 stack at 1:60

WC:

DN100 fixture pipe to DN 100 stack at 1:60

Basin: DN 40 fixture pipe to DN 100mm branch drain at 1:60 to DN 100 stack at 1:60

All Stormwater Drainage to E1/AS1

All stormwater drains shall be 100mm min. diameter uPVC @ 1:120 gradient

Water Pipe G12/AS1 (AS/NZS 2842: Pt 1, 2 & 3):

All water pipe Polybutylene.

Pipe to shower - Ø20mm

Pipe to basin and WC - Ø15mm

Pipe supports located at 1.5m max. at vertical pipe run, and 0.75m max. at horizontal pipe run.

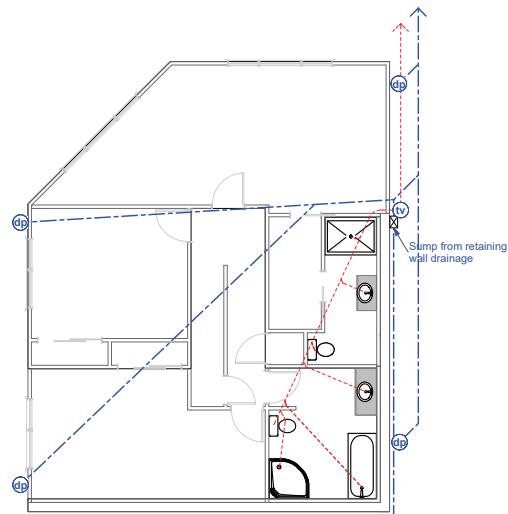
Pipe design for runs no greater than 20m.

Gas

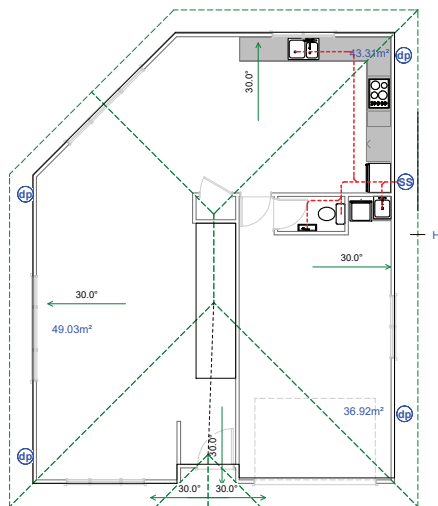
Rheem 27 Natural

Insulation

Thermal insulate pipe work as required to Section 8 NZS:3500



Lower Level Drainage Plan



Upper Level Drainage Plan

BUILDING CONSENT

GRANTED
6/06/2017

HUTT CITY COUNCIL

HUTT CITY COUNCIL

Client Sign Off:

Date:

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Laurissa Joyce & Michael Russ Contact: Jason Russ (04) 971 0034 or (021) 432 952	Read with Amendments:		District Plan		Concept Drawn		ZG	5/07/16	Date: 1/06/2017	Sheet #		
	Ref. #	Date:	Comments:		Hutt City Council General Residential Zone		Pricing Drawn	les	--/--	Job # 112637 - FWD	8 of 22	
					Wind Zone: Very High	EQ Zone: 3	Geotech Class: D/E	FWD Drawn	les	--/--		Drainage Plan
					Snow Load: 0kPa	Climate Zone: 2	Exposure Zone: C	LBP	M. Buckthought 122007	Scale: A3 / 1:100	74 Plan Ref. .	



Masterton PH: 06 370 1390

HAZARDS

RECORD OF TITLE INTERESTS

Please carefully check the property's record of title for any entry under section 74 of the Building Act 2004, or its predecessor section 36(2) of the Building Act 1991, as they relate to building on land subject to natural hazards, which may invalidate statutory natural disaster insurance. Clause 3(D) of the Earthquake Commission Act 1993 states that in these circumstances the commission may decline a claim in whole or part.

FLOODING (INUNDATION, ALLUVION*, AVULSION**)

* The wash of the sea or of a river. **Sudden loss of soil from flood or from shift in course of stream.

Council holds no information about reported instances of flooding on the property.

Council records show flooding has been recorded in the area. Please see below the Hazard Map for the location of the flooding. This information is considered relevant by the council as per Section 44A (3) of the Local Government Official Information and Meetings Act 1987.

Flood risk modelling investigations are being compiled for Lower Hutt suburbs, including Wainuiomata, Stokes Valley and more. Please see the Wellington Water rainfall flood risk website [Wellington Water Maps](#). If you are having trouble accessing this website, or require further information, please contact Wellington Water on 04 912 4400.

SLOPE STABILITY (SLIPPAGE, FALLING DEBRIS, EROSION AND SUBSIDENCE)

Council does not hold any records showing slippage on the property.

Council records show landslip(s) has been recorded in the area. Please see below the Hazard Map for the location of the landslip(s). This information is considered relevant by the council as per Section 44A (3) of the Local Government Official Information and Meetings Act 1987.

More general information can be found in this 2021 Report: [Slope Failure Susceptibility Assessment](#)

EARTHQUAKE-PRONE BUILDING

The earthquake-prone building provisions of the Building Act 2004 do not apply to a building if it is used wholly or mainly for residential purposes unless:

- it is two or more storeys; and either
 - is a hostel, boardinghouse, or other specialised accommodation; or
 - contains 3 or more household units.

This building is therefore outside of the scope of the earthquake-prone building provisions of the Building Act 2004. For more information on current legislation please visit the Ministry of Business Innovation and Employment website <https://www.building.govt.nz/managing-buildings/managing-earthquake-prone-buildings/>

CONTAMINATED SITES

The property does not appear on Greater Wellington Regional Council's Selected Land Use Register, which contains a list of properties with a history of hazardous activity or industry.

The National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health controls activities on sites where an activity on the Hazardous Activities and Industries List has occurred. This LIM report should not be considered as a complete assessment of a site's history in regard to HAIL activities. For further information, take a look at MFE's information <https://environment.govt.nz/facts-and-science/land/contaminated-land/>

EARTHQUAKE HAZARDS

Information relating to liquefaction, ground shaking, active faults and slope failure can be found on Greater Wellington Regional Council's [Hazards and Emergency Management Maps](#)

TSUNAMI

The property is not in a tsunami warning zone.

The zoning is based on a report compiled in 2016 entitled Hydrodynamic Inundation Modelling. To see the report, go to <https://wremo.nz/hazards/tsunami>

SEA LEVEL RISE AND STORM SURGE

For more information on sea level rise, please see <https://www.searise.nz>

To find out how sea level rise and storm surge may impact the property please go the Greater Wellington Regional Council's Sea Level Rise Modelling tool here <https://mapping1.gw.govt.nz/GW/SLR>

CO-SEISMIC SUBSIDENCE

For information on estimated subsidence of the valley floor during a Wellington Fault rupture, the GNS Science Report *Estimating co-seismic subsidence in the Hutt Valley associated with rupture of the Wellington Fault* is available to download from the following website <http://shop.gns.cri.nz/estimating-co-seismic-subsidence-in-the-hutt-valley-associated-with-rupture-of-the-wellington-fault>

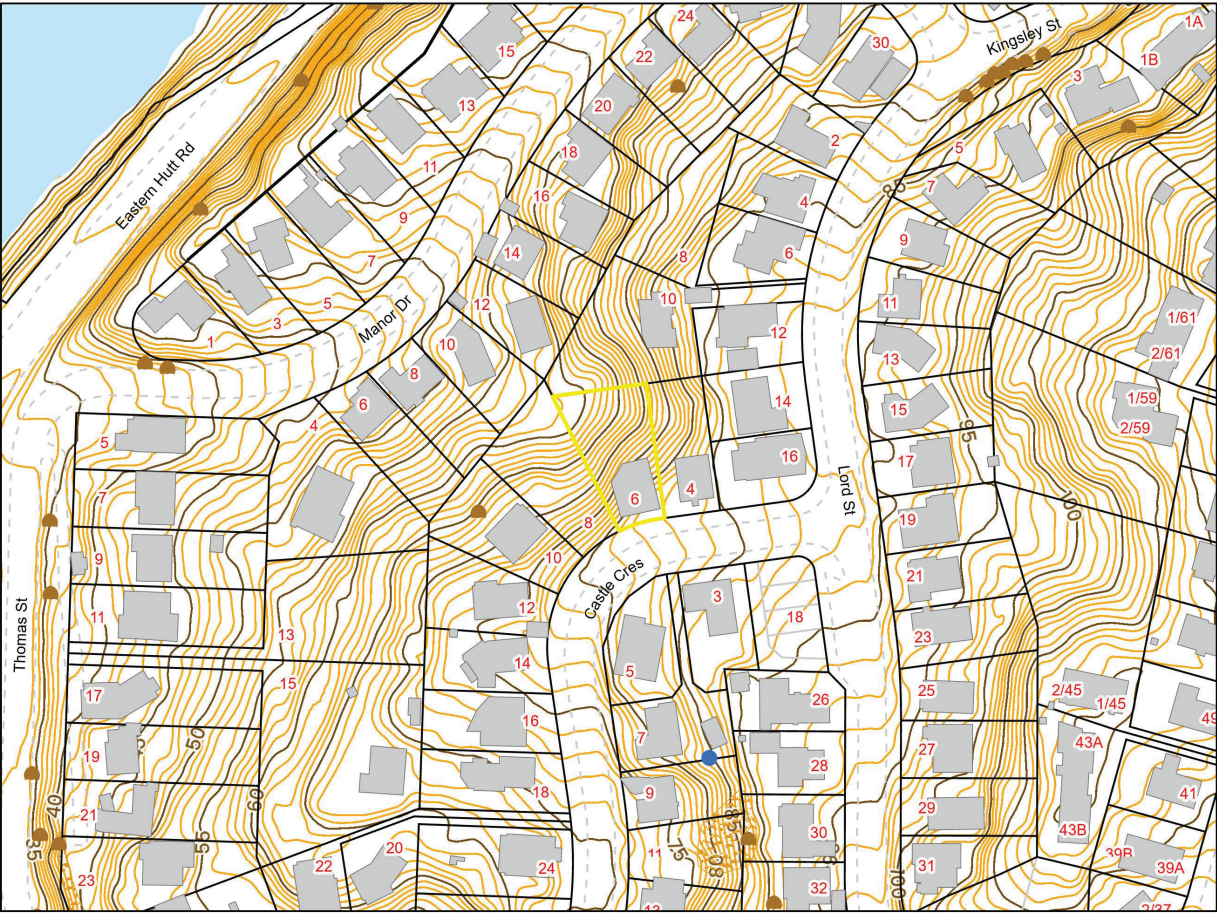
WELLINGTON REGION EMERGENCY MANAGEMENT

For information on how to be prepared for an emergency, or to keep up to date in the event of an emergency in the Wellington Region, please visit the [Wellington Region Emergency Management Office website](#)

COMMUNITY EMERGENCY HUBS

To find out where your closest Emergency Hub (formerly known as Civil Defence Centre) is, please visit the [Civil Defence Website](#)

Contacts	Position	Phone
Flood modelling	Greater Wellington Regional Council flood protection officer	04 384 5708
Contaminated sites	Greater Wellington Regional Council environmental scientist	04 384 5708
Liquefaction and ground shaking	Greater Wellington Regional Council hazard officer	04 384 5708
Earthquake-prone buildings	Seismic Assessment Officer	04 570 6666
All other hazard information	LIM officer	04 570 6666



- LIM Property
- Contours
- Properties
- Parcels
- Building Outline (2021)
- Kerblines
- Rivers & Streams
- HCC recorded landslip area
- Water course
- HCC recorded landslip
- HCC recorded flood incident



HAZARDS MAP

Scale: 1:1,500

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DISTRICT PLAN

THE DISTRICT PLAN

The Resource Management Act 1991 requires Hutt City Council to prepare a District Plan to manage land use and development within its jurisdiction. It contains rules that may affect any development or land use you may be considering. Click [here](#) to view the District Plan online.

ACTIVITY AREA

The property is in the Medium Density Residential area of the city's District Plan.

For more information on the rules relating to this activity area please read the corresponding chapter of the District Plan. It should be read in conjunction with the plan's general and subdivision rules in chapters 11 and 14. (The full version of the District Plan can be found [here](#))

PROPOSED DISTRICT PLAN AND PROPOSED PLAN CHANGES

The District Plan is subject to ongoing monitoring and review throughout its lifetime.

There is a list of proposed changes and completed changes to the District Plan available [here](#).

The Proposed Lower Hutt District Plan was publicly notified on 6 February 2025. This is proposed to replace the current District Plan. The Proposed District Plan contains information, including new hazards and risks overlays, that may be relevant to this property. This includes coastal inundation, fault, flooding, liquefaction, tsunami and slope assessment overlays. These overlays are nonspecific to any particular properties and are based on scientific information that will be subject to public consultation and a statutory process before they are finalised. It is important to note that information from the Proposed District Plan has not been included in this LIM. Please check the Proposed District Plan maps to determine how this property may be affected. The Proposed District Plan can be accessed [here](#)

URBAN GROWTH STRATEGY

The Urban Growth Strategy is council's approach to managing growth and development in Lower Hutt to 2032. It focuses on how much we want the city to grow, where new homes and businesses will be accommodated, and what will be done to support and encourage this development. Click [here](#) to read more.

HERITAGE BUILDINGS

The District Plan does not recognise there being any heritage buildings or structures on the property.

PROTECTED TREES

A covenant, resource consent condition or consent notice may protect vegetation. See the record of title and/or resource consent(s) for any information in this regard.

RESOURCE CONSENTS AND DISPENSATIONS

Below is a list of resource consents the council has issued from 1991 onwards under the Resource Management Act 1991. A copy of the resource consent decision is included, where possible, for each resource consent issued.

It is important you ensure that the consent has been acted on and that each of the consent conditions are complied with, within the allocated timeframe (where applicable) from the decision date. The decision date is the date the resource consent was granted. You will find the consent conditions listed in the decision document. For more information on resource consents, click [here](#) or call the Duty Planner (contact details below).

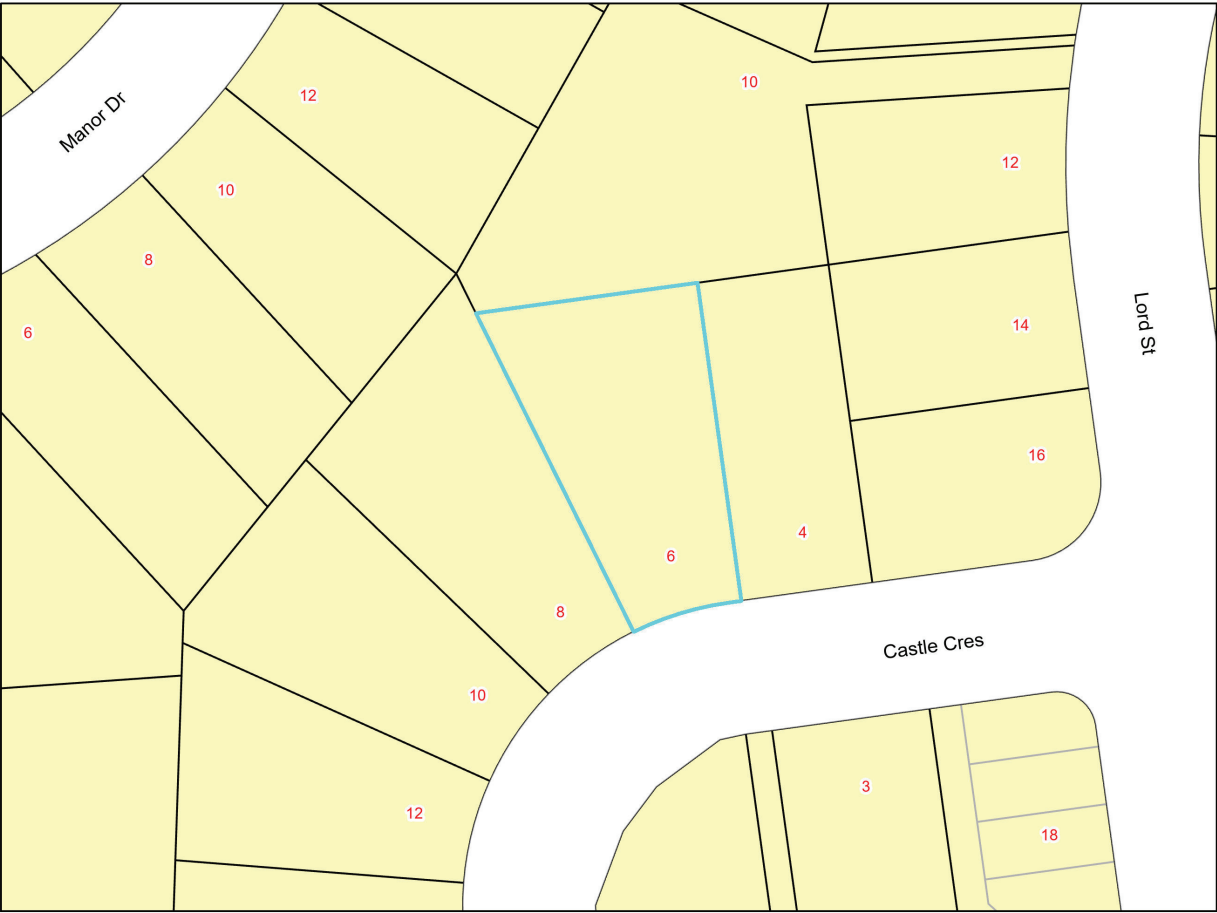
Consent Number	Description	Status	Decision Date
RM160308	New dwelling which does not comply with the building height, recession plane or earthworks permitted activity conditions	#Completed	03/02/2017

For dispensations council issued under the Town and Country Planning Act 1953, see the planning file references in the archives section.

MONITORING AND ENFORCEMENT

A resource consent relates to a property, not its owner at the time the resource consent was granted. If a building or parcel of land is sold without having satisfied the conditions of a resource consent, it becomes the responsibility of the subsequent owner to arrange council inspections and ensure compliance with resource consent conditions. Work for which the council grants a resource consent must be largely complete within five years. For the first year, the council actively monitors a project. For the next four, it makes periodic checks. See the contact list below to make inquiries about a property with an outstanding resource consent.

Contacts	Position	Phone
District Plan and resource consents	Duty Planner	04 570 6666
District Plan changes	Policy Planner	04 570 6666
Monitoring and enforcement	Monitoring and Enforcement Officer	04 560 1044



-  LIM Property
-  Properties
-  Parcels
-  Road
-  Medium Density Residential



DISTRICT PLAN

Scale: 1:634

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RMA Resource Consents

3 February 2017

Jason Russ
PO Box 30734
Lower Hutt

Brett Osborne
021 659 930
brett@osborneplanning.co.nz
Our reference: **RM160308**

Dear Jason,

**Approval of land use resource consent application for a dwelling at 6 Castle Crescent,
Stokes Valley (RM 160308)**

I am pleased to advise that, acting under delegated authority from Hutt City Council, I have granted a resource consent for the proposal at the above property (Lot 10 DP 25914) without requiring public notification.

The decision is subject to the following conditions:

1. That the proposal is carried out substantially in accordance with the information and approved plans including the following by CPS, referenced job number 112637 – Pricing A, and dated 17 October 2016;
 - Site Plan, Sheet 2,
 - Floor Plan, Sheet 3
 - Dimension Plan, Sheet 4
 - Foundation Plan, Sheet 8

And the following plans by CPS, referenced job number 112637 FWD, and dated 26 January 2017;

- Excavation Plan, Sheet 3
 - Elevations, Sheet 6
 - Elevations, Sheet 7
2. That the consent holder keeps a copy of this decision on site when work starts and makes it available on request to council staff.

3. That the consent holder re-grasses, plants or hydro-seeds any areas exposed by earthworks as soon as possible after excavation or, at the latest, within a month of completing construction; and that the consent holder redoes any seeding or planting that fails to become fully established within 12 months of completing construction.
4. That the consent holder ensures earthworks do not affect the stability of adjoining properties.
5. That the consent holder carries out all earthworks in a way that prevents dust blowing beyond site boundaries. Control measures may include use of a water cart, limiting the vehicle speed to 10 kilometres an hour, applying water to exposed or excessively dry surfaces, or applying a coating of geotextile, grass, mulch or the like.
6. That the consent holder installs and maintains sediment control measures in compliance with Greater Wellington Regional Council's erosion and sediment control guidelines (issued in September 2002).
7. That the consent holder ensures vehicles and machinery leaving the site do not drop dirt or other material on roads or otherwise damage road surfaces; and that if such spills or damage happen, the consent holder cleans or repairs roads to their original condition to the satisfaction of the Team Leader Resource Consents, being careful not to discharge the material into any stream, stormwater system or open drainage channel in the process (the term "road" includes footpaths, vehicle crossings and berms).
8. That the consent holder advises the council (enforcement@huttcity.govt.nz or (04) 560 1044) at least two working days before any work starts on site; and that the consent holder also supplies the name, phone number and address of the main contractor and, if applicable, the same details for the earthworks company.

Important notes:

- When given notice of a start date, a compliance officer will suggest an on-site meeting to run through a checklist of things to make sure the project runs as smoothly as possible. This service is included in the resource consent application fee. Using it could avoid difficulties later on. Please note that additional monitoring visits will be charged at \$150 per hour.
- Notification of work commencing is separate to arranging building inspections.

The Council has granted consent for the following reasons:

1. Everyone the Council considers may be adversely affected by the proposal has given written approval to the application (The Council is therefore unable to consider any effects of the proposal on those who have given their written approval).

2. The recession plane and maximum building height non-compliance will not be unduly dominant on the surrounding environment or result in any significant adverse effects on the residential amenity of neighbouring sites. As such, any potential residential amenity or character effects associated with these non-compliances are considered to be less than minor.
3. The proposed earthworks do not result in any significant changes to the topography of the site. The proposed earthworks that require consent will be largely covered by the proposed dwelling. Given these factors, any potential amenity or natural character effects associated with the proposal are considered to be less than minor.
4. The proposed earthworks are generally low in height and do not result in the creation of any large steep cut faces or fill batters. Furthermore, the area on the application site where the proposed earthworks are to be undertaken is not situated in an area identified as being at risk from natural hazards. Given these factors, any potential natural hazard effects associated with the proposal are considered to be less than minor.
5. The application site is not situated in a Significant Archaeological or Cultural Resource as identified in the City of Lower Hutt District Plan. As such, any potential historical or cultural effects associated with the proposal are considered to be less than minor.
6. The proposal is consistent with the objectives and policies of the city's District Plan pertaining to the General Residential Activity Area, Significant Natural Hazards, and Earthworks.
7. Pursuant to Section 108 of the Resource Management Act 1991 appropriate conditions have been imposed on the consent that mitigate the environmental effects associated with the proposal.
8. The proposal is consistent with the principles and purposes of Part 2 of the Resource Management Act 1991.

Notes:

1. In accordance with section 357 of the Resource Management Act 1991, the consent holder is able to object to the conditions of the consent. The consent holder must submit reasons in writing to the council within 15 working days of the date of this decision. A fee of \$900 is payable when lodging an objection.
2. The consent lapses, in accordance with section 125 of the Resource Management Act 1991, if the proposal is not given effect to within five years, that is, by 3 February 2022.
3. The consent applies to the application as approved by the council. The consent holder should notify the council if there are changes to any part of the plans. The council may require that the consent holder submits a new resource consent application.

4. The proposal has been assessed against the requirements of the city's District Plan. Bylaws may apply to the proposal that may require separate approval from the council before starting any site works. See www.huttcity.govt.nz for a full list of bylaws.
5. The proposal has not been checked for compliance with the Building Act 2004. No associated building work should start without first getting a building consent.
6. The consent is not a licence to create adverse effects such as unwarranted dust, noise, disruption and so on. It does not alter the legal duty to avoid, remedy or minimise such effects. The council may enforce the provisions of the Resource Management Act 1991 if the consent holder fails to meet this obligation.
7. Failure to comply with an abatement notice may result in the council imposing an infringement fine or initiating prosecution.

Yours sincerely,



Brett Osborne
Senior Resource Management Planner (Consultant)

Peer reviewer:



Tim Johnstone
Team Leader Resource Consents

Application lodged: 14/12/2016
S92 request: 16 January 2017
S92 response: 26 January 2017
Application approved: 3 February 2017
Working days to process application: 13

NOTIFICATION REPORT

1. The proposal:

The application seeks resource consent to construct a new dwelling on an existing vacant lot at 6 Castle Crescent, Stokes Valley, Lower Hutt.

The proposed dwelling would be two storeys in height and would be located near the boundary fronting Castle Crescent. The proposed dwelling would be located 3.05m from the southern (front) boundary of the site and 1.56m from the eastern (side) boundary. The footprint of the proposed dwelling is 101.2m² representing less than 14% site coverage.

Due to the steep slope, earthworks (up to 4.3m in height) will be required to create part of the building platform for the eastern portion of the dwelling. The proposed earthworks involve cuts to allow for the lower level, driveway and upper level of the dwelling, with maximum height of 3.4m and a total volume of 42.2m³, and fill with a maximum height of 4.3m to create the front yard. Part of the building platform will be on piles due to the sloping nature of the site.

2. The site:

The application site is a 732m² freehold lot situated at 6 Castle Street, Lower Hutt. The site is currently vacant. The site slopes steeply downwards from south to north. The site is densely vegetated at the bottom of the slope. The property fronts directly onto Castle Crescent and shares a side boundary with 4 & 8 Castle Crescent and the rear boundary with 10 Lord Street positioned below the site.

The application site is situated in the General Residential Activity Area of the District Plan. There are no site specific notations or restrictions in the District Plan that would affect this proposal.

The application site is legally described as Lot 10 DP 25914 on the Computer Freehold Register 425302. There are no consent notices or other restrictions registered on the title that would affect this proposal.

3. Activity status:

The earthworks non-compliance is considered to be a Restricted Discretionary Activity under Rule 14I 2.2 (a) which states: *"In all activity areas except Special Recreation Activity Area, Passive Recreation Activity Area, Hill Residential Activity Area, and the Landscape Protection Residential Activity Area, earthworks which fail to comply with any of the Permitted Activity Conditions"*. There are no relevant conditions.

The proposed recession plane and maximum building height non-compliance is a Discretionary Activity under Rule 4A 2.4(a), which states: *"Except where stated in the General Rules, any Permitted, Controlled or Restricted Discretionary Activity, which fails to comply with*

any of the relevant Permitted Activity conditions, or relevant requirements of Chapter 14 – General Rules”.

Due to the process of bundling a consent into the most onerous category, the land use consent is considered to be overall a Discretionary Activity.

4. The District Plan rule which the proposal does not comply with:

4A 2.1.1 (c) Recession Planes: For all buildings and structures, and from all site boundaries: 2.5m + 45°.

The proposed dwelling encroaches through the recession plane requirement at the eastern boundary by up to 3.44m and the recession plane requirement at the western boundary by up to 3.10m.

4A 2.1.1 (d) Maximum Height of Buildings and Structures:

Maximum Height of Buildings and Structures: 8m, Maximum overall height may not exceed 13m.

The proposed dwelling exceeds the 8m maximum height by 3.6m and the maximum overall height by approximately 0.5m.

14I 2.1.1 (a) Ground Level: The natural ground level may not be altered by more than 1.2m, measured vertically. (b) Quantity: Maximum volume of 50m³ (solid measure) per site.

The height of the proposed earthworks are a maximum of 4.3m and will result in 82.2m³ of material being removed.

5. Permitted baseline:

The relevant permitted baseline for the subject property is for a dwelling with associated accessory buildings to be constructed on the site. The dwelling could have a maximum height of up to 8 metres, be within the required recession planes, be setback 1m from side and rear boundaries and 3m from the front boundary, and result in structures covering no more than 35% of the net site area and have a building length of up to 20 metres. However, in this case the site topography is such that attempting to construct a permitted dwelling would invariably require earthworks that are likely to exceed permitted standards. As such, while the District Plan anticipates a dwelling on the site, it is not considered a permitted baseline is relevant in this case as a resource consent would be required in order to accommodate a dwelling complying with the permitted standards.

6. Potential adverse environmental effects of proposal:

- Residential Character and Visual Amenity Effects
- Existing Natural Features and Topography
- Natural hazards
- Temporary construction effects;
- Historical or Cultural Significance effects

7. Has the applicant requested notification?

No.

8. Is there sufficient information to consider the application?

Yes. The provisions of section 95C triggering automatic notification when an applicant does not supply enough information, and still fails to do so when asked, do not apply in this case.

9. Which properties are adjacent to the site, as defined by section 95D(a)?

I consider the properties at 3, 4, 5, and 8 Castle Crescent, and 10 Lord Street to be adjacent to the site. Therefore I must disregard any effects on the owners and/or occupants of these properties for the purposes of s95D. I must also disregard any effects on any person who has given written approval.

10. Having regard to section 95A, are the potential adverse effects on the environment minor?

Residential Character and Visual Amenity Effects

The proposed dwelling is a size and scale that is consistent with a number of other residential dwellings that have been constructed on the properties that surround the application's site. However, the proposal breaches the maximum height and building recession planes of the northern and southern boundaries. As such the proposal could have adverse bulk and dominance effects on the character and amenity of the wider surrounding residential area.

The topographical nature of the application site means that the part of the dwelling exceeding maximum height will not be higher than the part of the dwelling at the front boundary that complies with the maximum height when viewed from the road and neighbouring properties. Due to this, the non-compliance will not be visually prominent when viewed from the Castle Crescent streetscape and would be generally in keeping with the character of Castle Crescent. From the wider environment, the scale of the dwelling is viewed from a distance within the context of the steep sloped site of which it represents only 14% site coverage. As such, the effect of bulk and scale is largely mitigated by the context and any potential visual amenity and character effects associated with the maximum height exceedance are considered to be less than minor.

The proposed dwelling breaches the recession plane non-compliance on the side (eastern and western) boundaries of the property. The recession plane non-compliance does not result in a level of building bulk that is overly dominant or inconsistent with the established character of the local surrounding environment. Furthermore, any additional shading effects beyond that of a complying dwelling are limited to the adjacent properties and would be largely indiscernible on the wider environment. As such, any potential visual amenity and character effects associated with the recession plane breach of the proposed dwelling are considered to be less than minor.

The proposed earthworks affect only a small portion of the site and are limited to the eastern portion of the dwelling near the frontage to Castle Crescent in order to provide a flat building platform for the proposed dwelling. The earthworks will be largely covered or screened by the proposed dwelling. The proposed earthworks will not result in the creation of any permanently exposed surfaces. As such, any potential visual amenity effects associated with the proposed earthworks are considered to be less than minor.

Effects on Existing Natural Features and Topography

The District Plan seeks to ensure that earthworks are sympathetic to the character of the local environment. The proposed earthworks are modest in scale and are required to create the building platform for the proposed dwelling. The proposed earthworks do not result in any significant changes to the topography of the site and will be largely screened by the proposed dwelling. Given these factors, any potential effects on the existing natural features and topography of the site arising from the proposal are considered to be less than minor.

Natural Hazard Effects

The area of the application site where the proposed earthworks are to be undertaken does not appear to be prone to erosion, landslip or flooding. The proposed earthworks are modest in height. The earthworks are generally well separated from the boundaries of the site. It is therefore considered that the proposal will not increase the risk to people or property as a result of a natural hazard event.

Construction Effects

Any adverse construction effects associated with the proposal will be temporary and comparative to the effects associated with the construction of a permitted building on the site. As such, any adverse construction effects associated with the proposal are considered to be less than minor.

Historical and Cultural Effects

The application site is not situated in a Significant Archaeological or Cultural Resource as identified in the City of Lower Hutt District Plan. As such, any potential historical or cultural effects associated with the proposal are considered to be less than minor.

11. In accordance with section 95E, are there any parties adversely affected by the proposal?

Yes. Section 95E(3)(a) stipulates that those individuals who give written approval to a proposal cannot be considered to be an “affected party”. Written approval from the following people has been provided:

- Angela Angus, owner of 4 Castle Street, Stokes Valley, Lower Hutt
- Lenny Sue Ying Tan, owner of 8 and 10 Castle Crescent, Stokes Valley, Lower Hutt

While the proposed dwelling has two moderately large recession plane non-compliances, these non-compliances are limited to the neighbouring properties (whose owners and

occupiers have given written consent to the proposal). These recession plane non-compliances do not result in a level of building bulk that is overly dominant or inconsistent with the established character of the local environment. Any effect of these breaches beyond those identified adjacent properties is considered mitigated by distance and aspect of relationship so that the effect would be less than minor.

The proposed dwelling does not breach any permitted activity standards in relation to the common northern shared boundary with 10 Lord Street. The dense vegetation at the boundary between the two properties will screen the proposed dwelling from the neighbours to the north. The separation distance of the proposed dwelling position from the property and dwelling at 10 Lord Street would mitigate any visual effects associated with the non-compliances. The residential visual and amenity effects of the proposed dwelling on the adjoining neighbours at 10 Lord Street are considered to be less than minor. No other properties would be adversely affected due to the distance of separation, orientation, aspect and difference in elevation.

Overall, I consider the effects to be less than minor on any other party for the following reasons:

- The proposal involves the construction of a dwelling on a site that has been previously approved with the intention to contain residential development. While the proposed dwelling does not comply with the recession plane or maximum height requirements of the District Plan, it is considered that the effects of this non-compliance on any party will not be materially different than what the District Plan anticipates for the site (being a two storey dwelling, up to 8m in height). The dwelling design is a pragmatic response to the constraints of the steeply sloped site. As such, any potential effects arising from the proposed dwelling on the amenity values of any other property owners and occupier are considered to be less than minor.
- The proposed earthworks will not be visually prominent when viewed from the neighbouring properties. The proposed earthworks will be screened in time by the proposed dwelling and there will be no permanently exposed surfaces arising from their undertaking. The proposed earthworks will not result in any significant changes to the landform of the site and there will be no large permanently exposed cut faces or fill batters arising from their undertaking. Standard practice erosion and sediment controls during earthworks and construction can adequately manage any adverse effects of sediment loss and surface water runoff from the site. Stability will be addressed through the building consent process. Given these factors, any potential effects arising from the proposed earthworks on any party are considered to be less than minor.
- The application site is not situated in a Significant Archaeological or Cultural Resource as identified in the City of Lower Hutt District Plan. As such, any potential effects on the resulting heritage or cultural values of the property on any party are considered to be less than minor.
- Any adverse construction effects associated with the proposal would be temporary and comparative to the effects associated with the construction of a permitted building on the site. As such, any adverse construction effect associated with the proposal are

considered to be less than minor.

- 12. In accordance with section 95E(3)(b), is it unreasonable to require the written approval of anyone?**

No.

- 13. In accordance with section 95A(4), are there any special circumstances that warrant notification of the application?:**

No.

- 14. Decision:**

Non-notification under sections 95D and 95E(3) because the environmental effects are less than minor.

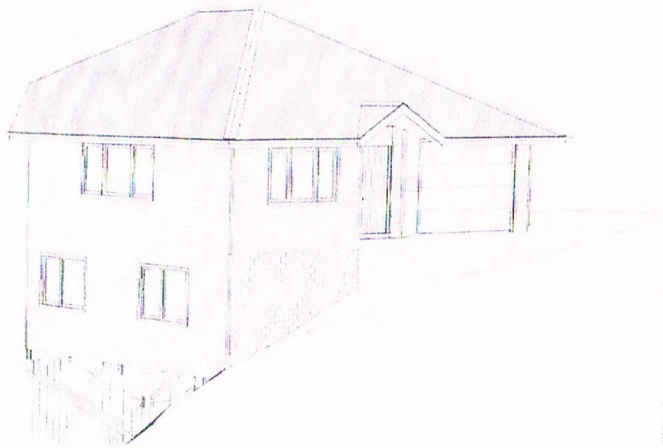


Brett Osborne
Senior Resource Management Planner (Consultant)

Peer reviewer:



Tim Johnstone
Team Leader Resource Consents



PROPOSED DWELLING

FOR

Authentic Kiwi Building
AT

6 Castle Crescent,
Stokes Valley,
Lower Hutt

Sheet Index

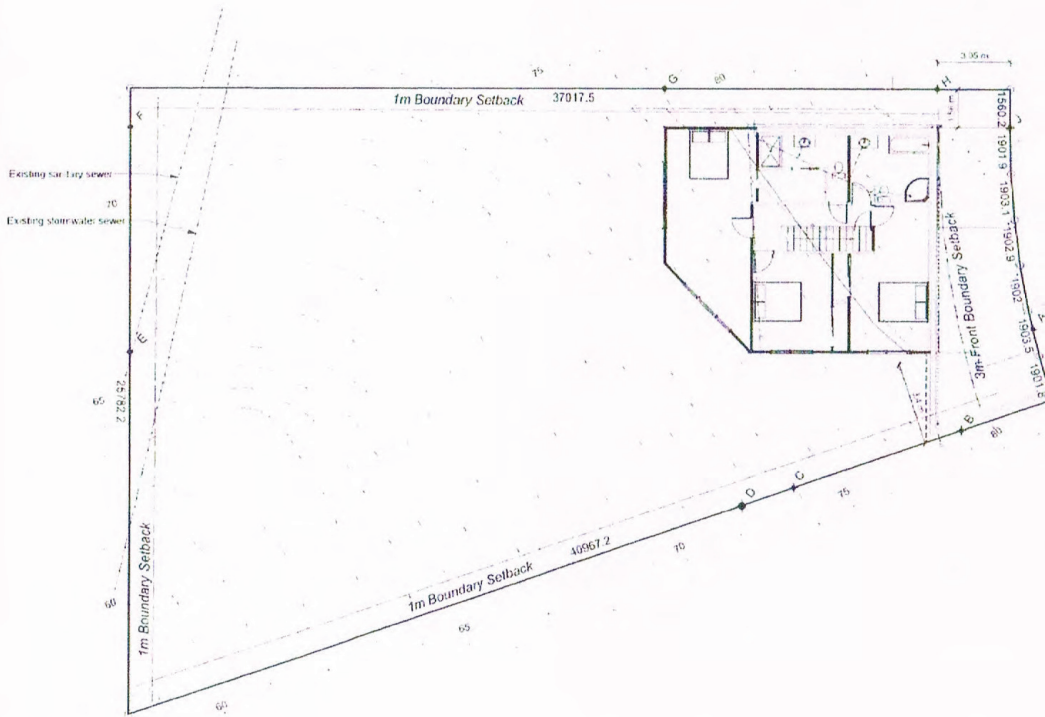
- 1 - Cover Sheet
- 2 - Site Plan
- 3 - Floor Plan
- 4 - Dimension Plan
- 5 - Elevations
- 6 - Elevations
- 7 - Drainage Plan
- 8 - Foundation Plan
- 9 - Bracing Plan
- 10 - Bracing Details
- 11 - Cross Section A - A
- 12 - Part Section B-B
- 13 - Framing Details

Client Sign
Off
Date



Masterton PH 06 370 1390

Date: 17/10/2016	Sheet #
Job # 112537 - Pricing A	1 of 13
Scale	Plan Ref.



Notes:

See Barriers and Hoardings as Per F5/AS.1 if specific hazards exist

Adequate slip resistance for walking surfaces as per D1/AS1 Table 2

BUILDING CONTRACTOR TO ASSESS SITE TO ENSURE DAYLIGHTING & BUILDING RESTRICTIONS ARE COMPLIED WITH. NO LIABILITY FOR ENCROACHMENT SHALL BEHELD BY DESIGNER IF SITE IS NOT SURVEYED BY A REGISTERED SURVEYOR PRIOR TO COMMENCEMENT OF FOUNDATIONS.

Contractor Note:

Contractor to ensure final building platform & finished ground have an even fall away from building to ensure water not be allowed to accumulate in buildings yard/box. Any ME to be dry & approved by engineer & completed down in accordance with NZS 3604:2011

Confirm ground has adequate bearing to comply with NZS 3604:2011

Locate and confirm Datum and FFI

Locate all service connections points on site prior to commencement of works. Check invert levels or pipes and manholes

Confirm all frame and foundation dimensions, plus plumbing route and fixture positions on site are correct prior to commencement of works. Confirm site boundary bearings, lengths & peg locations on site prior to commencement of work to ensure building positions is correct

Sediment and runoff control shall be installed by the licensed building practitioner prior to or during the earthworks for the project. The sediment controls shall be installed in accordance with the requirements of the District Council in accordance with the Resource Management Act (1991).

LOT 10

DP: 25914

TOTAL SITE AREA: 732m²

SITE COVERAGE: 101.2m² / 13.83%

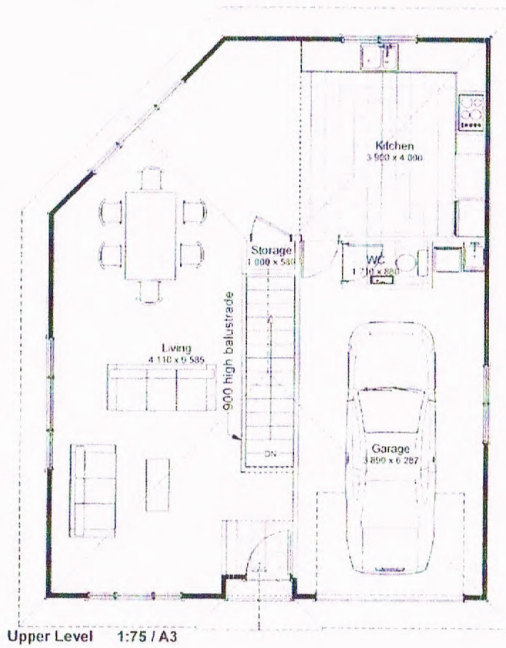
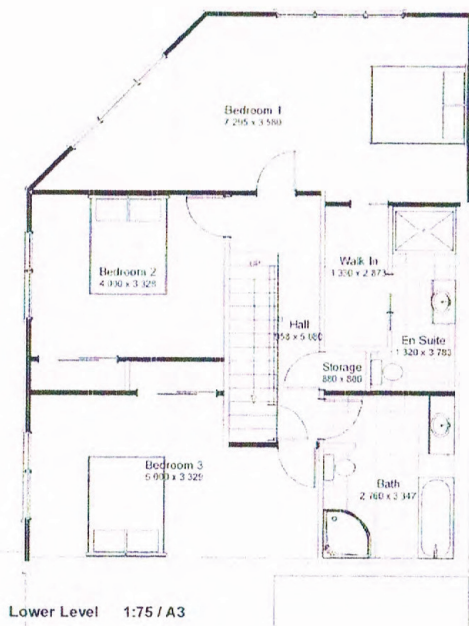


Client Sign
OR
Date

Proposed Dwelling of 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Authentic Kiwi Building Contact:	Ref. # Date Comments	District Plan Hutt City Council General Residential Zone Wind Zone Very High Snow Load X-XkPa	EQ Zone 3 Climate Zone 2	Geotech Class TBC Exposure Zone C	Concept Drawn Pricing Drawn FWD Drawn LRP	ZG les -- M.B.	5/07/16 -- 12/2007	Date: 17/10/2016 Job #: 112937 - Pricing A Site Plan Scale: A3/1:150	Sheet of 2 of 13 Plan Ref.:
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Masterplan PH 03 370 1390



Notes:

Always cross reference the foundation plan with the floor plan prior to setting out. Window and door openings, sizes shown are box sizes & are preliminary only. Site measure and confirm all opening sizes. Inform designer any changes PRIOR to ordering joinery. No liability shall be held by designer for incorrect supply of joinery. Refer to attached pre-cut design & documents for all label sizes, truss & top plate layout. Contractor to refer to truss manufacturers producer statements for any further load bearing ceiling rafter thicknesses that may be required to support roof loads. This layout is preliminary. Read in conjunction with final PS1 & pre-cut design & documents. If a discrepancy occurs contact pre-cut manufacturer or contact designer immediately.

Safety from Falling

Adequate slip resistance for walking surfaces as per D1AS1 Table 2.

Insulation

All external walls R2.6 insulation (excluding garage)
 All ceilings insulated R3.2 insulation (excluding garage)
 Internal walls R2.6 insulation between garage & inhabitable house

Artificial Light

Minimum illumination 20 lux in each habitable room to meet compliance with G8.

Warning Systems

Smoke Alarm with hush button to comply with F-7.

Legend:

- Exterior wall
- Interior wall
- Loadbearing wall

Floor Coverings Key

Refer to specs for locations

- Carpet or underlay
- Slip resistant vinyl tile
- elevations

Lower Footprint : 101.2m²

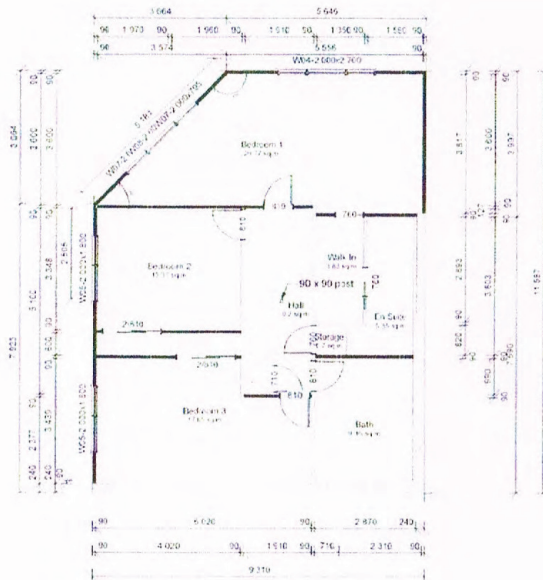
Lower Perimeter: 39.65m
(OVER FRAME)

Upper Footprint : 100.6m²

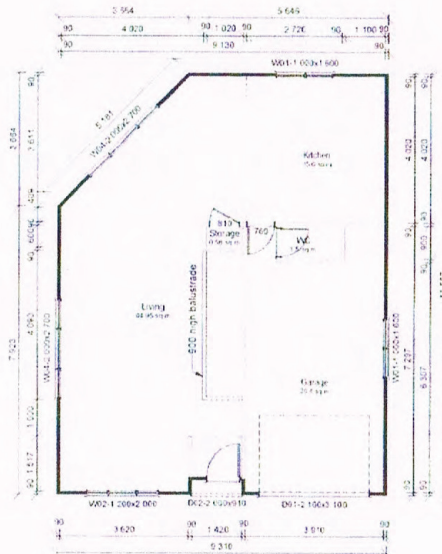
Upper Perimeter: 40.65m
(OVER FRAME)

Total Footprint : 201.8m²
(OVER FRAME)

Proposed Dwelling at 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Authentic Kiwi Building Contact:	Read with Amendments		District Plan		Concept Drawn		Date		Sheet #	
	Ref #	Date	Comments	Hutt City Council	Pricing Drawn	Yes	5/07/16	Job #	112537 - Pricing A	3 of 13
				General Residential Zone	FWD Drawn	Yes	5/07/16	Floor Plan		
				Wind Zone Very High	LB	M.B.	122037	Scale	A3 1:75	Plan Ref
				Soave Load X-KkPa	Climate Zone 2	Exposure Zone C				



Lower Level 1:100 / A3



Upper Level 1:100 / A3

Notes:

All sockets on LHS unless noted otherwise - 600mm - Awning.
All vision rails shall be a height of 800mm.

Glazing

Grade A safety glass to be fitted to all doors and windows within 500mm of FFL.
Grade A safety glass to be fitted to Laundry window.
Opaque Grade A safety glass to be fitted to Bathroom. To comply with F2/AS1.
Site measure and confirm sizes and details prior to fabricating any joinery.
Window and door manufacturer to show compliance with all relevant standards and provide warranty.

Natural Light & Ventilation

All glazing in habitable rooms have greater than 10% natural light for area of floor, to comply with NZBC clause G7 Natural Light.
All habitable and amenity rooms have greater than 5% natural ventilation / area of floor, to comply with NZBC clause G4 Ventilation.
All habitable rooms have a visual awareness of outside activity.

Dimensioning

All openings at exterior walls to be centred in room or located as dimensioned. Dimensioning as shown to wall frame.

EXTERIOR WINDOW SCHEDULE			
NUMBER	QTY	WIDTH	HEIGHT
W01	2	1800	1350
W02	1	2000	1200
W03	3	1200	1350
W04	2	1800	1350
W05	2	750	1350
W06	1	1500	1350

EXTERIOR DOOR SCHEDULE			
NUMBER	QTY	WIDTH	HEIGHT
D01	1	1500	1750
D02	1	1500	1750

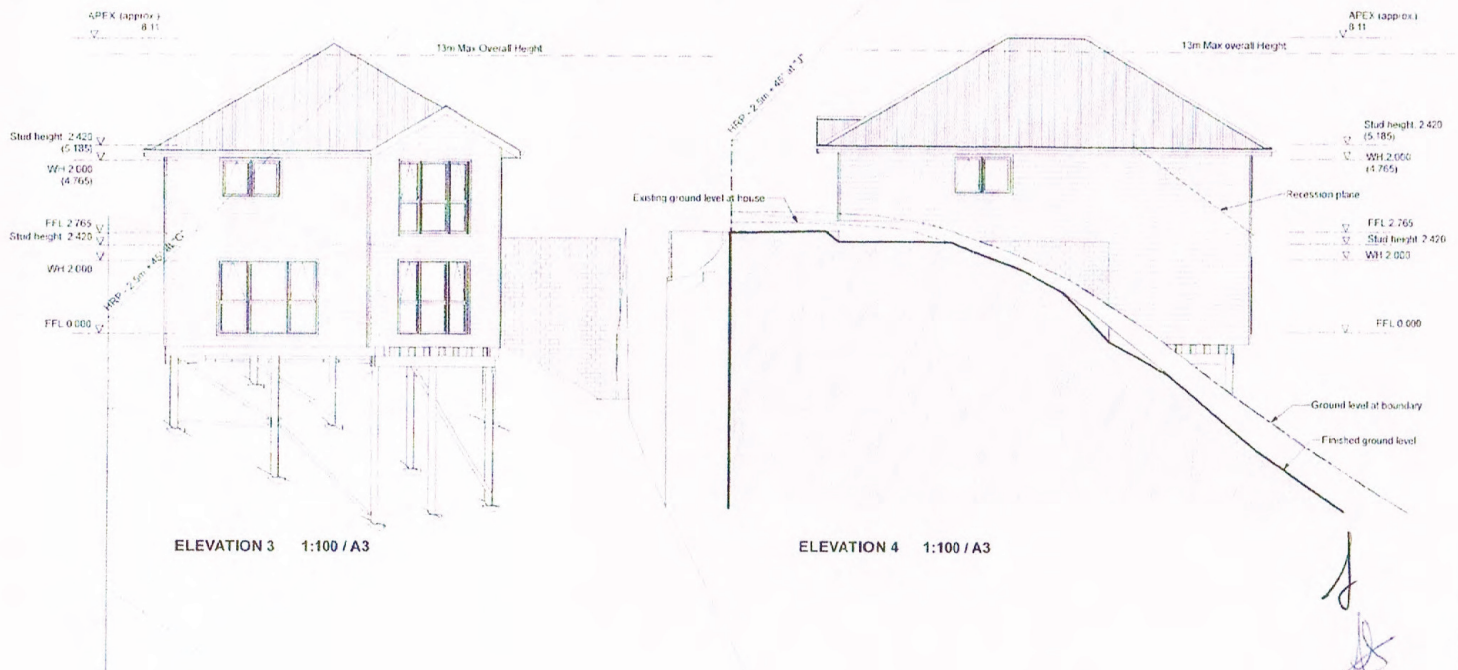
Client Sign
DP
Date

Proposed Dwelling at 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Authentic Kiwi Building Contact:	Ref. #	Read with Amendments: Date: Comments:	Disturb Plan Hutt City Council General Residential Zone Wind Zone Very High Snow Load X-XkPa	E.C. Zone 3 Climate Zone 2	Geotech Class TBC Exposure Zone C	Concept Drawn ZG 5/07/16 Pricing Drawn Yes FWD Drawn LBP M.B. 12/09/17	Date 17/10/2016 Job # 112937 - Pricing A Dimension Plan Scale A3 / 1:100	Sheet # 4 of 13 Plan Ref.
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Notes

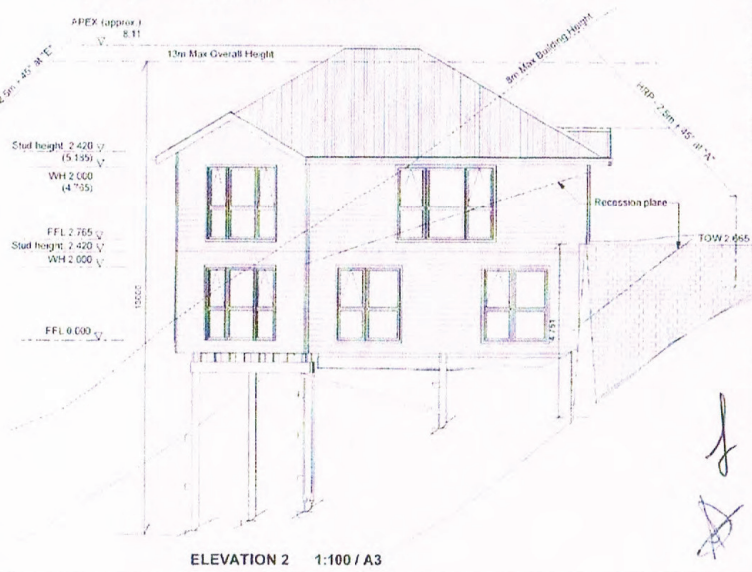
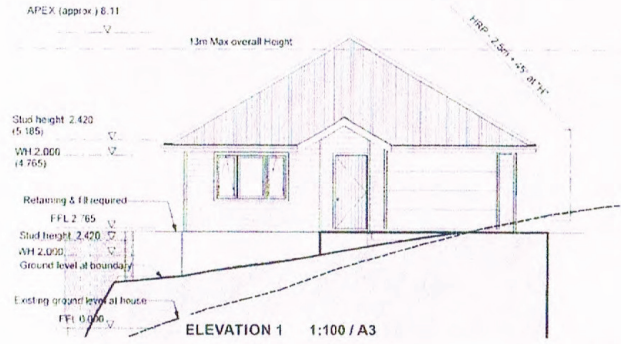
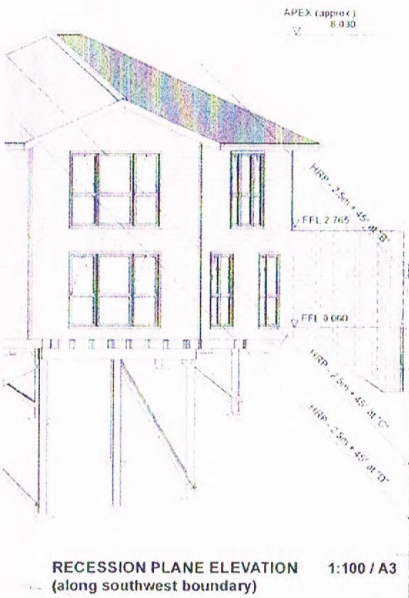
CROSS REFERENCE NOTES BETWEEN ELEVATIONS AS TYPICAL

HHP - 2.5m x 45° at 9°



Client Sign
Off
Date

Proposed Dwelling at 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Authentic Kiwi Building Contact:	Ref. #	Read with Amendments Date Comments	District Plan Hutt City Council General Residential Zone	Concept Drawn Pricing Drawn FWD Drawn	ZG les --	5/6/16 --	Date: 17/10/2016 Job # 112537 - Pricing A Elevations	Sheet # 6 of 13
			Wind Zone Very High Snow Load X-XMPa	EQ Zone 3 Climate Zone 2	Geotech Class TBC Exposure Zone C	LBP M B 122007	Scale: A3/1:100	Plan Ref.



Notes:
BUILDING CONTRACTOR TO ASSESS SITE TO ENSURE DAYLIGHTING & BUILDING RESTRICTIONS ARE COMPLIED WITH. NO LIABILITY FOR ENCROACHMENT SHALL BE HELD BY DESIGNER IF SITE IS NOT SURVEYED BY A REGISTERED SURVEYOR PRIOR TO COMMENCEMENT OF FOUNDATIONS.

CROSS REFERENCE NOTES BETWEEN ELEVATIONS AS TYPICAL

Glazing
Grade A safety glass to be fitted to doors and windows within 500mm of FFL and Laundry window.
Obscure Grade A safety glass to be fitted to Bathrooms. To comply with F2: A5.1.
Side windows and eaves sizes and details prior to fabricating any joinery.
Window and door manufacturer to show compliance with all relevant standards and provide warranty.

Floor
Engineered Foundation (see engineer's notes & details)

Cladding
Direct fixed Palisade with 2-piece soakers & corners.

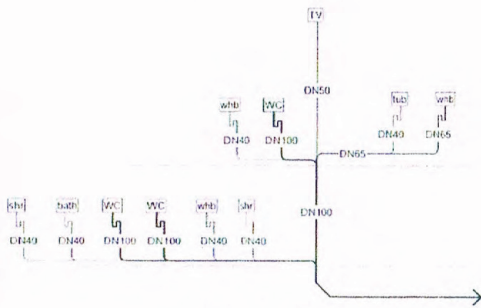
Roof
Corrugated Coloursteel Endura
30° pitch
300mm overhang 450 to gable ends

Fascia & Spouting
Klass Coloursteel Fascia & spouting with Marley uPVC downpipe system

Joinery
Aluminium with double glazing (Excluding Garage)

Client Sign
Off
Date

Proposed Dwelling at 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Authentic Kiwi Building Contact:	Ref #	Read with Amendments Date Comments	Dotted Plan Hutt City Council General Residential Zone Wind Zone: Very High Snow Load: X-KPa	E3 Zone: 3 Climate Zone: 2	Geotech Class: TBC Exposure Zone: C	Concept Drawn Pricing Drawn FWD Drawn LBP	ZG Yes M B	5/07/16 122007	Date: 17/10/2016 Job #: 112337 - Pricing A Elevations Scale: A3 / 1:100	Sheet # 5 of 13 Plan Ref:
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Drainage Schematic (not to scale)

Key

- ovg shows location of overflow relief gully
- gt shows location of gully trap
- ip shows location of pipe inspection point
- tv shows location of 60mm terminal vent (for maximum 20 future drainage units) - terminate 150mm above roof with vermin proofing cone and flash penetration with Deklite boot flashing
- dp shows location of Ø90mm downpipe

Downpipe Calcs

14-15 Table 2
74mm diameter (min. internal sizes) @ 25-35° services 70m² of roof.
Total Roof Area = 129m²
Therefore 129m² / 70m² = minimum 2 downpipes required
3 of 90mm coloured steel downpipes supplied

External Gutter Calcs

Guardant gutter: 5550mm² cross section
5550mm² Cross Sectional Area per 40m² of roof with 25-35° pitch @ 160mm/hr rainfall intensity

NOTES

All Plumbing & Drainage Design to AS/NZS 3500.2
Registered Plumber/Drainlayer to carry out all drainage work and provide as built drawings prior to locking any bench or covering any work.
Main Contractor to confirm location of any existing drains, all services, connections, invert levels, boundary setbacks, and restrictions on site prior to earthwork excavation or any other work.

Relationship of Pipe Trench to Building Foundation
Refer to E1 AS1 section 3.3.7 Figure 14

Drain Bedding/Backfilling
Refer to E1 AS1 Figure 13

Pipe Size and Gradient

Main Drain: DN 100 at 1:60
Ensuite:
WC: DN100 future pipe to DN 100 stack at 1:60
Bath: DN 40 future pipe to DN 100 branch drain at 1:40 to DN 100 stack at 1:60
Shower: DN 40 future pipe to DN 100 branch drain at 1:40 to DN 100 stack at 1:60
Bathroom:
WC: DN100 future pipe to DN 100 stack at 1:60
Bath: DN 40 future pipe to DN 100 branch drain at 1:40 to DN 100 stack at 1:60
Shower: DN 40 future pipe to DN 100 branch drain at 1:40 to DN 100 stack at 1:60
Kitchen:
Sink: DN 65 future pipe to DN 100 stack at 1:60
Laundry:
Tub: DN 50mm to DN 100mm branch drain at 1:40 to DN 100 stack at 1:60
WC:
DN100 future pipe to DN 100 stack at 1:60
Bath: DN 40 future pipe to DN 100 branch drain at 1:40 to DN 100 stack at 1:60

All Stormwater Drainage to E1/AS1

All stormwater drains shall be 100mm min. diameter uPVC @ 1:120 gradient

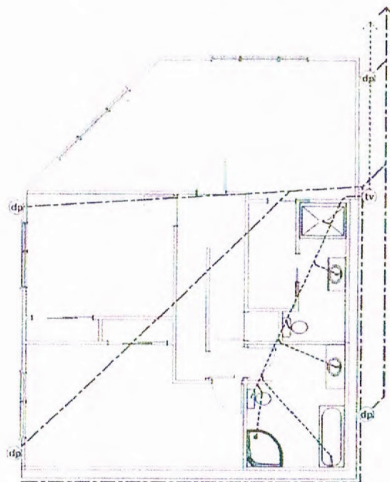
Water Pipe G12/AS1 (AS/NZS 2642: PL1, 2 & 3)

All water pipe Polyethylene
Pipe to shower - Ø20mm
Pipe to basin and WC - Ø15mm
Pipe supports located at 1.5m max. in vertical pipe run, and 0.75m max. at horizontal pipe run.
Pipe design for runs no greater than 20m

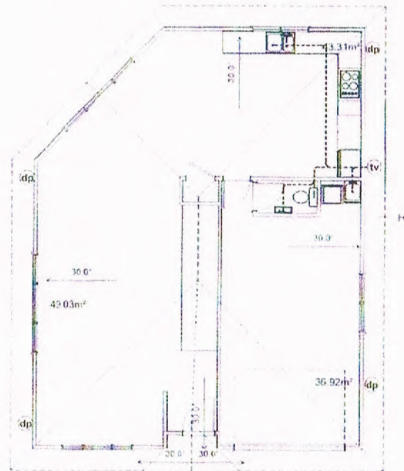
Gas
Rheem 27 Natural

Insulation

Thermal insulate pipe work as required to Section 3 NZS 3550



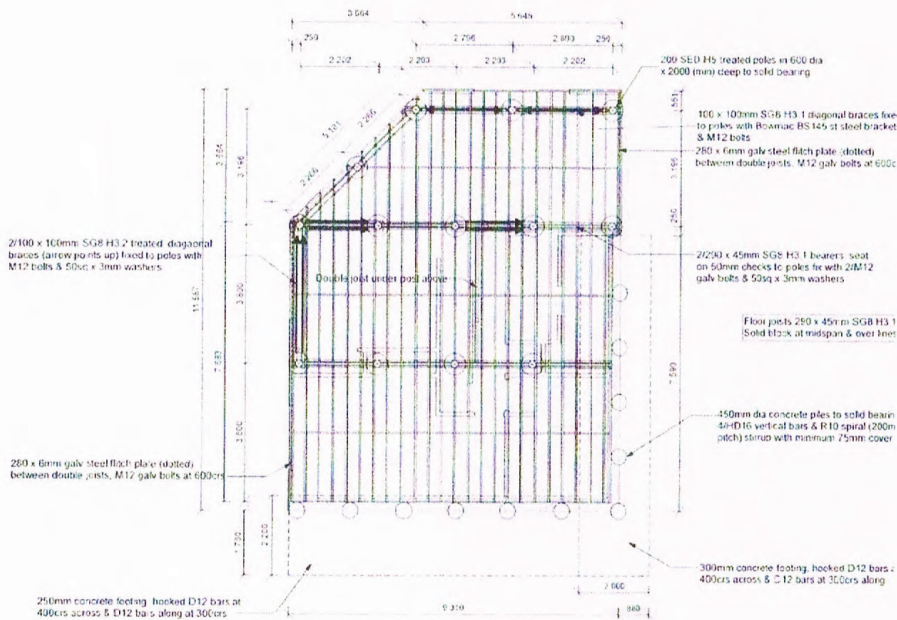
Lower Level Drainage Plan



Upper Level Drainage Plan

Client Sign
Off
Date

Proposed Dwelling at 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Authentic Kiwi Building Contact:	Ref. #	Read with Amendments Date Comments	District Plan				Concept Drawn	ZG	5/6/16	Date: 17/10/2016	Sheet #		
			Hutt City Council General Residential Zone				Pricing Drawn	Yes	---	Job # 112637 - Pricing A	7	of 13	
			Wind Zone	EQ Zone	Geotech	Class	TBC	FWC Drawn	--	---	Drainage Plans		
			Very High	3									
			Snow Load	Climate Zone	Exposure	Zone	C	LBP	M B	12/2007	Scale: A3 / 1:100	Plan Ref.	
			X - XkPa	2									



Main Contractor to cross reference all floor and frame dimensions prior to commencing any work.

Always cross reference the foundation plan with the floor plan prior to setting out.
Contractor to refer to truss manufacturers predictor statements for any further load bearing / slab thicknesses that may be required to support roof loads.
The contractor shall accurately locate the position of all public drains on site prior to starting work. If any discrepancies are found in these drawings then the contractor must contact the designer before proceeding with any further works.
Confirm layout & settings of kitchens, bathrooms and laundry etc before foundation commences.

Concrete Floor Construction Notes

Ensure granular hardfill is evenly compacted down in max. 150mm layers to form a solid base with bearing capacity greater than 300kPa. Sand blinding to be 50mm - 25mm max. to cover hardfill to ensure the vapour barrier is protected from any granular protrusions. Conclude floor to comply with NZS 3109 surface tolerances & NZS 3114, maximum deviations of 3mm.

Refer to details for slab thickenings required under load bearing walls.

Refer to details for pad thickenings under pointloads from truss framing.

CONTRACTOR TO REFER TO TRUSS MANUFACTURERS PREDICTOR STATEMENTS TO CONFIRM LOCATION.

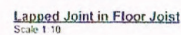
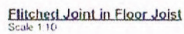
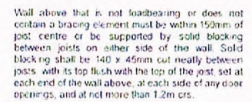
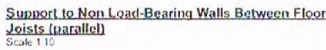
The bay dimensions formed by either construction or shrinkage control joints shall be limited to a maximum length to width ratio of 2:1. Maximum bay dimensions in exposed concrete, vinyl or tiled areas to be 6m x 6m at per NZS 3604 2011 - Section 7, items 7.5.6.4.

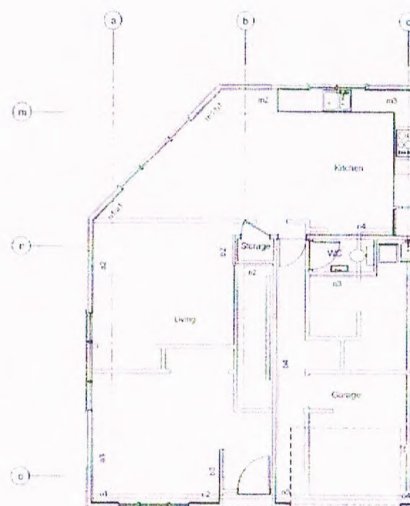
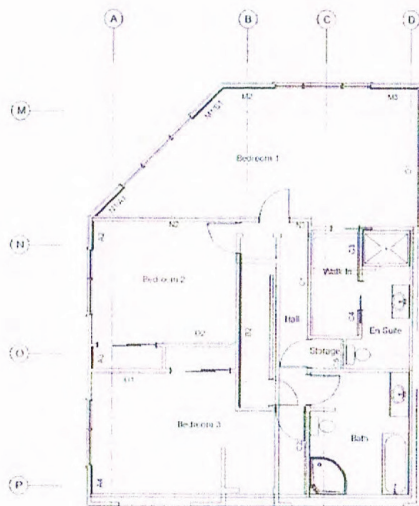
SG shows 25mm deep sawn shrinkage control joints placed after slab has hardened and no later than 24 hours after slab is placed.

Slab dimensions have been reduced 10mm to provide a drip.
Slab dimensions have been increased by 120mm to provide a 70mm brick with 50mm cavity.

Client Sign
Off
Date

Proposed Dwelling at 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Authentic Kiwi Building Contact:	Ref #	Read with Amendments Date Comments	Disturb Plan Hutt City Council General Residential Zone Wind Zone Very High Snow Load X-XkPa	EQ Zone 3 Climate Zone 2	Geotech Class TBC Exposure Zone C	Concept Drawn Pricing Drawn FWD Drawn LBP	ZG ies -- M B	5/07/16 -- 12/29/17	Date 17/10/2016 Job # 112637 - Pricing A Foundation Plan Scale	Sheet # 8 of 13 Plan Ref
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Notes:

No power points or light switches situated within 50mm of edge of bracing element or as specified by manufacturers literature.

Read in conjunction with GIB Ezybrace, calculations attached to Technical Literature in Specs.

Label	W/DTH	Type	Material	Fixed Boundary Length
A2	7.71	BL1-H	GIB BRACELINE ONE SIDE	YES 0.4M
A3	2.62	BL1-H	GIB BRACELINE ONE SIDE	YES 0.4M
A4	8.45	BL1-H	GIB BRACELINE ONE SIDE	YES 0.4M
B2	4.22	BL1-H	GIB BRACELINE ONE SIDE	YES 0.4M
G1	2.99	G52-N	GIB STANDARD BOTH SIDES	NO 0.4M
C2	2.97	G51-N	GIB STANDARD ONE SIDE	NO 0.4M
C3	15.00	G51-N	GIB STANDARD ONE SIDE	NO 0.4M
C4	9.00	G51-N	GIB STANDARD ONE SIDE	NO 0.4M
C5	8.00	G52-N	GIB STANDARD BOTH SIDES	NO 0.4M
D1	3.87	G51-N	GIB STANDARD ONE SIDE	NO 0.4M
D1-B1	1.06	BL1-H	GIB BRACELINE ONE SIDE	YES 0.4M
D2	4.43	BL1-H	GIB BRACELINE ONE SIDE	YES 0.4M
D3	13.06	BL1-H	GIB BRACELINE ONE SIDE	YES 0.4M
D1-B1	1.06	BL1-H	GIB BRACELINE ONE SIDE	YES 0.4M
D2	4.43	G52-N	GIB STANDARD BOTH SIDES	NO 0.4M
D3	26.59	G52-N	GIB STANDARD BOTH SIDES	NO 0.4M
D2	28.43	G52-N	GIB STANDARD BOTH SIDES	NO 0.4M

Label	W/DTH	Type	Material	Fixed Boundary Length
A2	2.45	G51-N	GIB STANDARD ONE SIDE	NO 0.4M
A3	2.67	G51-N	GIB STANDARD ONE SIDE	NO 0.4M
A4	8.25	G52-N	GIB STANDARD BOTH SIDES	NO 0.4M
B2	1.95	G52-N	GIB STANDARD BOTH SIDES	NO 0.4M
B4	1.67	G52-N	GIB STANDARD BOTH SIDES	NO 0.4M
C1	7.52	G51-N	GIB STANDARD ONE SIDE	NO 0.4M
C2	12.30	G51-N	GIB STANDARD ONE SIDE	NO 0.4M
C1-B1	1.29	G51-N	GIB STANDARD ONE SIDE	NO 0.4M
C2	25.39	G51-N	GIB STANDARD ONE SIDE	NO 0.4M
C3	15.00	G51-N	GIB STANDARD ONE SIDE	NO 0.4M
C1-B1	1.29	G51-N	GIB STANDARD ONE SIDE	NO 0.4M
C2	17.13	G52-N	GIB STANDARD BOTH SIDES	NO 0.4M
C3	9.00	G52-N	GIB STANDARD BOTH SIDES	NO 0.4M
C4	10.42	G51-N	GIB STANDARD ONE SIDE	NO 0.4M
D1	3.85	BL1-H	GIB BRACELINE ONE SIDE	YES 0.4M
D2	4.43	BL1-H	GIB BRACELINE ONE SIDE	YES 0.4M
D3	4.43	BL1-H	GIB BRACELINE ONE SIDE	YES 0.4M
D4	4.75	BL1-H	GIB BRACELINE ONE SIDE	YES 0.4M

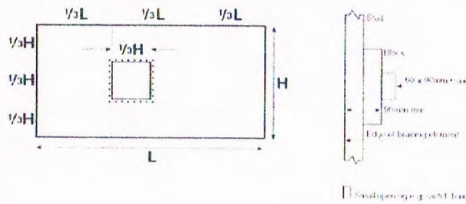
Client Sign
Off
Date

Proposed Dwelling at 6 Castle Crescent, Stokes Valley, Lower Hutt Client Authentic Kiwi Building Contact	Ref #	Read with Amendments Date Comments	Disturb Plan Hutt City Council General Residential Zone Wind Zone EQ Zone Very High 3 Snow Load X-XkPa 2	Concept Drawn ZG 5/07/16 Date 17/10/2016 Job # 112337 - Pricing A Bracing Plan Scale A3: 1:100 Plan Ref	Sheet # 10 of 13
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Openings in Bracing Elements:

Openings are allowed within the middle third of a wall bracing element's length and height. Neither opening dimension shall be more than 1/3rd of the element height. Wall to riss are fixed to opening headers at 150 centres. Small openings (e.g. power outlets) of 50 x 100mm or less may be placed no closer than 90mm to the edge of the braced element. A block may need to be provided alongside the penetrator stud as shown below.

Always cross reference with current Manufacturers literature



Penetrating openings detail

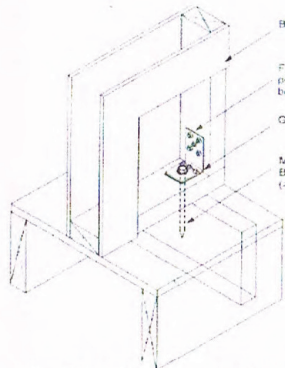


Penetrating openings detail

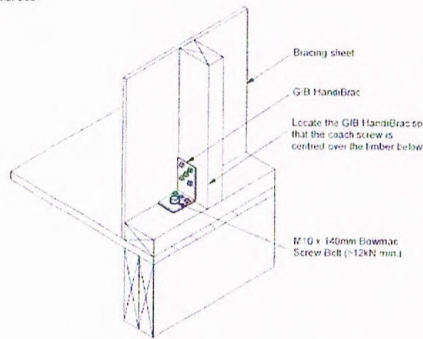
Top plates not to be joined within 1.2m of each other. 2/ 70 x 3.15 nail lamination at 500 c/s

Butt joint in plate must be made over a support i.e. on Stud or (b) Solid blocking fixed between studs and directly under the plate

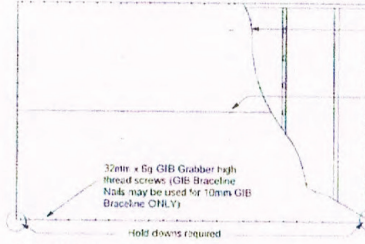
6T 10 nail plate connection and from 2/ 50 x 3.15 nails either side of Bracing joint



HandiBrac® Bracing Element Tie Down Timber Floor - Internal Wall
Scale 1:10 ISO

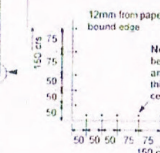


HandiBrac® Bracing Element Tie Down Timber Floor - External Wall
Scale 1:10 ISO



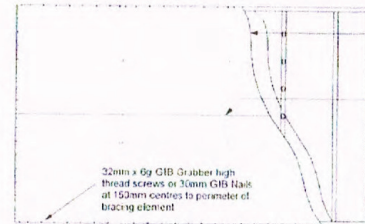
GIB Braceline Plasterboard

Single 32mm x 6g GIB Grabber high thread screws or 35mm GIB Bracing Nails where sheets cross studs



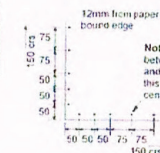
32mm x 6g GIB Grabber high thread screws (GIB Braceline Nails may be used for 10mm GIB Braceline ONLY)
Hold downs required
Fastener centres 50, 100, 150, 225, 300mm from each corner and 150mm thereafter around the perimeter of the bracing element
For horizontally fixed sheets place single fasteners to the sheet edge where it crosses the stud. Use double of GIBfix® adhesive at 300mm centres to intermediate studs
Place fasteners no closer than 12mm from paper bound sheet edges and 10mm from any sheet end or cut edge

10mm or 13mm GIB Braceline Plasterboard
MINIMUM LENGTH 400mm - One side only - Horizontal Fix - BL1-H



GIB Standard Plasterboard

Single 32mm x 6g GIB Grabber high thread screws or 30mm GIB Nails where sheets cross studs

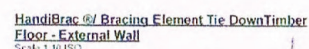
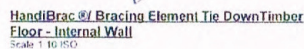
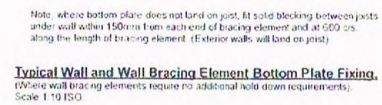


32mm x 6g GIB Grabber high thread screws or 30mm GIB Nails at 150mm centres to perimeter of bracing element
Fastener centres 50, 100, 150, 225, 300mm from each corner and 150mm thereafter around the perimeter of the bracing element
For horizontally fixed sheets place single fasteners to the sheet edge where it crosses the stud. Use double of GIBfix® adhesive at 300mm centres to intermediate studs
Place fasteners no closer than 12mm from paper bound sheet edges and 10mm from any sheet end or cut edge

10mm or 13mm GIB Standard Plasterboard
MINIMUM LENGTH 400mm - One side only - Horizontal Fix - GS1-N (Both sides - GS2-N)

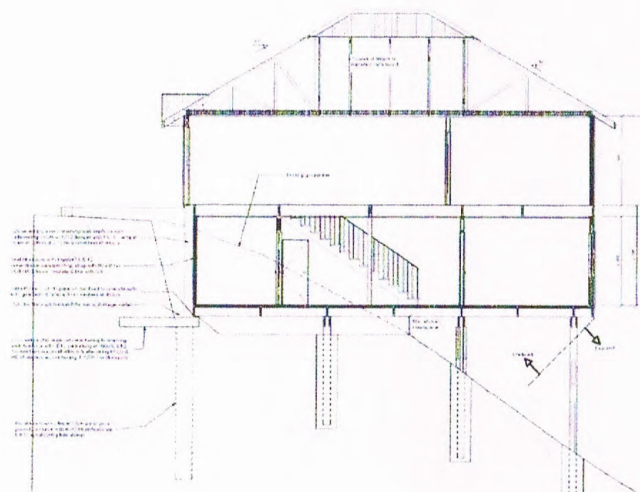
Client Sign
OR
Date

Proposed Dwelling at 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Authentic Kiwi Building Contact:	Ref. #	Read with Amendments Date Comments	District Plan Hutt City Council General Residential Zone Wind Zone Very High EQ Zone 3 Climate Zone 2 X- XxPa	Geotech Class TBC Exposure Zone C	Concept Drawn ZG Pricing Draw Yes FWD Drawn LBP M B 12/2007	Date 5/07/16 Job # 112937 - Pricing A Scale A3 / NTS	Date 17/10/2016 Sheet # 11 of 13 Bracing Details Plan Ref.
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Proposed Dwelling at 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Authentic Kiwi Building Contact:	Ref #	Read with Amendments Date	Comments	District Plan Hutt City Council General Residential Zone Wind Zone Very High EQ Zone 3 Geotech Class TBC Snow Load X- KkPa Climate Zone 2 Exposure Zone C	Concept Drawn 2G 5/07/16 Pricing Drawn yes -/- FWD Drawn -- -/- LBP M B 12/2007	Date 17/10/2016 Job # 112537 - Pricing A	Sheet # 12 of 13 Bracing Details Scale A3 / NTS Plan Ref.
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CROSS REFERENCE NOTES BETWEEN SECTIONS AS TYPICAL



SECTION A - A 1:50 / A3

Foundation

200 SED HS poles with 2x250 x 45mm bearers, fix with 2M12 bolts & 50mm x 3mm washers. Seal bearers on 50mm check to poles. Fixings in exposed areas must be stainless steel. Fixings in sheltered areas may be either stainless steel or galvanneal.

Timber Floor

Lower level
Majlok 20mm sheets over 250 x 45 SGB H3.1 treated floor joists at 400cs insulated with R1.8 Expel underfloor insulation.

Midfloor level

Majlok 20mm sheets 12mm ply to garage over 250 x 45 SGB H3.1 treated floor joists at 400cs (300cs to garage). Solid block between floor joists over lines of support & at midspans.

External Walls

90 x 45mm SGB, H1.2 timber frame with 140 x 35mm H1.2 packer plate 2.42m studs at 400cs max, nogs at 855cs min, unless noted otherwise. Watertight building wrap (a) on up top plate. Fix bottom plate to floor with 2x100 x 3.75 flat head round driven or 3x90 x 3.15 power driven nails at 600cs max.

Wall Cladding

Falside Traditional profile Weatherboards with 2 piece soakers & jointed corners in accordance with manufacturers specifications & 12/12 E-JAS 1 External Moisture over Thermoseal Watertight building wrap with Akuband proprietary flashing tape. Bottom of cladding to extend 50mm min below floor joist.

Internal Walls

90 x 45 SGB, H1.2 timber frame, 140 x 35 H1.2 top plate packer studs at 600cs max, nogs at 855cs min. 10mm Gb linings throughout. Align line to wet areas. Braceline as required by Bracing Plan, fixed to comply with the latest Wellington Gb Manual. Fix bottom plate to floor with 1x100 x 3.75 flat head round driven or 1x90 x 3.15 power driven nails at 600cs max.

Wall Linings

10mm Gb linings - level 4 paint finish

Ceilings

Timber 70 x 35mm H1.2 ceiling battens fixed to trusses at 600cs, (13mm Gb linings) Fix Gb to battens with 32mm x 8g GIB® Grabber Screws. Glue dabs - minimum of 200mm from centre screw. Do not screw where you glow. Gb clipping to level 4 paint finish. 1/850sq roving access to roof space.

Soffits

7.5mm Hydrspanel high pressure laminated board, fixed to 90 x 45 soft bearers & 90 x 45 stringer at wall. 600 eaves. Metal Colbrist 155mm fascia. Metal Colbrist external spouting with metal Colbrist downpipe system.

Wall Insulation

R1.6 Earthwool insulation to all exterior wall cavities excluding Garage. Insulate internal wall between Garage and inhabitable areas. Friction fitted.

Ceiling Insulation

R1.2 Earthwool insulation to all ceiling cavities. Friction fitted.

Roof Framing

Pre-fabricated GANGNAIL 30° pitch H1.2 trusses at 900cs - Edumac 150 with galvanneal roofing 75x45 SGB, H1.2 pulins, at 900mm max cs. Top pulin 600 from ridge and bottom pulin 600 from fascia. Fixing for Mod to V-high - type T - 1.1kg self-drilling screw. 80mm long pulvin truss connection (2.48N fixing).

Roof Cladding

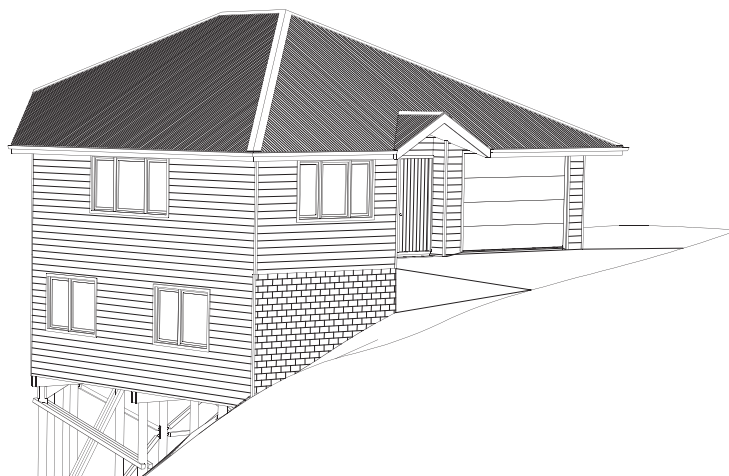
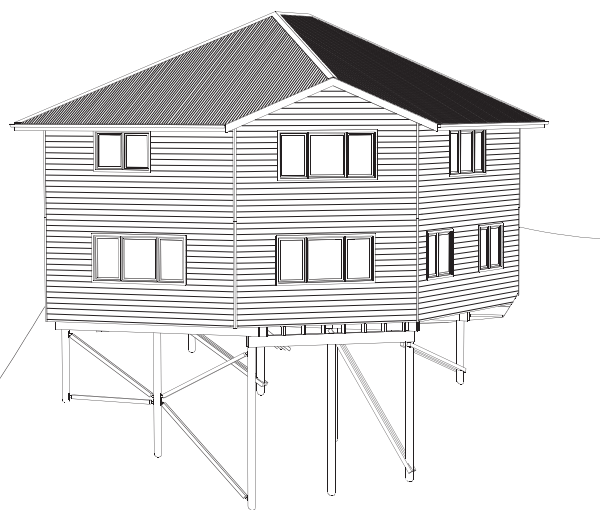
Corrugated Metal Colbrist 0.40mm Endura, fixed with compatible roofing nails. All fixings 0.55mm. Installation by LBP.

Joinery

Exterior coated aluminum double glazed joinery (excluding garage).

Client Sign
Off
Date

Proposed Dwelling at 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Authentic Kiwi Building Contact	Ref #	Read with Amendments Date Comments	Distict Plan Hutt City Council General Residential Zone Wind Zone Very High Snow Load X-XkPa	EQ Zone 3 Climate Zone 2	Geotech Class TBC Exposure Zone C	Concept Drawn Pricing Drawn FWD Drawn LBP	ZG Yes --- M B	5/07/16 --- 122007	Date 17/10/2016 Job # 112337 - Pricing A Cross Section Scale: A3 1:50	Sheet # 13 of 13 Plan Ref
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PROPOSED DWELLING

FOR

Authentic Kiwi Building
AT

6 Castle Crescent,
Stokes Valley,
Lower Hutt

Sheet Index

- 1 - Cover Sheet
- 2 - Site Plan
- 3 - Floor Plan
- 4 - Dimension Plan
- 5 - Elevations
- 6 - Elevations
- 7 - Drainage Plan
- 8 - Foundation Plan
- 9 - Bracing Plan
- 10 - Bracing Details
- 11 - Cross Section A - A
- 12 - Part Section B-B
- 13 - Framing Details

Client Sign
Off:
Date:

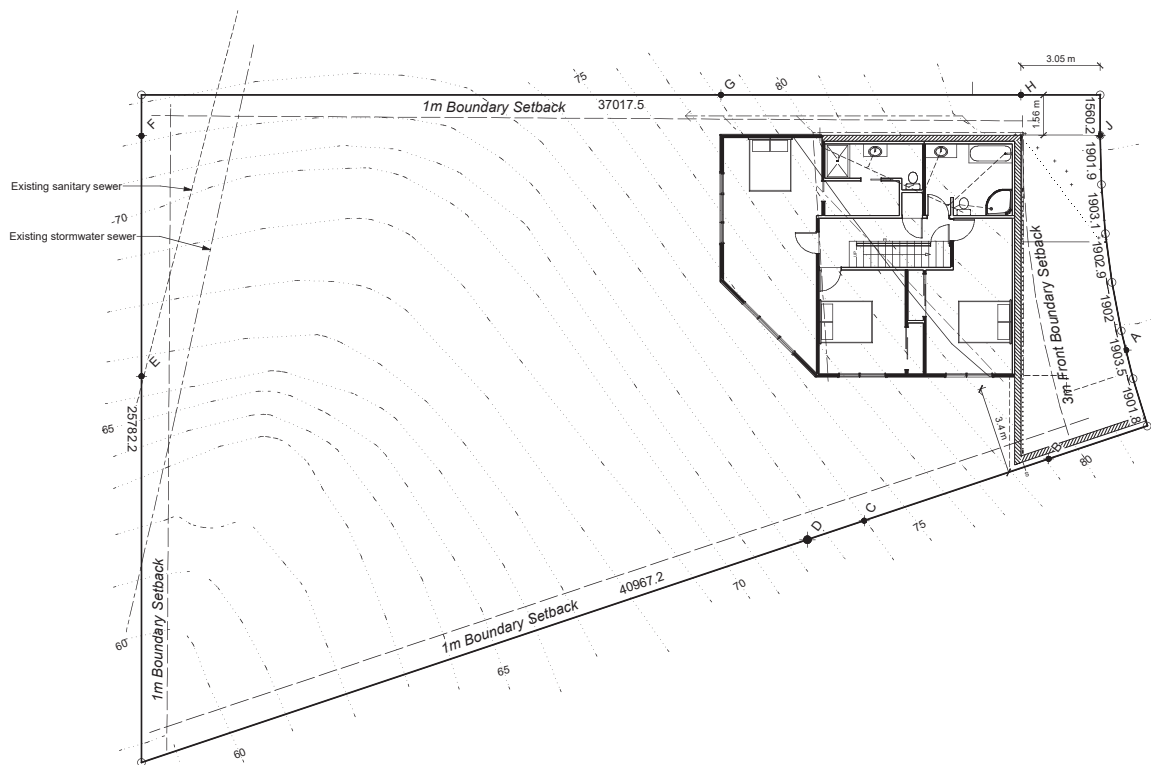


Masterton PH: 06 370 1390

Date: 17/10/2016	Sheet #
Job # 112637 - Pricing A	1 of 13
Scale:	106 Plan Ref. .

Client Sign
Off:
Date:

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Authentic Kiwi Building Contact:	Read with Amendments:			District Plan			Concept Drawn	ZG	5/07/16	Date: 17/10/2016	Sheet #
	Ref. #	Date:	Comments:	Hutt City Council General Residential Zone			Pricing Drawn	Ies	--/--	Job # 112637 - Pricing A	2
				Wind Zone: Very High	EQ Zone: 3	Geotech Class: TBC	FWD Drawn	--	--/--	Site Plan	
				Snow Load: X-XkPa	Climate Zone: 2	Exposure Zone: C	LBP	M. B	122007	Scale: A3 / 1:150	107 Plan Ref. .



Notes:

Site Barriers and Hoardings as Per F5/AS.1 if specific hazards exist

Adequate slip resistance for walking surfaces as per D1/ AS1 Table 2

BUILDING CONTRACTOR TO ASSESS SITE TO ENSURE DAYLIGHTING & BUILDING RESTRICTIONS ARE COMPLIED WITH. NO LIABILITY FOR ENCROACHMENT SHALL BEHELD BY DESIGNER IF SITE IS NOT SURVEYED BY A REGISTERED SURVEYOR PRIOR TO COMMENCEMENT OF FOUNDATIONS.

Contractor Note:

Contractor to ensure final building platform & finished ground have an even fall away from building to ensure water not be allowed to accumulate in buildings subfloor. Any fill to be dry & approved by engineer & compacted down in accordance with NZS 3604:2011.

Confirm ground has adequate bearing to comply with NZS 3604: 2011.

Locate and confirm Datum and FFL.

Locate all service connections points on site prior to commencement of works. Check invert levels or pipes and manholes.

Confirm all frame and foundation dimensions , plus plumbing route and fixture positions on site are correct prior to commencement of works.

Confirm site boundary bearings, lengths & peg locations on site prior to commencement of work, to ensure building position is correct.

Sediment and runoff control shall be installed by the licensed building practitioner prior to or during the earthworks for the project. The sediment controls shall be installed in accordance with the requirements of the District Council in accordance with the Resource Management Act (1991).



LOT: 10

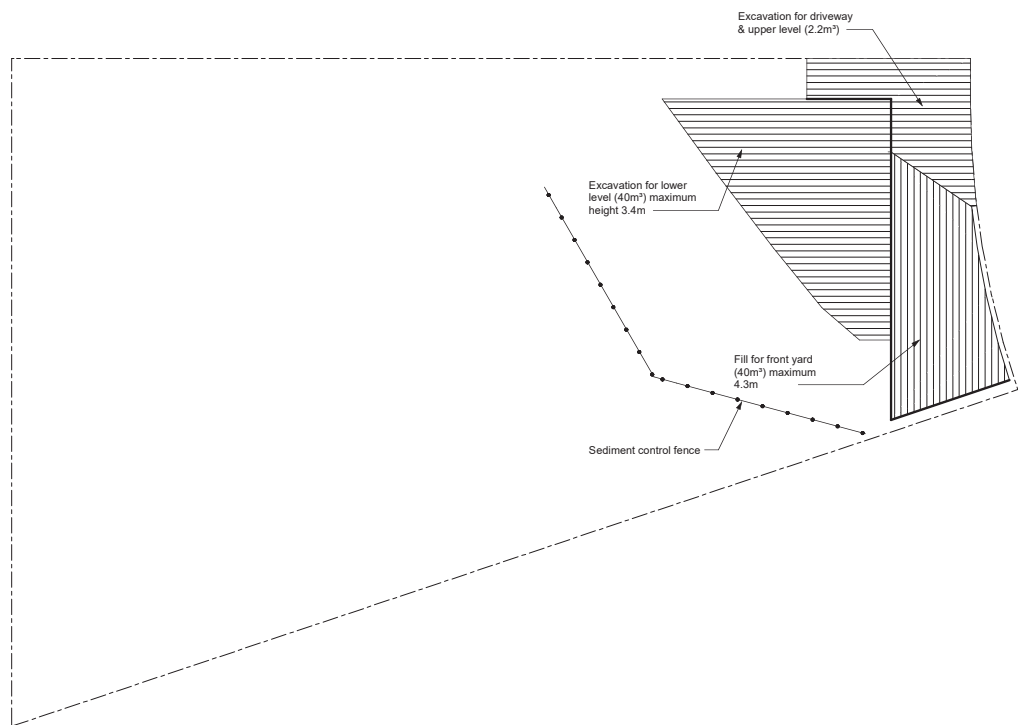
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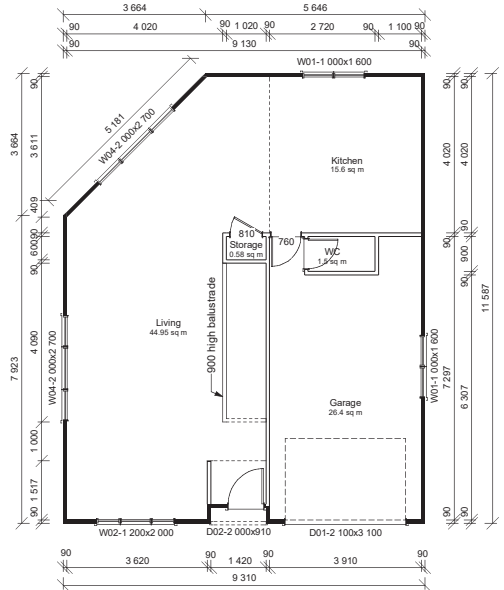
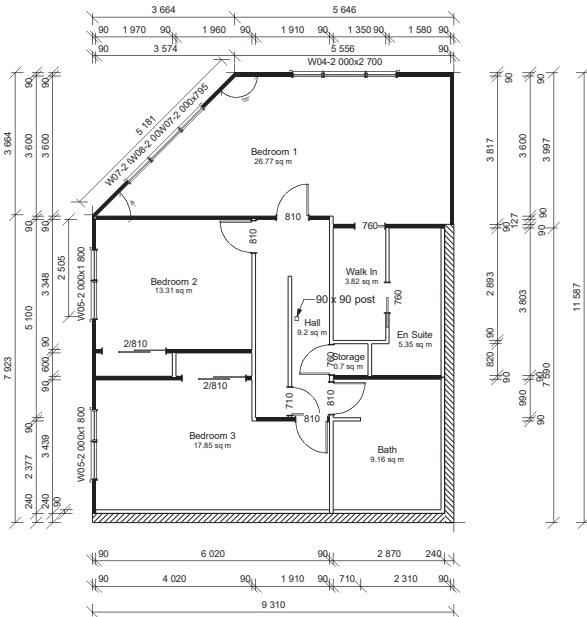
TOTAL SITE AREA: 732m²

SITE COVERAGE: 101.2m² / 13.83%

Client Sign
 Off:
 Date:

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Authentic Kiwi Building Contact:	Read with Amendments:			District Plan			Concept Drawn	ZG	5/07/16	Date: 26/01/2017	Sheet #
	Ref. #	Date:	Comments:	Hutt City Council General Residential Zone			Pricing Drawn	Ies	--/--	Job # 112637 - FWD	3
				Wind Zone: Very High	EQ Zone: 3	Geotech Class: TBC	FWD Drawn	--	--/--	Excavation Plan	
				Snow Load: X-XkPa	Climate Zone: 2	Exposure Zone: C	LBP	M. B	122007	Scale: A3 / 1:150	106 Plan Ref. .





Notes:

All sashes on LHS unless noted otherwise - 600mm - Awning.
All vision rails shall be a height of 800mm.

Glazing

Grade A safety glass to be fitted to all doors and windows within 500mm of FFL.

Grade A safety glass to be fitted to Laundry window.

Obscure Grade A safety glass to be fitted to Bathroom. To comply with F2/ AS1

Site measure and confirm sizes and details prior to fabricating any joinery.

Window and door manufacturer to show compliance with all relevant standards and provide warranty.

Natural Light & Ventilation

All glazing in habitable rooms have greater than 10% natural light for area of floor, to comply with NZBC clause G7 Natural Light.

All habitable and amenity rooms have greater than 5% natural ventilation / area of floor, to comply with NZBC clause G4 Ventilation.

All habitable rooms have a visual awareness of outside activity.

Dimensioning

All openings at exterior walls to be centred in room or located as dimensioned. Dimensioning as shown to wall frame.

EXTERIOR WINDOW SCHEDULE			
NUMBER	QTY	WIDTH	HEIGHT
W01	2	1600	1000
W02	1	2000	1200
W04	3	2700	2000
W05	2	1800	2000
W07	2	795	2000
W08	1	1090	2000

EXTERIOR DOOR SCHEDULE			
NUMBER	QTY	WIDTH	HEIGHT
D01	1	3100	2100
D02	1	910	2000

Client Sign

Off:

Date:

Proposed Dwelling
at: **6 Castle Crescent,
Stokes Valley,
Lower Hutt**
Client: **Authentic Kiwi Building**
Contact:

Read with Amendments:

Ref. # Date: Comments:

District Plan

Hutt City Council

General Residential Zone

Wind Zone: **Very High**

EQ Zone: **3**

Geotech. Class: **TBC**

Snow Load: **X-XkPa**

Climate Zone: **2**

Exposure Zone: **C**

Concept Drawn

ZG

5/07/16

Date: **17/10/2016**

Pricing Drawn

les

Job # **112637 - Pricing A**

FWD Drawn

--

LBP

M. B

122007

Scale: **A3 / 1:100**

Sheet #

4

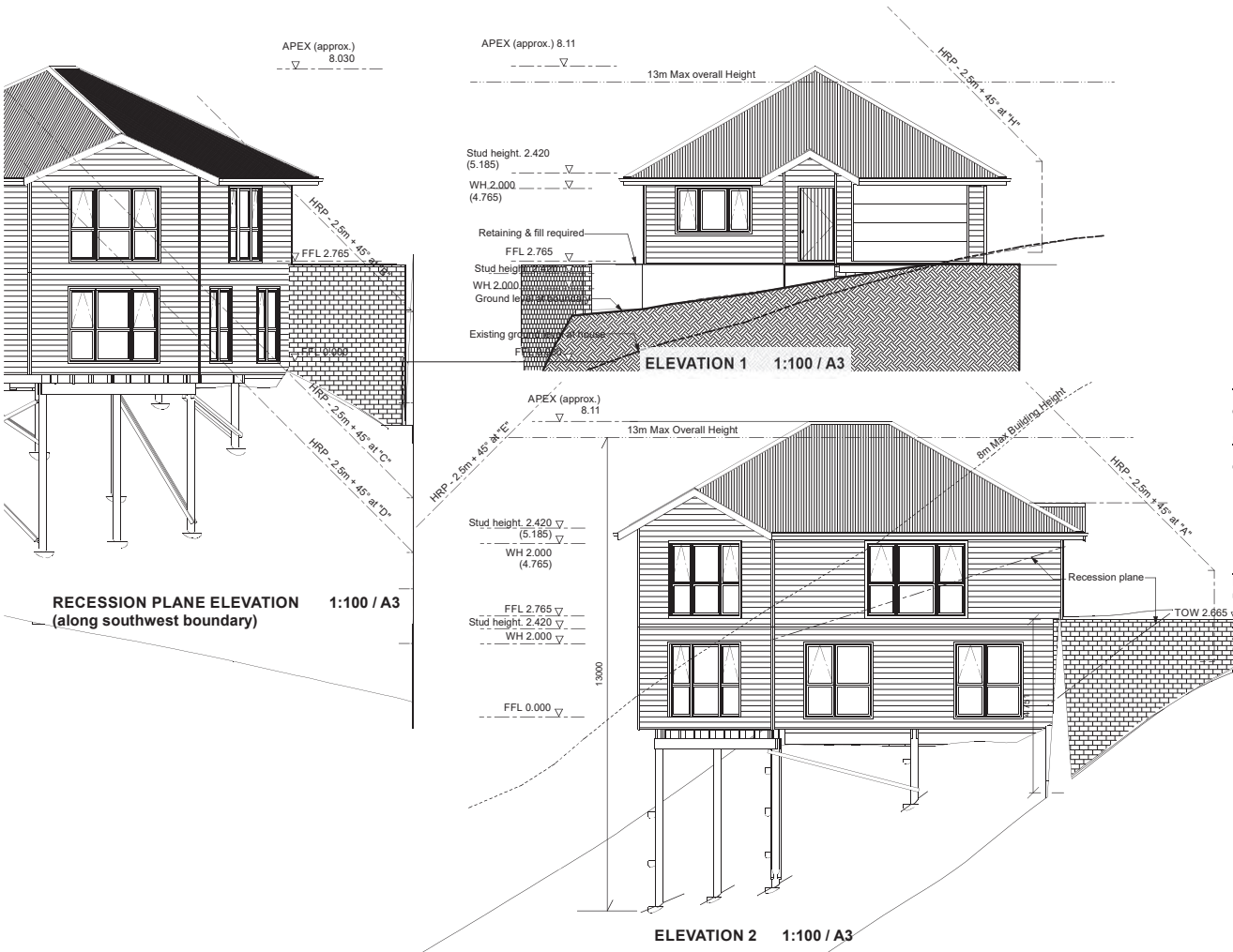
of 13

Dimension Plan

Plan Ref. .



Masterton PH: 06 370 1390



Notes:

BUILDING CONTRACTOR TO ASSESS SITE TO ENSURE DAYLIGHTING & BUILDING RESTRICTIONS ARE COMPLIED WITH. NO LIABILITY FOR ENCROACHMENT SHALL BE HELD BY DESIGNER IF SITE IS NOT SURVEYED BY A REGISTERED SURVEYOR PRIOR TO COMMENCEMENT OF FOUNDATIONS.

CROSS REFERENCE NOTES BETWEEN ELEVATIONS AS TYPICAL

Glazing

Grade A safety glass to be fitted to doors and windows within 500mm of FFL and Laundry window. Obscure Grade A safety glass to be fitted to Bathroom. To comply with F2/AS1 Site measure and confirm sizes and details prior to fabricating any joinery. Window and door manufacturer to show compliance with all relevant standards and provide warranty.

Floor

Engineered Foundation (see engineer's notes & details)

Cladding

Direct fixed Palisade with 2-piece soakers & corners

Roof

Corrugated Colorsteel Endura 30° pitch 600mm overhang 450 to gable ends

Fascia & Spouting

Klass Coloursteel Fascia & spouting with Marley uPVC downpipe system

Joinery

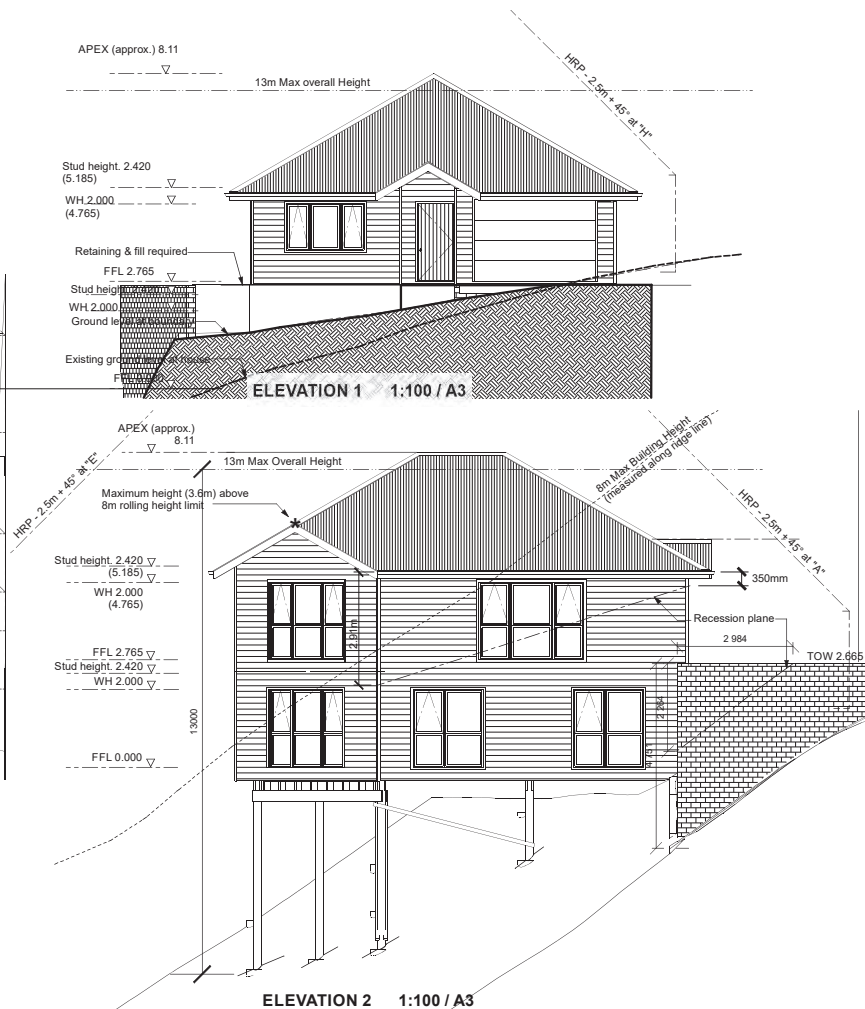
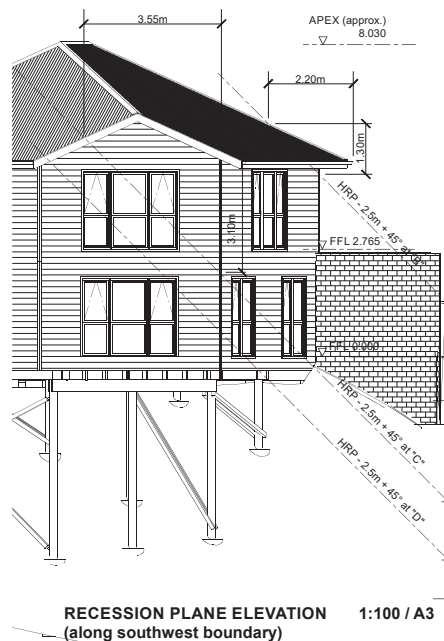
Aluminium with double glazing (Excluding Garage)



Client Sign
Off:
Date:

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Authentic Kiwi Building Contact:			Read with Amendments: Ref. # Date: Comments:			District Plan Hutt City Council General Residential Zone			Concept Drawn	ZG	5/07/16	Date: 17/10/2016	Sheet #
						Wind Zone: Very High	EQ Zone: 3	Geotech. Class: TBC	Pricing Drawn	les	--	Job # 112637 - Pricing A	5 of 13
						Snow Load: X-XkPa	Climate Zone: 2	Exposure Zone: C	FWD Drawn	--	--	Elevations	
									LBP	M. B	122007	Scale: A3 / 1:100	110 Plan Ref. .

Masterton PH: 06 370 1390



Notes:

BUILDING CONTRACTOR TO ASSESS SITE TO ENSURE DAYLIGHTING & BUILDING RESTRICTIONS ARE COMPLIED WITH. NO LIABILITY FOR ENCROACHMENT SHALL BE HELD BY DESIGNER IF SITE IS NOT SURVEYED BY A REGISTERED SURVEYOR PRIOR TO COMMENCEMENT OF FOUNDATIONS.

CROSS REFERENCE NOTES BETWEEN ELEVATIONS AS TYPICAL

Glazing

Grade A safety glass to be fitted to doors and windows within 500mm of FFL and Laundry window. Obscure Grade A safety glass to be fitted to Bathroom. To comply with F2/AS1 Site measure and confirm sizes and details prior to fabricating any joinery. Window and door manufacturer to show compliance with all relevant standards and provide warranty.

Floor

Engineered Foundation (see engineer's notes & details)

Cladding

Direct fixed Pallisade with 2-piece soakers & corners

Roof

Corrugated Colorsteel Endura
30° pitch
600mm overhang 450 to gable ends

Fascia & Spouting

Klass Coloursteel Fascia & spouting with Marley uPVC downpipe system

Joinery

Aluminium with double glazing
(Excluding Garage)



Masterton PH: 06 370 1390

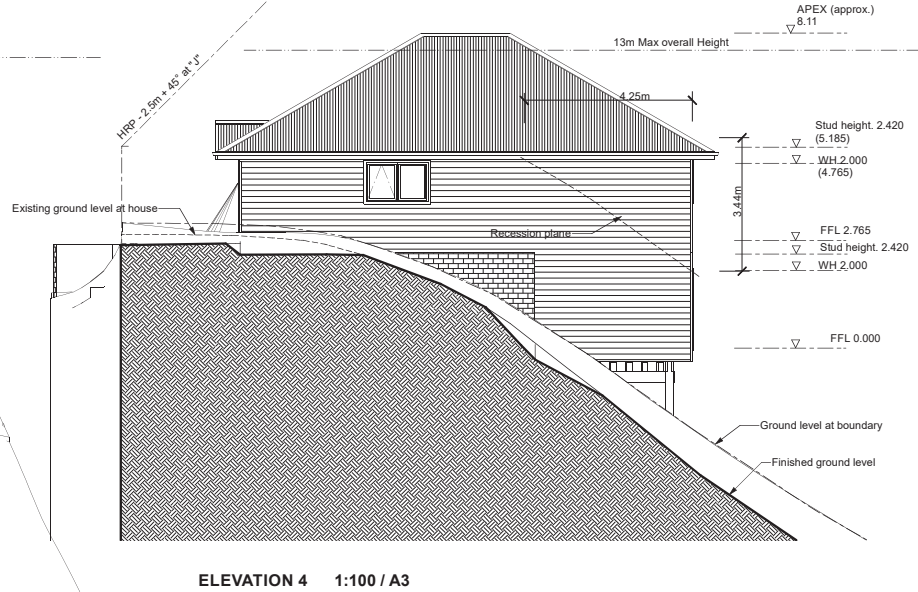
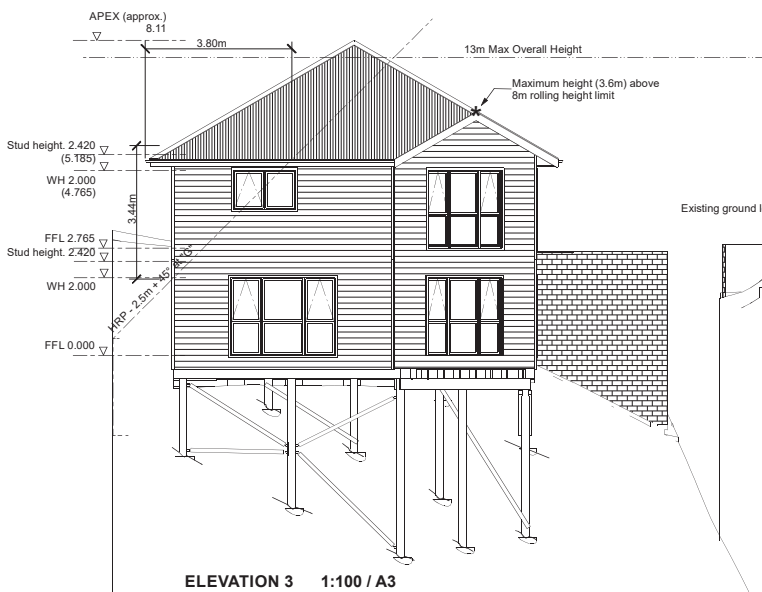
Client Sign
Off:
Date:

Read with Amendments:			District Plan			Concept Drawn	ZG	5/07/16	Date: 26/01/2017	Sheet #
Ref. #	Date:	Comments:	Hutt City Council General Residential Zone			Pricing Drawn	ies	---	Job # 112637 - FWD	6 of 26
Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Authentic Kiwi Building Contact:			Wind Zone: Very High	EQ Zone: 3	Geotech. Class: TBC	FWD Drawn	--	---	Elevations	
			Snow Load: X-XkPa	Climate Zone: 2	Exposure Zone: C	LBP	M. B	122007	Scale: A3 / 1:100	Plan Ref. .

Notes

CROSS REFERENCE NOTES BETWEEN
ELEVATIONS AS TYPICAL

HRP - 2.5m + 45° at 7°



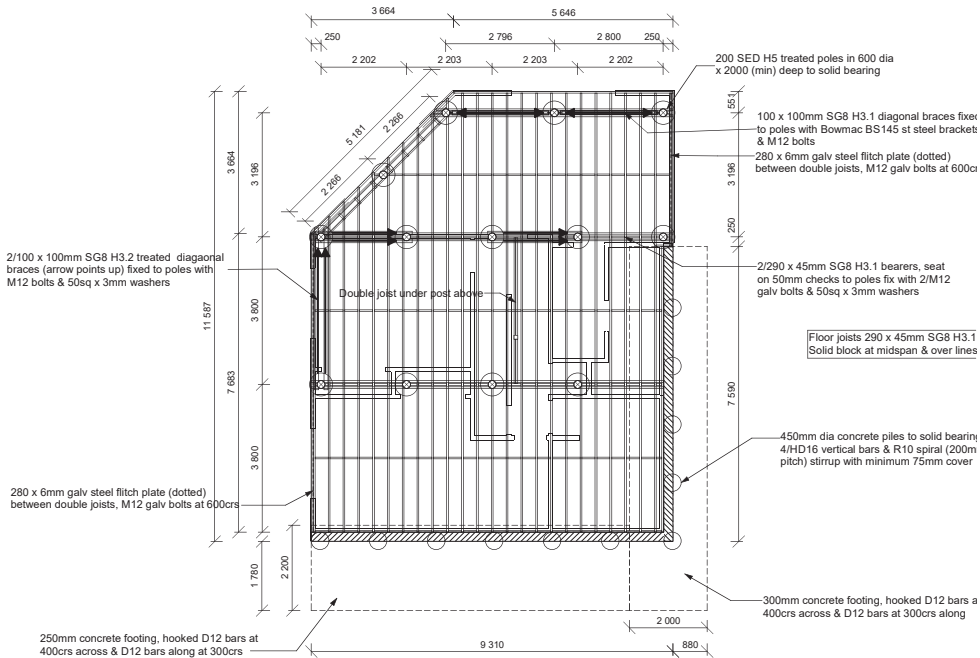
Client Sign
Off:
Date:

Proposed Dwelling
at: 6 Castle Crescent,
Stokes Valley,
Lower Hutt
Client: Authentic Kiwi Building
Contact:

Read with Amendments:		
Ref. #	Date:	Comments:

District Plan		
Hutt City Council General Residential Zone		
Wind Zone: Very High	EQ Zone: 3	Geotech. Class: TBC
Snow Load: X-XkPa	Climate Zone: 2	Exposure Zone: C

Concept Drawn	ZG	5/07/16	Date: 26/01/2017	Sheet #
Pricing Drawn	Ies	--	Job # 112637 - FWD	7 of 26
FWD Drawn	--	--	Elevations	
LBP	M. B	122007	Scale: A3 / 1:100	12 Plan Ref. .



Main Contractor to cross reference all floor and frame dimensions prior to commencing any work.

Always cross reference the foundation plan with the floor plan prior to setting out.
Contractor to refer to truss manufacturers producer statements for any further load bearing footing / slab thickenings that may be required to support roof loads.
The contractor shall accurately locate the position of all public drains on site prior to starting work. If any discrepancies are found in these drawings then the contractor must contact the designer before proceeding with any further works.
Confirm layout & fittings of kitchens, bathrooms and laundry etc before foundation commences.

Concrete Floor Construction Notes

Ensure granular hardfill is evenly compacted down in max. 150mm layers to form a solid base with bearing capacity greater than 300kPa. Sand blinding to be 5mm -25mm max. to cover hardfill to ensure the vapour barrier is protected from any granular protrusions. Concrete floor to comply with NZS 3109. surface tolerances, & NZS.3114, maximum deviations of 3mm.

Refer to details for slab thickenings required under load bearing walls

Refer to details for pad thickenings under pointloads from truss framing.

CONTRACTOR TO REFER TO TRUSS MANUFACTURERS PRODUCER STATEMENTS TO CONFIRM LOCATION

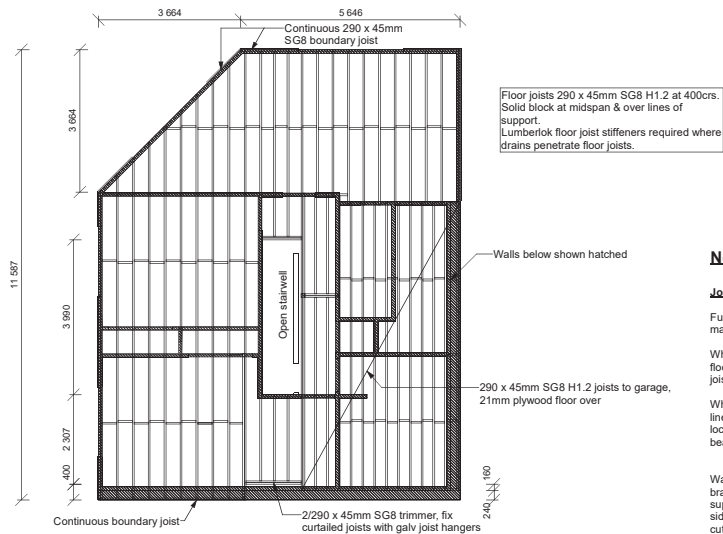
The bay dimensions formed by either construction or shrinkage control joints shall be limited to a maximum length to width ratio of 2:1. Maximum bay dimensions in exposed concrete, vinyl or tiled areas to be 6m x 6m. as per NZS 3604:2011 -Section 7: floors 7.5.8.6.4.

SC shows 25mm deep sawn shrinkage control joints placed after slab has hardened and no later than 24 hours after slab is placed.

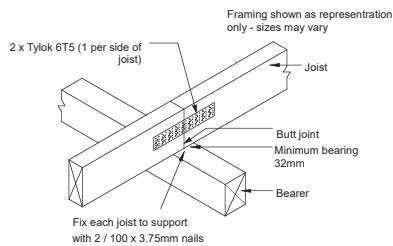
Slab dimensions have been reduced 10mm to provide a drip.
Slab dimensions have been increased by 120mm to provide a 70mm brick with 50mm cavity.

Client Sign
Off:
Date:

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Authentic Kiwi Building Contact:	Read with Amendments:			District Plan			Concept Drawn	ZG	5/07/16	Date: 17/10/2016	Sheet #
	Ref. #	Date:	Comments:	Hutt City Council General Residential Zone			Pricing Drawn	les	--/--	Job # 112637 - Pricing A	8 of 13
				Wind Zone: Very High	EQ Zone: 3	Geotech Class: TBC	FWD Drawn	--	--/--	Foundation Plan	
				Snow Load: X- XkPa	Climate Zone: 2	Exposure Zone: C	LBP	M. B	122007		



Scale 1:10



Lap joints 300mm min.

150

Support

Framing shown as representation only - sizes may vary

Fix joints to support with 4 / 100 x 3.75 mm nails (2 each side) or a 6 kN (tension) connector

Fitched Joint in Floor Joist
Scale 1:10

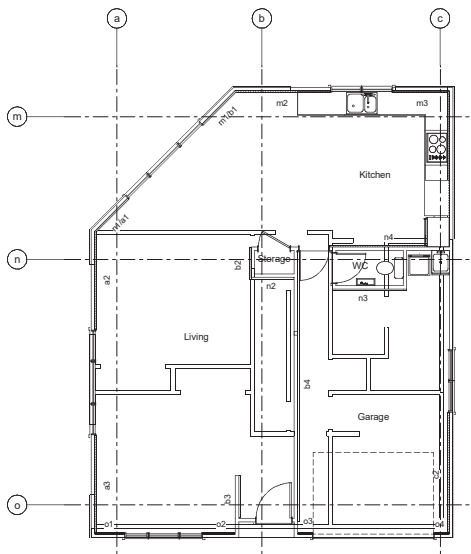
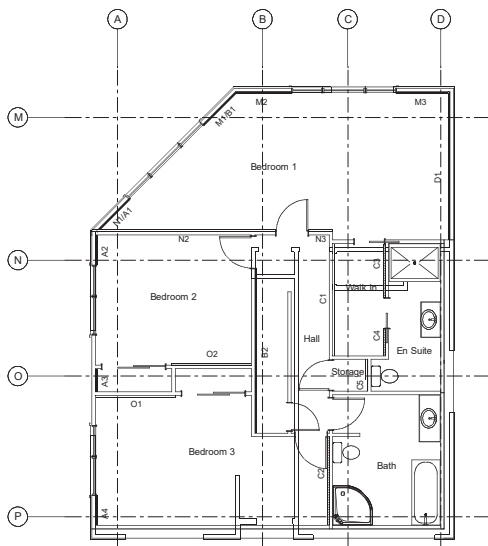
Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Authentic Kiwi Building Contact:	Read with Amendments:			District Plan			Concept Drawn			ZG	5/07/16	Date: 17/10/2016	Sheet #
	Ref. #	Date:	Comments:	Hutt City Council General Residential Zone			Pricing Drawn	les	~/-	Job #	112637 - Pricing A	9 of 13	
				Wind Zone: Very High	EQ Zone: 3	Geotech Class: TBC	FWD Drawn	--	~/-	Floor Joist Layout			
				Snow Load: X- XkPa	Climate Zone: 2	Exposure Zone: C	LBP	M. B	122007	Scale: A3 / 1:100	114 Plan Ref.		



Notes:

No power points or light switches situated within 90mm of edge of bracing element or as specified by manufactures literature.

Read in conjunction with GIB Ezybrace, calculations attached to Technical Literature in specs.



WALL BRACING SCHEDULE				
LABEL	WIDTH	TYPE	MATERIAL	HOLD DOWN/MIN. LENGTH
A2	771	BL1 - H	GIB BRACELINE ONE SIDE	YES 0.4M
A3	2320	BL1 - H	GIB BRACELINE ONE SIDE	YES 0.4M
A4	885	BL1 - H	GIB BRACELINE ONE SIDE	YES 0.4M
B2	4220	BL1 - H	GIB BRACELINE ONE SIDE	YES 0.4M
C1	2893	GS2 - N	GIB STANDARD BOTH SIDES	NO 0.4M
C2	2287	GS1 - N	GIB STANDARD ONE SIDE	NO 0.4M
C3	1390	GS1 - N	GIB STANDARD ONE SIDE	NO 0.4M
C4	690	GS1 - N	GIB STANDARD ONE SIDE	NO 0.4M
C5	800	GS2 - N	GIB STANDARD BOTH SIDES	NO 0.4M
D1	3807	GS1 - N	GIB STANDARD ONE SIDE	NO 0.4M
M1/B1	1180	BL1 - H	GIB BRACELINE ONE SIDE	YES 0.4M
M2	1430	BL1 - H	GIB BRACELINE ONE SIDE	YES 0.4M
M3	1336	BL1 - H	GIB BRACELINE ONE SIDE	YES 0.4M
N1/A1	1183	BL1 - H	GIB BRACELINE ONE SIDE	YES 0.4M
N2	4732	GS2 - N	GIB STANDARD BOTH SIDES	NO 0.4M
N3	624	GS2 - N	GIB STANDARD BOTH SIDES	NO 0.4M
O1	2050	GS2 - N	GIB STANDARD BOTH SIDES	NO 0.4M
O2	2040	GS2 - N	GIB STANDARD BOTH SIDES	NO 0.4M

Wall Bracing Schedule				
Label	Width	Type	Material	Hold Down Min. Length
a2	2545	GS1 - N	GIB STANDARD ONE SIDE	NO 0.4M
a3	2637	GS1 - N	GIB STANDARD ONE SIDE	NO 0.4M
b2	825	GS2 - N	GIB STANDARD BOTH SIDES	NO 0.4M
b3	1105	GS2 - N	GIB STANDARD BOTH SIDES	NO 0.4M
b4	7077	GS2 - N	GIB STANDARD BOTH SIDES	NO 0.4M
c1	6752	GS1 - N	GIB STANDARD ONE SIDE	NO 0.4M
c2	3232	GS1 - N	GIB STANDARD ONE SIDE	NO 0.4M
m1/b1	1203	GS1 - N	GIB STANDARD ONE SIDE	NO 0.4M
m2	2500	GS1 - N	GIB STANDARD ONE SIDE	NO 0.4M
m3	1500	GS1 - N	GIB STANDARD ONE SIDE	NO 0.4M
n1/a1	1203	GS1 - N	GIB STANDARD ONE SIDE	NO 0.4M
n2	1110	GS2 - N	GIB STANDARD BOTH SIDES	NO 0.4M
n3	1910	GS2 - N	GIB STANDARD BOTH SIDES	NO 0.4M
n4	3042	GS1 - N	GIB STANDARD ONE SIDE	NO 0.4M
o1	865	BL1 - H	GIB BRACELINE ONE SIDE	YES 0.4M
o2	930	BL1 - H	GIB BRACELINE ONE SIDE	YES 0.4M
o3	480	BL1 - H	GIB BRACELINE ONE SIDE	YES 0.4M
o4	475	BL1 - H	GIB BRACELINE ONE SIDE	YES 0.4M

Client Sign
Off:
Date:

Proposed Dwelling
at: **6 Castle Crescent,
Stokes Valley,
Lower Hutt**
Client: **Authentic Kiwi Building**
Contact:

Read with Amendments:		
Ref. #	Date:	Comments:

District Plan
Hutt City Council
General Residential Zone

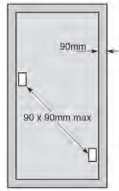
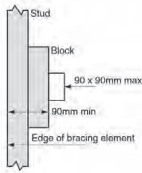
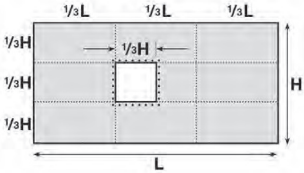
Wind Zone:
Very High
EQ Zone:
3
Geotech.
Class: **TBC**
Snow Load:
X-XkPa
Climate Zone:
2
Exposure
Zone: **C**

Concept Drawn	ZG	5/07/16	Date: 17/10/2016	Sheet #
Pricing Drawn	les	--/--	Job # 112637 - Pricing A	10 of 13
FWD Drawn	--	--/--	Bracing Plan	
LBP	M. B	122007	Scale: A3 / 1:100	15 Plan Ref. .

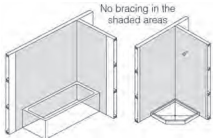
Openings in Bracing Elements:

Openings are allowed within the middle third of a wall bracing element's length and height. Neither opening dimension shall be more than 1 third of the element height. Wall linings are fixed to opening trimmers at 150 centres. Small openings (e.g., power outlets) of 90 x 90mm or less may be placed no closer than 90mm to the edge of the braced element. A block may need to be provided alongside the perimeter stud as shown below.

Always cross reference with current Manufacturers literature.

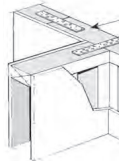


Small opening e.g. switch box.



top plates not to be joined within 1.2m of each other. 2/ 70 x 3.15 nail lamination at 600 crs

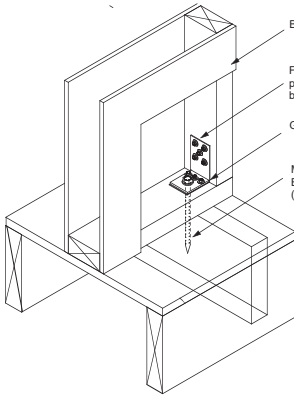
Butt joint in plate must be made over a support, i.e. (a) Stud; or (b) Solid blocking fixed between studs and directly under the plate



3kN connection to top plate with 25 x 0.9mm galvanised m.s. strap and three 30 x 2.5mm galvanised nails on each side of joint

6kN connection to top plate with 25 x 0.9mm galvanised m.s. strap and six 30 x 2.5mm galvanised nails on each side of joint

6T10 nail plate connection and min. 2/ 90 x 3.15 nails either side of joint

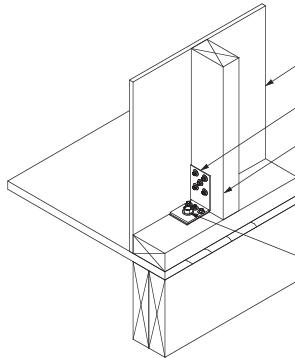


Bracing joint

Full depth solid blocking positioned centrally beneath coach screw

GIB HandiBrac

M10 x 140mm Bowmac Screw Bolt (>12kN min.)



Bracing sheet

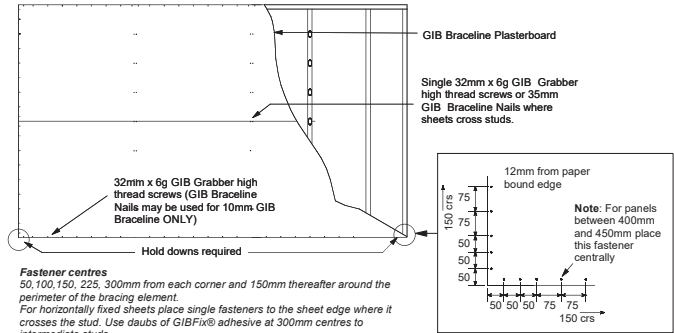
GIB HandiBrac

Locate the GIB HandiBrac so that the coach screw is centred over the timber below

M10 x 140mm Bowmac Screw Bolt (>12kN min.)

HandiBrac®/ Bracing Element Tie Down
Floor - Internal Wall
Scale 1:10 ISO

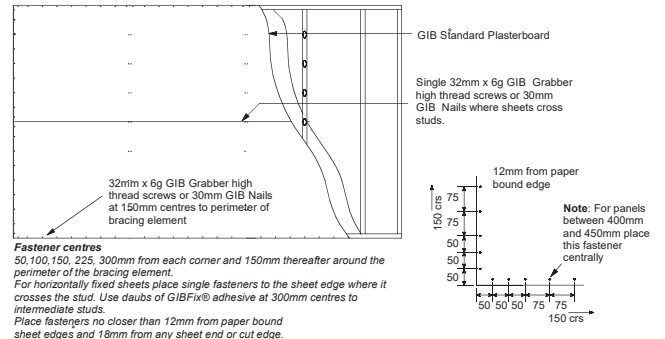
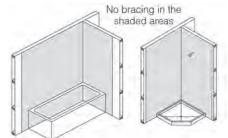
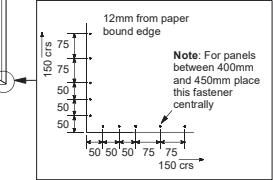
HandiBrac®/ Bracing Element Tie Down
Floor - External Wall
Scale 1:10 ISO



Fastener centres
50, 100, 150, 225, 300mm from each corner and 150mm thereafter around the perimeter of the bracing element.
For horizontally fixed sheets place single fasteners to the sheet edge where it crosses the stud. Use daubs of GIBFix® adhesive at 300mm centres to intermediate studs.
Place fasteners no closer than 12mm from paper bound sheet edges and 18mm from any sheet end or cut edge.

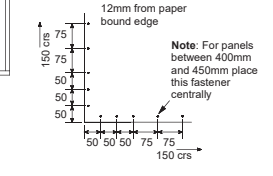
10mm or 13mm GIB Braceline Plasterboard
MINIMUM LENGTH 400mm - One side only - Horizontal Fix - BL1-H

Single 32mm x 6g GIB Grabber high thread screws or 35mm GIB Braceline Nails where sheets cross studs.



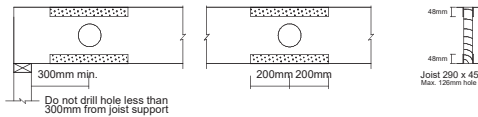
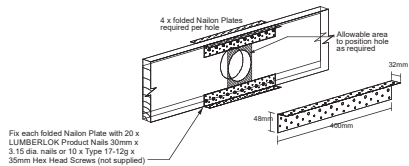
Fastener centres
50, 100, 150, 225, 300mm from each corner and 150mm thereafter around the perimeter of the bracing element.
For horizontally fixed sheets place single fasteners to the sheet edge where it crosses the stud. Use daubs of GIBFix® adhesive at 300mm centres to intermediate studs.
Place fasteners no closer than 12mm from paper bound sheet edges and 18mm from any sheet end or cut edge.

10mm or 13mm GIB Standard Plasterboard
MINIMUM LENGTH 400mm - One side only - Horizontal Fix - GS1-N (Both sides - GS2-N)

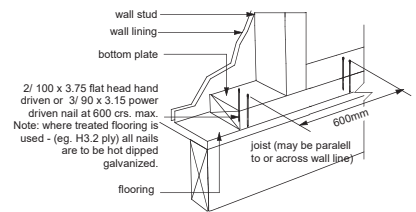


Client Sign
Off:
Date:

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Authentic Kiwi Building Contact:	Read with Amendments:		District Plan			Concept Drawn			Date: 17/10/2016		Sheet # 11 of 13
	Ref. #	Date:	Comments:	Wind Zone: Very High	EQ Zone: 3	Geotech Class: TBC	Pricing Drawn	ZG	5/07/16	Job # 112637 - Pricing A	
				Snow Load: X-XkPa	Climate Zone: 2	Exposure Zone: C	LBP	M. B	122007	Bracing Details	
							Scale: A3 / NTS			16 Plan Ref. .	

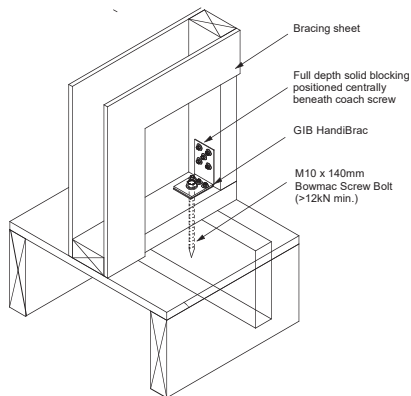


Lumberlok Joist Stiffener Detail

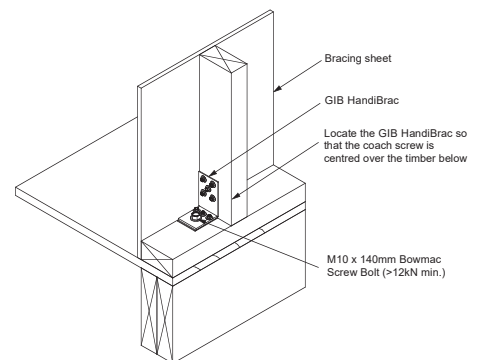


Note, where bottom plate does not land on joist, fit solid blocking between joists under wall within 150mm from each end of bracing element and at 600 crs. along the length of bracing element. (Exterior walls will land on joist).

Typical Wall and Wall Bracing Element Bottom Plate Fixing.
(Where wall bracing elements require no additional hold down requirements).
Scale 1:10 ISO



HandiBrac®/ Bracing Element Tie Down Timber Floor - Internal Wall
Scale 1:10 ISO



HandiBrac®/ Bracing Element Tie Down Timber Floor - External Wall
Scale 1:10 ISO

Client Sign
Off:
Date:

Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Authentic Kiwi Building Contact:	Read with Amendments:			District Plan			Concept Drawn	ZG	5/07/16	Date: 17/10/2016	Sheet #
	Ref. #	Date:	Comments:	Hutt City Council General Residential Zone			Pricing Drawn	Ies	--/--	Job # 112637 - Pricing A	12
				Wind Zone: Very High	EQ Zone: 3	Geotech. Class: TBC	FWD Drawn	--	--/--	Bracing Details	
				Snow Load: X- XkPa	Climate Zone: 2	Exposure Zone: C	LBP	M. B	122007	Scale: A3 / NTS	17 Plan Ref. .

[illegible]

Client Sign
Off:
Date:



Proposed Dwelling at: 6 Castle Crescent, Stokes Valley, Lower Hutt Client: Authentic Kiwi Building Contact:	Read with Amendments:			District Plan			Concept Drawn			ZG	5/07/16	Date: 17/10/2016	Sheet #
	Ref. #	Date:	Comments:	Hutt City Council General Residential Zone			Pricing Drawn	les	--/--		Job # 112637 - Pricing A	13	of 13
				Wind Zone: Very High	EQ Zone: 3	Geotech Class: TBC	FWD Drawn	--	--/--				
				Snow Load: X- XkPa	Climate Zone: 2	Exposure Zone: C	LBP	M. B	122007				
										Cross Section			
									Scale: A3 / 1:50			18	Plan Ref. ,

ENVIRONMENTAL HEALTH

HEALTH ACT 1956 NOTICES

Council has issued no notices on the property under the provisions of the Health Act 1956.

NOISE CONTROL

Council has no record of having issued an abatement notice on the owner or occupant of the property for unreasonable noise under the provisions of section 322(1)(c) of the Resource Management Act 1991.

LIQUOR LICENSING AND HEALTH REGISTRATIONS

No district licensing authority or council has issued a liquor licence for these premises.

Contacts	Position	Phone
Environmental health matters	Environmental Health Officer	04 570 6666
Trade waste matters	Trade Waste Officer	04 570 6666

ROAD AND TRAFFIC

ENCROACHMENTS

Council records show there is no road reserve encroachment licence relating to the property.

PLANNED LONG TERM ROAD WORKS

The council's long-term community plan does not list any road projects in the immediate area of the property.

Council's Long Term Plan includes the potential construction of a new East – West connection across the Hutt Valley. There is a comprehensive investigation, design, consultation and consenting process to be navigated before the alignment is determined. It is only after this work that council can identify the areas and roading networks potentially impacted.

ROAD RESERVE GARDENS

1. Authorised Road Reserve Gardens

Where a property owner has obtained formal approval from Hutt City Council to install and maintain a garden within the road reserve (the land between the private property boundary and the formed edge of the roadway), the ongoing responsibility for maintaining the garden rests with the current property owner. This responsibility continues with any subsequent property owner(s) in the event of a change of ownership.

Approval is granted on the condition that the garden is maintained to a standard that is safe, tidy, and does not obstruct pedestrian or vehicle access, visibility, or infrastructure.

2. Unauthorised Road Reserve Gardens - where officer consider the unauthorised gardens may remain

Where a property owner has planted a garden within the road reserve without prior approval from Hutt City Council, the responsibility for ongoing maintenance remains with the property owner. This responsibility also passes to new owners if the property is sold.

Should future owners not wish to assume maintenance responsibilities, they are required to reinstate the road reserve area to grass or an approved standard at their own cost.

3. Clarification of Responsibility

Property owners are encouraged to contact the Transport Maintenance and Renewals Team at Hutt City Council to confirm whether the area in question is the responsibility of the Council or the adjoining landowner, and to discuss approval requirements or reinstatement processes if applicable.

For enquiries, please contact: contact@huttcity.govt.nz

4. Restoration of Road Reserve Gardens Following Underground Service Works

When underground services are installed or maintained, any road reserve areas of private or public gardens that are impacted by the works will be reinstated to grass only. This includes the removal or disturbance of existing garden beds, plants, mulch, decorative features, or other landscaping elements, which will not be restored to their original condition. Instead, affected areas will be reseeded or covered with turf to establish a uniform grass surface.

ISOLATION STRIPS

Council records do not show any isolation strips barring access to a legal road.

VEHICLE CROSSINGS

Council records show that vehicle crossing(s) to the property are properly located and meet council construction standards.

Contacts	Position	Phone
Road and traffic	Road and Traffic Asset Management Officer	04 570 6666

ARCHIVES

SEARCH METHODOLOGY

Council carries out searches of property-related files using the current street address, current and previous legal description (DP number) and any other search terms it can identify, such as owner or business names. Searches may exclude older files which have a greater likelihood of not recording the street addresses or legal descriptions.

In compiling your LIM document, the archives files may have been condensed to minimise the size of the document. If you want to view the complete, high resolution scan of the archive file it is available through our [website](#).

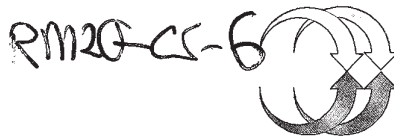
If you want to obtain a complete copy of an archive file, please contact the Information Management Team at the email address below.

ARCHIVE FILE REFERENCES

The Information Management Team has identified through their search of council archives that the following files may contain information about the property: ARCH51538 and ARCH51539 City Engineers.

Contacts	Email
Archive information	archives@huttcity.govt.nz

Pre-RMA Planning Documents



cc Nathan Billings

BARCLAY TRAFFIC PLANNING

1st Floor, 72 Queens Drive - P.O.Box 31531 - Lower Hutt
Phone: 04-939 0823 Fax: 04-939 3546 Email: barclay@barclaytraffic.co.nz
Website: www.barclaytraffic.co.nz



27 February 2006

Ms Helen Oram
Team Leader Resource Consents
Hutt City Council
Private Bag 31912
LOWER HUTT

Dear Ms Oram

NEW DWELLING AT 6 CASTLE CRESCENT

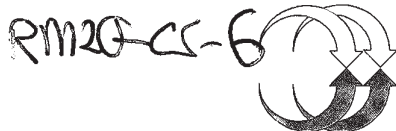
A new house is proposed for a site at 6 Castle Crescent, Stokes Valley. As shown on Nathan Billings Design Drawings 351/1-10. The ground slopes steeply down from the road edge, and it is proposed to erect a double garage close to the road boundary.

1. Two car parking spaces are proposed, as required by the District Plan.
2. The entry to the proposed garage is to range from 0.6 to 1.2 metres from the front boundary, less than the 5.0 metres required by the District Plan. Because of the terrain, full compliance with the rule appears to be impractical. In this case there is a space of approximately 3.0 metres between the garage and the footpath. This is insufficient for a car to stand without obstructing the footpath but enough to allow good visibility between pedestrians and cars reversing out of the garage. I believe the reduced setback can be accepted in this instance.
3. The site is on the outside of a curve, but an approximately 40 metre sight distance is available in either direction. Castle Crescent is a short cul-de-sac with low traffic volumes and generally low traffic speeds, and I have no concerns about safety.

Yours faithfully

Bill Barclay

c:\data\jobs\j055\108601.doc



cc Nathan Billings

BARCLAY TRAFFIC PLANNING

1st Floor, 72 Queens Drive - P.O.Box 31531 - Lower Hutt
Phone: 04-939 0823 Fax: 04-939 3546 Email: barclay@barclaytraffic.co.nz
Website: www.barclaytraffic.co.nz



27 February 2006

Ms Helen Oram
Team Leader Resource Consents
Hutt City Council
Private Bag 31912
LOWER HUTT

Dear Ms Oram

NEW DWELLING AT 6 CASTLE CRESCENT

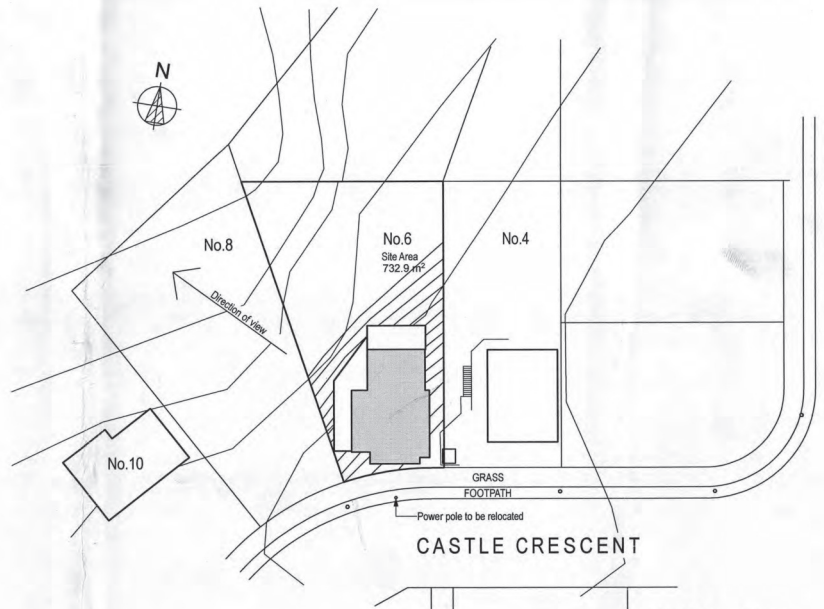
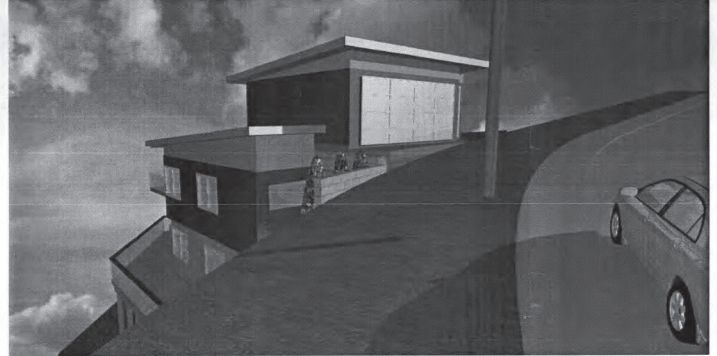
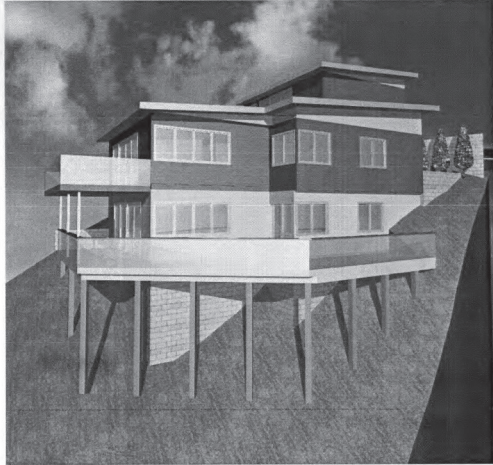
A new house is proposed for a site at 6 Castle Crescent, Stokes Valley. As shown on Nathan Billings Design Drawings 351/1-10. The ground slopes steeply down from the road edge, and it is proposed to erect a double garage close to the road boundary.

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3. The site is on the outside of a curve, but an approximately 40 metre sight distance is available in either direction. Castle Crescent is a short cul-de-sac with low traffic volumes and generally low traffic speeds, and I have no concerns about safety.

Yours faithfully

Bill Barclay

c:\data\jobs\j055\108601.doc



Locality Plan 1:500

NEW HOUSE

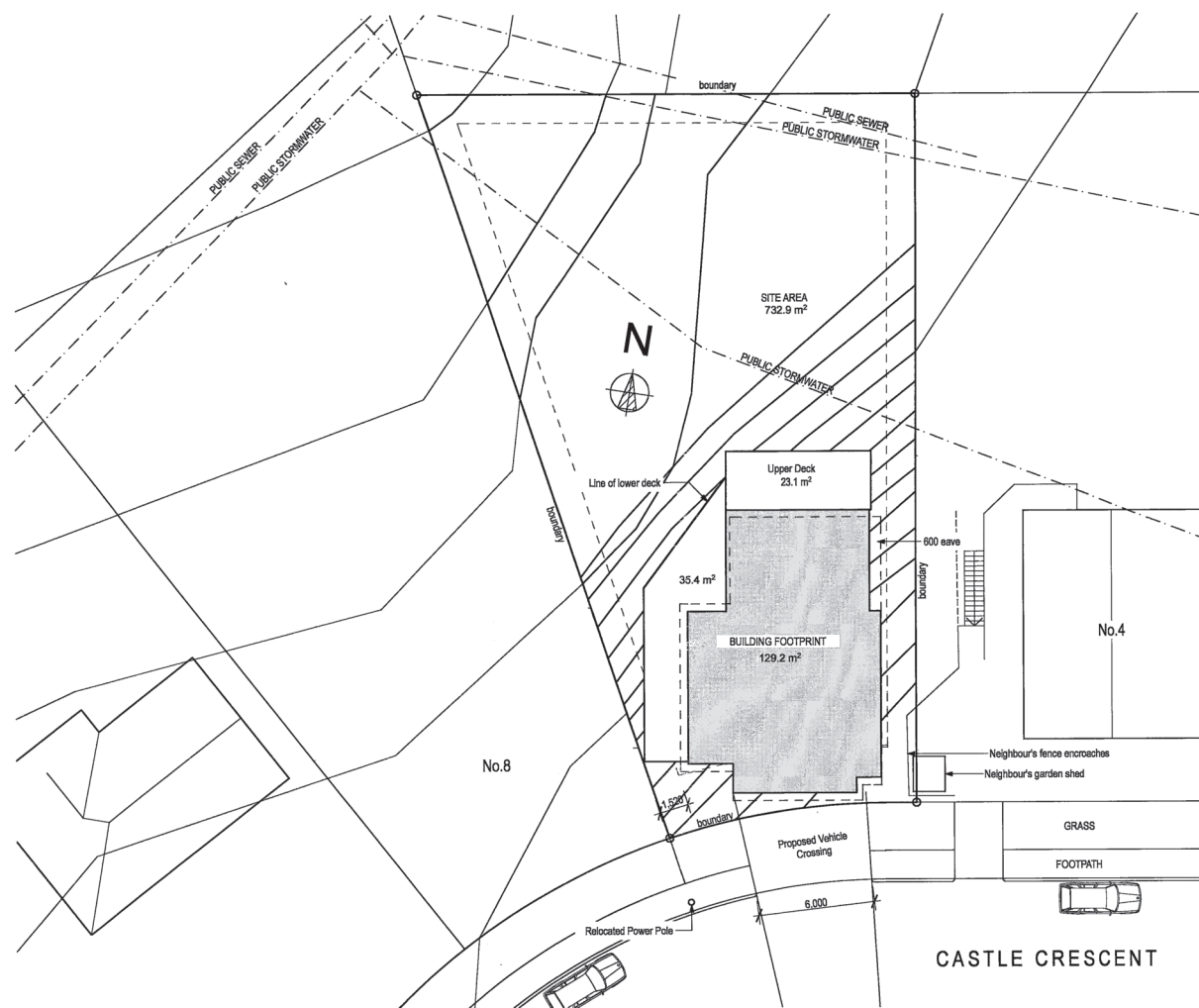
at 6 Castle Crescent, Stokes Valley

for Carl Jacobs

Nathan Billings Design (BArch)
at TAC (The Architect's Collaborative)
17/13 Leeds St, Te Aro, P.O. Box 9540, Wgtn
ph. 802 4839 fax. 802 4836 mobile 0274 821 391

Date 24/01/2008
Job No. 351
Revision 126

P.1



Site Area	733
Building Footprint	188
Coverage	25.6%

Site Plan 1:200

NEW HOUSE

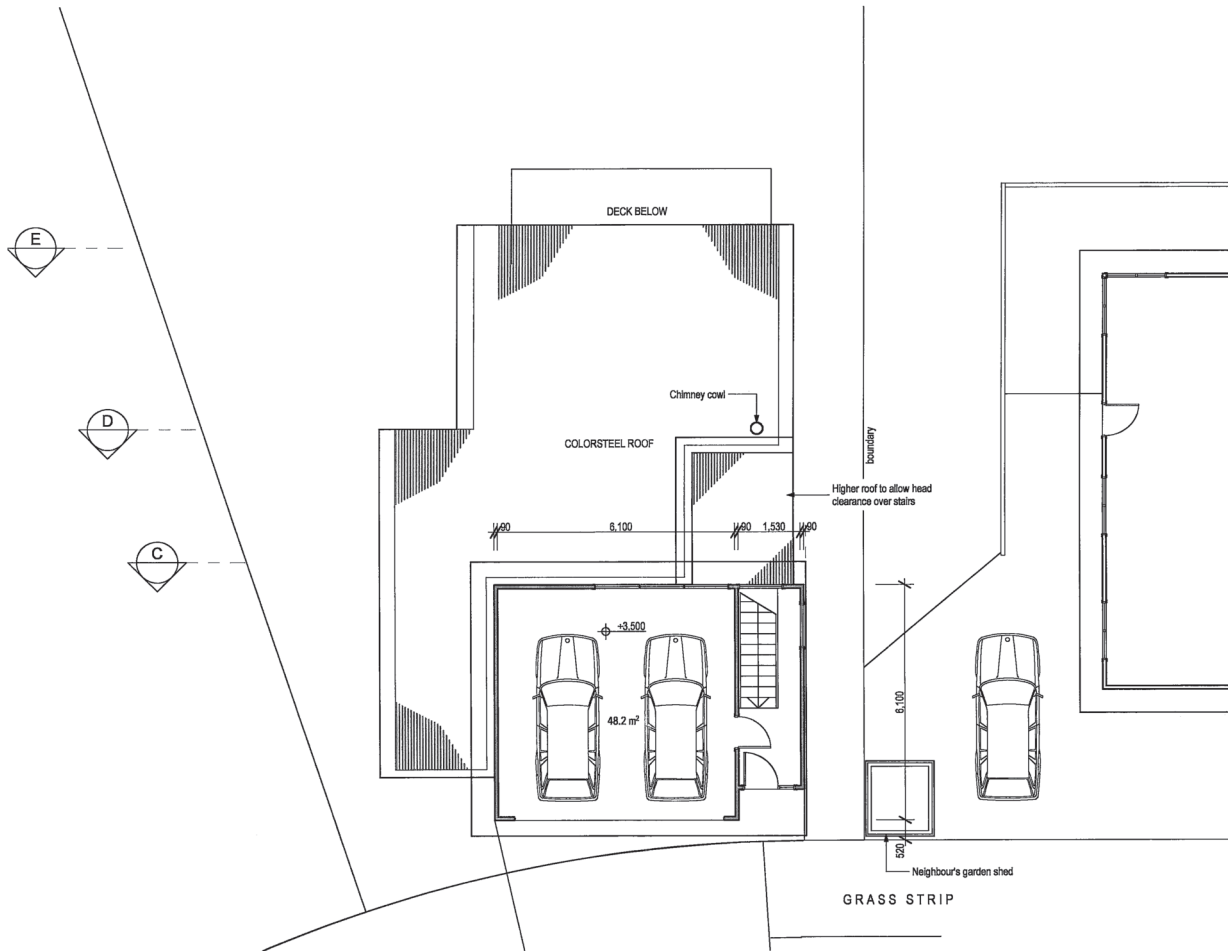
at 6 Castle Crescent, Stokes Valley

for Carl Jacobs

Nathan Billings Design (BArch)
at TAC (The Architect's Collaborative)
17/13 Leeds St, Te Aro, P.O. Box 9540, Wgtn
ph. 802 4838 fax. 802 4838 mobile 0274 821 381

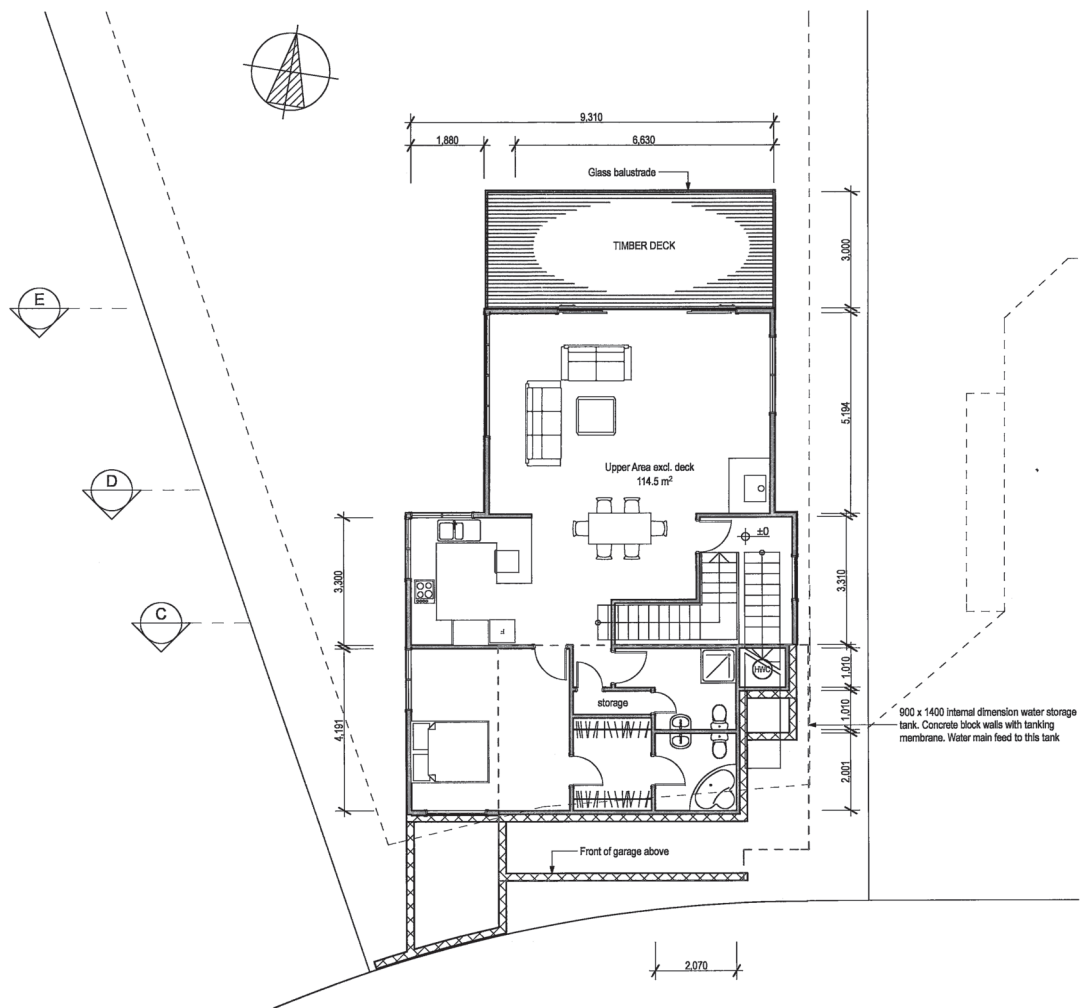
Date 24/01/2008
Job No. 351
Revision 127

P.2



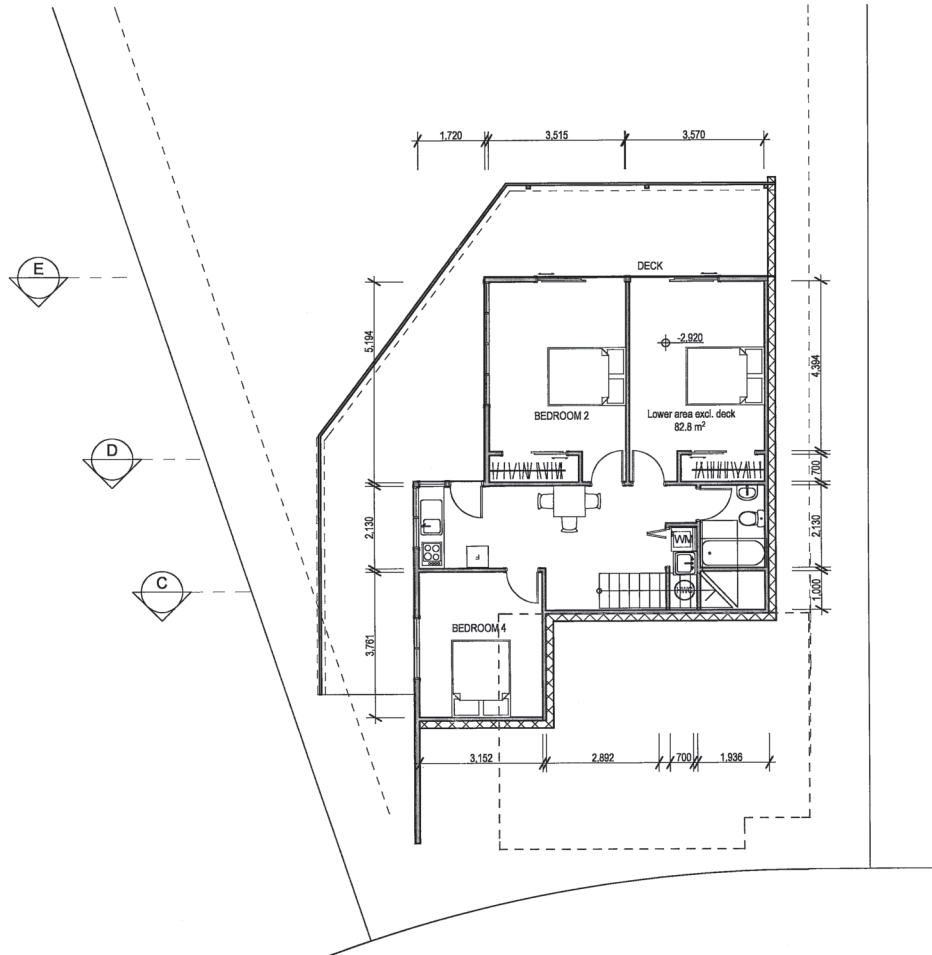
Upper Floor Plan 1 : 100

NEW HOUSE	at 6 Castle Crescent, Stokes Valley	for Carl Jacobs	Nathan Billings Design (BArch) at TAC (The Architect's Collaborative) 17/ 13 Leeds St, Te Aro. P.O. Box 9540, Wgtn ph. 802 4839 fax. 802 4836 mobile 0274 821 391	Date 24/01/2008 Job No. 351 Revision 128 P.3
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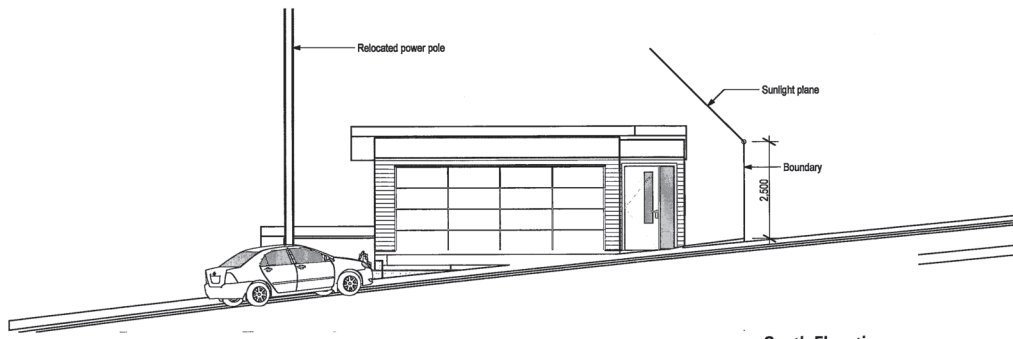
Mid Floor Plan 1:100

NEW HOUSE	at 6 Castle Crescent, Stokes Valley	for Carl Jacobs	Nathan Billings Design (BArch) at TAC (The Architect's Collaborative) 17/ 13 Leeds St, Te Aro. P.O. Box 9540, Wgtn ph. 802 4839 fax. 802 4836 mobile 0274 821 381	Date 24/01/2008 Job No. 351 Revision 129 <div style="float: right; font-size: 2em; font-weight: bold;">P.4</div>
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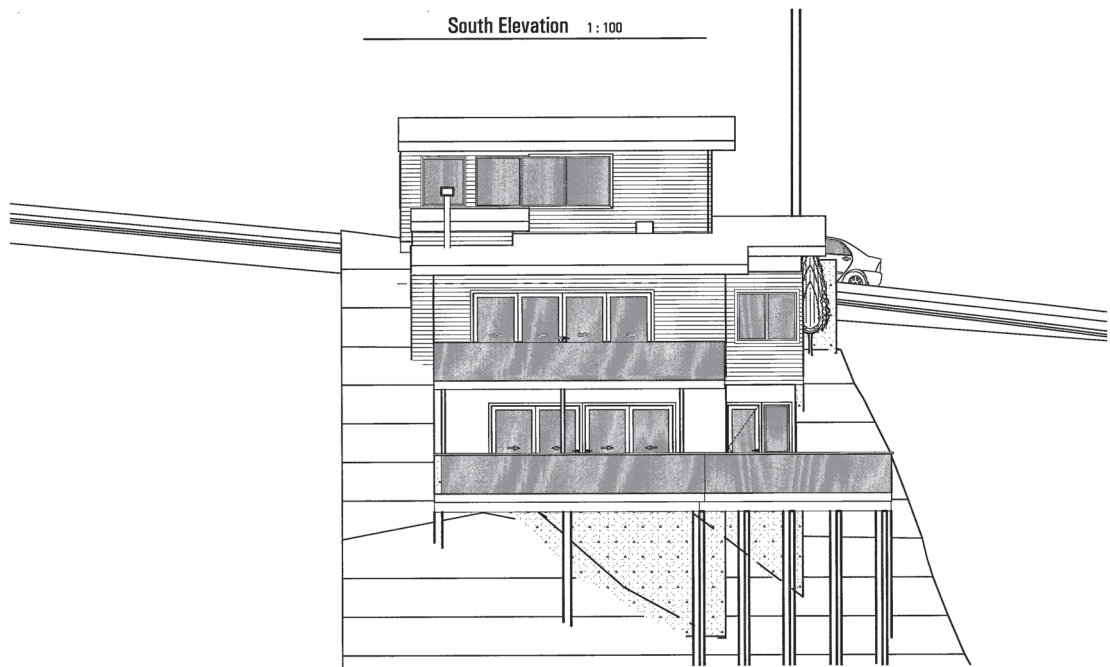


Lower Floor Plan 1:100

NEW HOUSE	at 6 Castle Crescent, Stokes Valley	for Carl Jacobs	Nathan Billings Design (BArch) at TAC (The Architect's Collaborative) 17/ 13 Leeds St, Te Aro. P.O. Box 9540, Wgtn ph. 802 4839 fax. 802 4838 mobile 0274 821 391	Date 24/01/2008 Job No. 351 Revision 130	P.5
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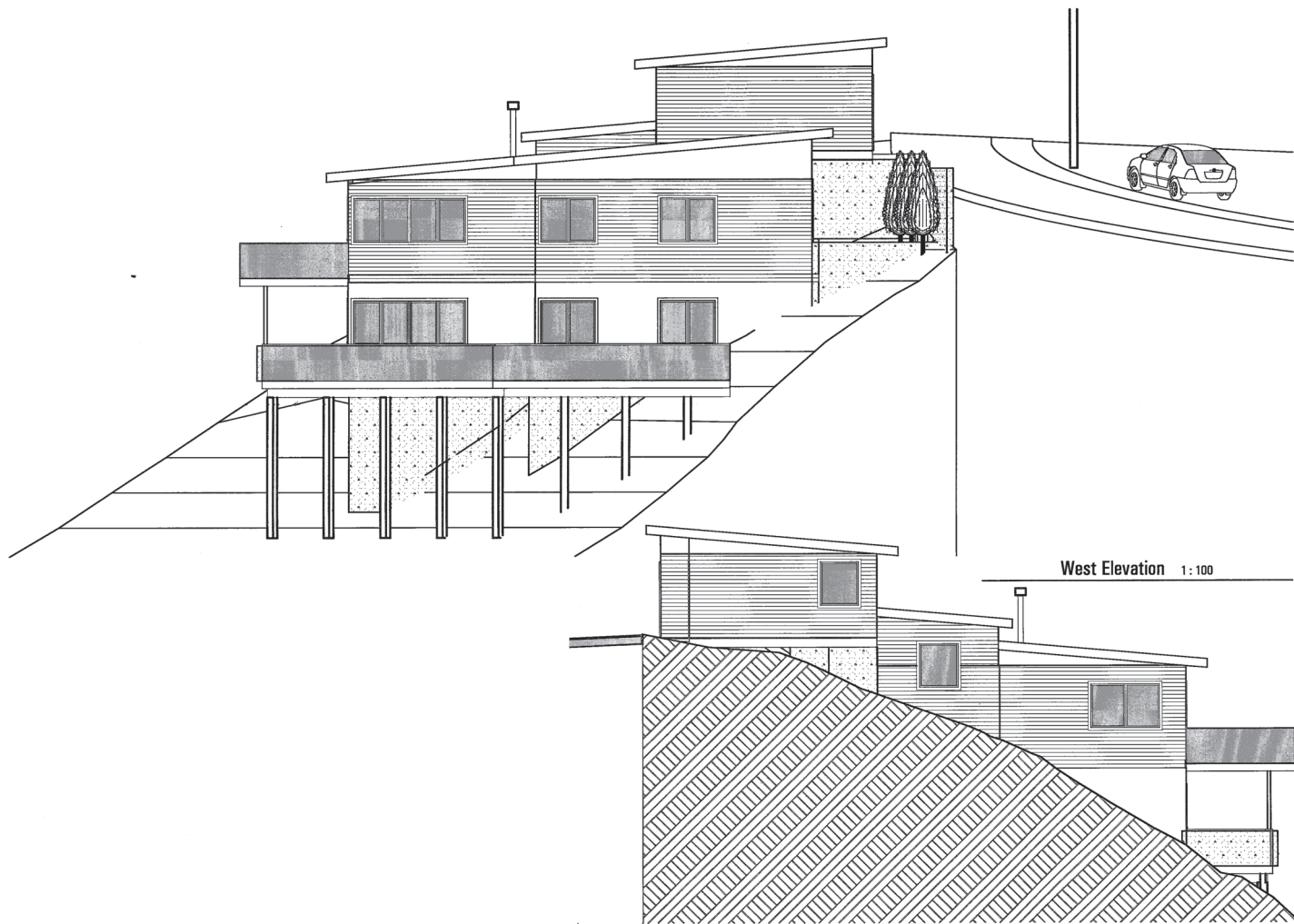


South Elevation 1:100



North Elevation 1:100

NEW HOUSE	at 6 Castle Crescent, Stokes Valley	for Carl Jacobs	Nathan Billings Design (BArch) at TAC (The Architect's Collaborative) 17/13 Leeds St, Te Aro. P.O. Box 9640, Wgtn ph. 802 4839 fax. 802 4838 mobile 0274 821 391	Date 24/01/2008 Job No. 361 Revision 131	P.6
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West Elevation 1:100

East Elevation 1:100

NEW HOUSE

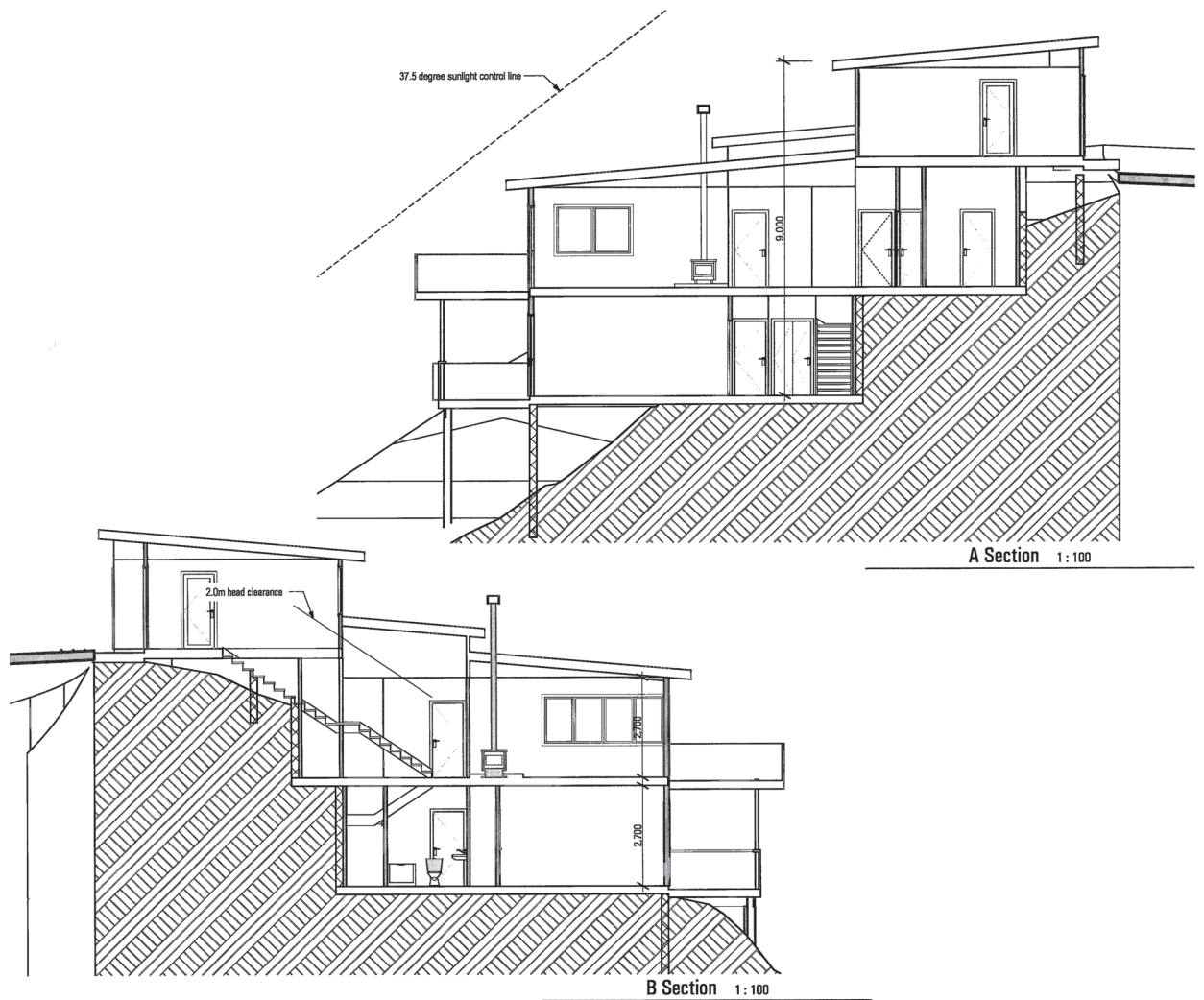
at 6 Castle Crescent, Stokes Valley

for Carl Jacobs

Nathan Billings Design (BArch)
at TAC (The Architect's Collaborative)
17/13 Leads St, Te Aro, P.O. Box 9540, Wgtn
ph. 802 4839 fax. 802 4836 mobile 0274 821 391

Date 24/01/2008
Job No. 351
Revision 132

P.7



NEW HOUSE

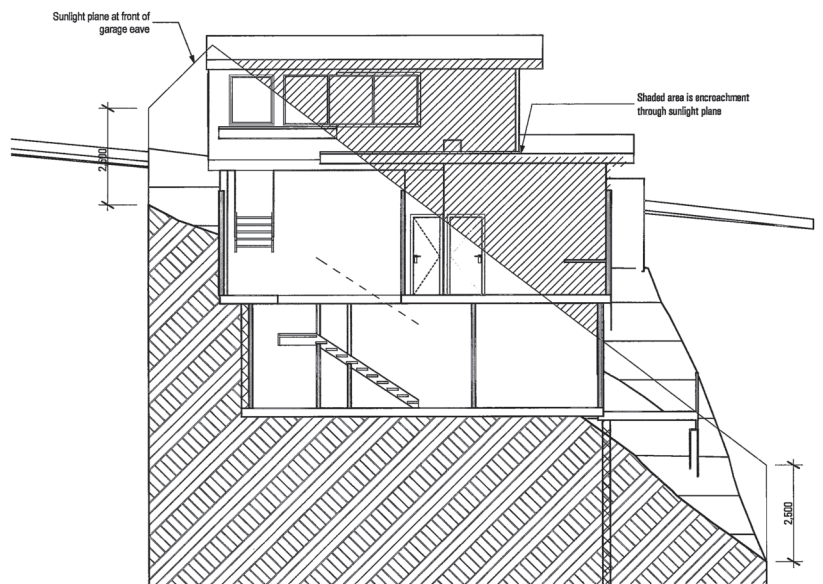
at 6 Castle Crescent, Stokes Valley

for Carl Jacobs

Nathan Billings Design (BArch)
at TAC (The Architect's Collaborative)
17/13 Leeds St, Te Aro, P.O. Box 9540, Wgtn
ph. 802 4839 fax. 802 4836 mobile 0274 821 381

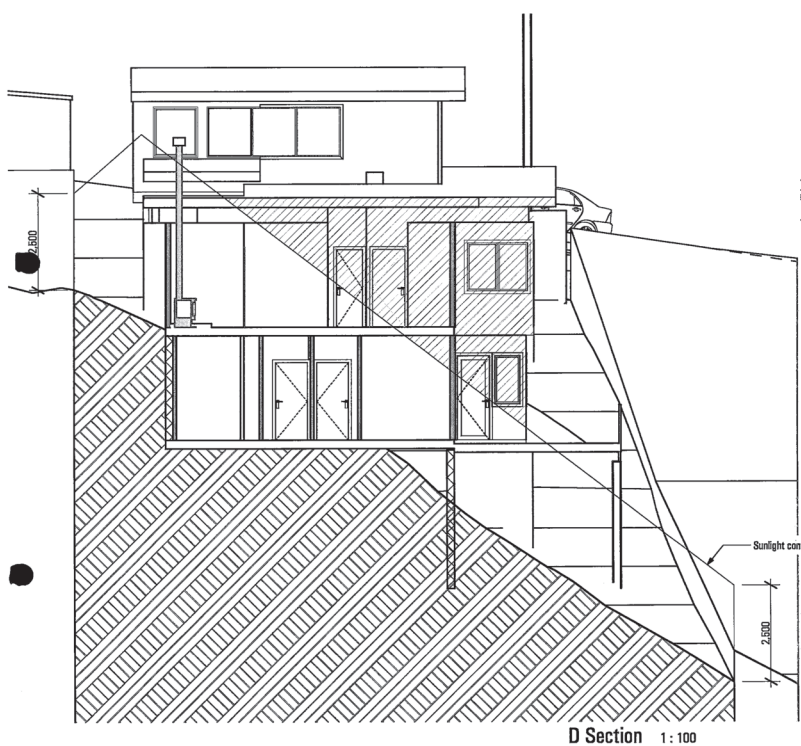
Date 24/01/2008
Job No. 351
Revision 133

P.8

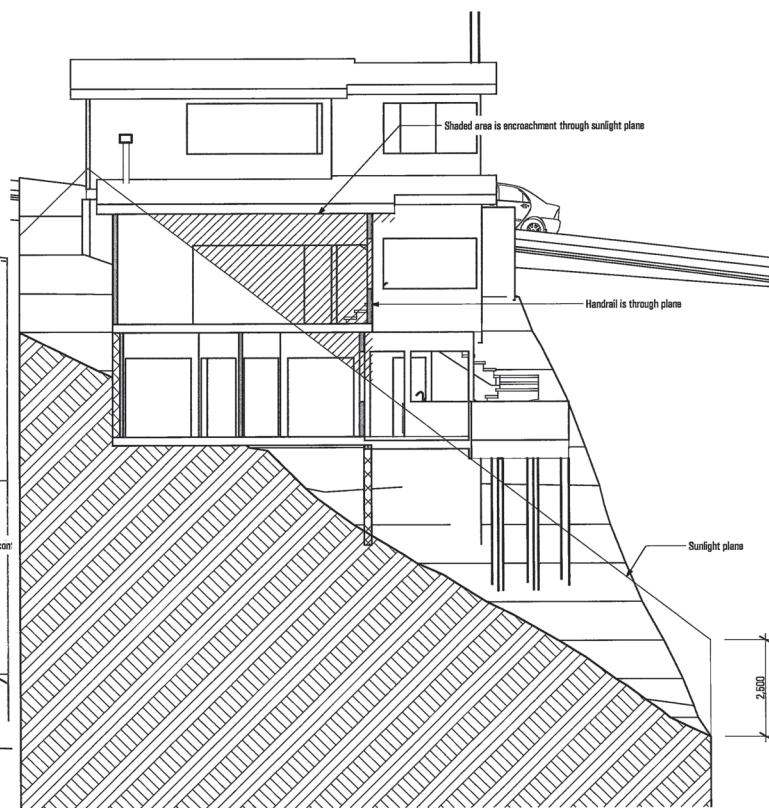


C Section 1:100

NEW HOUSE	at 6 Castle Crescent, Stokes Valley	for Carl Jacobs	<p>Nathan Billings Design (BArch) at TAC (The Architect's Collaborative) 17/13 Leeds St, Te Aro, P.O. Box 9540, Wgtn ph. 802 4839 fax. 802 4838 mobile 0274 821 391</p>	<p>Date 24/01/2008 Job No. 351 Revision 134</p>	P.9
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D Section 1:100



E Section 1:100

NEW HOUSE	at 6 Castle Crescent, Stokes Valley	for Carl Jacobs	Nathan Billings Design (BArch) at TAC (The Architect's Collaborative) 17/13 Leeds St, Te Aro. P.O. Box 9540, Wgtn ph. 802 4838 fax. 802 4838 mobile 0274 821 391	Date 24/01/2008 Job No. 361 Revision 135 P.10
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CITY ENGINEER

23rd May, 1961.

Subdivisional Schemes in Stokes Valley -
Application for Bond in respect of
Outstanding Works

I attach hereto copies of my letters, of even date, addressed to the City Solicitor and to Valley Development Ltd. You will note that the Company has been requested to get in touch with you again when sewerage installation has reached the appropriate stage whereby Council can resume its consideration of the amount of the Bond to cover outstanding works.

I also attach a copy of the City Solicitor's letter of 16th May 1961. With regard to the third paragraph thereof, please be good enough to advise me whether the necessary approval of the Ministry of Works has been received, to your satisfaction, with regard to the laying-off of the underwidth street at a gradient of one in seven.


C.W. TURNER
TOWN CLERK

c.c. City Engineer
Town Planner

/acu

332/7/683

I.J.M.Dunn

16th December, 1969

Messrs. J. Holmes Miller & Associates,
Registered Surveyors,
P.O.Box 3482,
WELLINGTON.

Dear Sirs,

re: B.A.Henley & Co. Manor View Subdivision
Stage III

I refer to your letter dated 13th November, 1969, submitting revised Scheme of Subdivision in respect of Stage III to cover revised boundary adjustment.

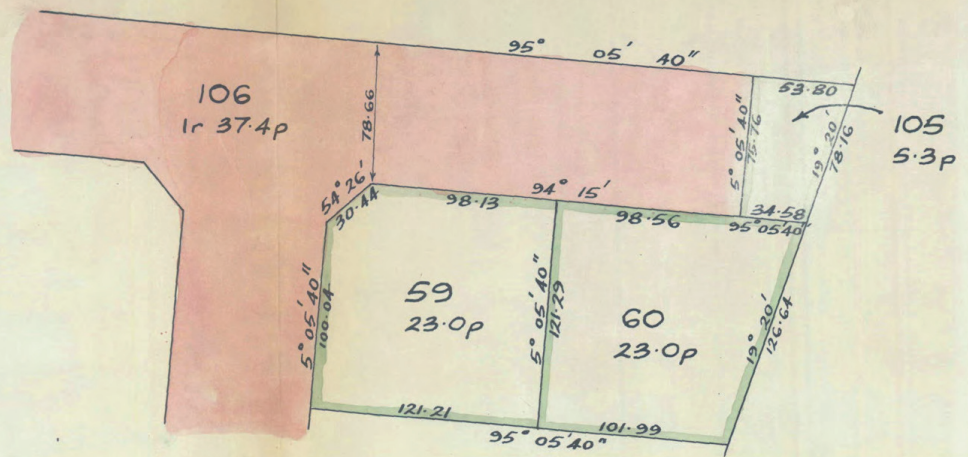
In reply I wish to advise that my Council at its meeting on 15th December, 1969, resolved that favourable consideration be given to this application.

It will be in order for you to forward the principal plan, together with a photostat copy thereof, for execution under Council's Seal, accompanied by Council's usual sealing fee of \$5.00.

Although it is unlikely that Council will require any modification to the application you will appreciate that it must reserve the right to give its final approval only after the appropriate subdivisional plan has been submitted to Council for checking and subsequent sealing.

Yours faithfully,

E. C. Perry
E.C. Perry,
TOWN CLERK.



AMENDED SCHEME PLAN OF STAGE III MANOR VIEW SUBDN.

Scale : 60 lks to an inch. J.H. Miller & Assoc's Reg'd Surveyors

138 Nov. 1969.

Reference:

Prior T. 822/46.

Transfer No. 573744.

N/C. Order No.



Land and Deeds 69

No. B3/884

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate dated the 21st day of October one thousand nine hundred and sixty-three under the seal of the District Land Registrar of the Land Registration District of WELLINGTON

WITNESSETH that COMMERCIAL DEVELOPMENTS LIMITED a duly incorporated company having its registered office at Lower Hutt

is seised of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 2 ROADS 30.11 PERCHES more or less situate in the City of Lower Hutt being part of Section 65 Hutt District and being also Lot 16 on Deposited Plan 18327.



[Signature]
Assistant Land Registrar.

No. 629526 Conditions of Consent by the Lower Hutt City Council to the creating of rights of way over part of Lots 59 and 58 Plant 25914 appurtenant to the said Lots. - 4.5.1965 at 1.44p.m.

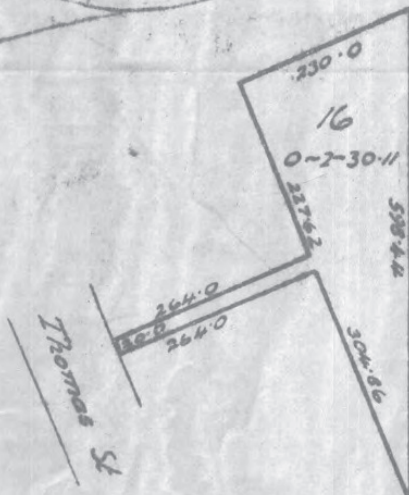
N.C.O. 629527 } Cancelled and D.T. D2/507
4.5.1965 } issued.

[Signature]
A.L.R.

[Signature]
A.L.R.



DUPLICATE DESTROYED



No. B3/884

Scale: 1 inch = 2 chains.

Reference:
Proc O/T. Bl/1244
Transfer No. 602079
N/C. Order No.

Land and Deeds 60

No. C3/1524

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate is made on the 10th day of August 1964 one thousand nine hundred and sixty-four under the seal of the District Land Registrar of the Land Registration District of WELLINGTON

WITNESSETH that COMMERCIAL DEVELOPMENT LIMITED at Gisborne —

is seized of an estate in fee-simple (subject to such covenants, restrictions, encumbrances, lease, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 2 ACRES 3 ROODES 12.9 PERCHES more or less situate in the City of Lower Hutt being part Sections 65 and 195 Hutt District and being also Lot 1 on Plan 25801 —

Appurtenant hereto are the rights of way over the parts of Lot 27 (O.T. Bl/45) and 28 (O.T. 964/74) shown coloured blue and yellow respectively on Plan 22077 created by Transfers 578314 and 493342 respectively. (Subject to Section 351 B (a) Municipal Corporations Act 1954).

No. 470194 Conditions of Consent as varied by No. 529065 to the granting or reserving of the above mentioned rights of way.

Caveat 615411 against part by Clive Albert Lindsay and Marie June Lindsay - 8.12.1964 at 2.57 p.m.

Pursuant to Section 352(3) Municipal Corporations Act 1954 Lot 61 Plan 25914 is vested as service lane.

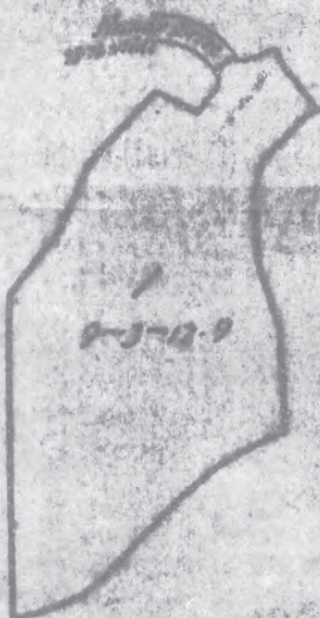
Pursuant to Section 352(3) Municipal Corporations Act 1954 Lot 62 Plan 25914 is vested as street.

Caveat 62570 against part by Robert Gibson 1.1.1965 at 2.26 p.m.

SEARCHED

15 MAY 1968

No. 628687 Evidence that the correct name of the registered proprietor is Commercial Developments Limited - 27.4.1968 at 2.50 p.m.



Scale: 1 inch = 3 chains

Deon Ranner

222
7/683

SWAN, DAVIES, MCKAY & CO

BARRISTERS AND SOLICITORS

CLERK: WILLIAM DAVIES
MR LLOYD MCKAY, B.A.
RICHARD ALEXANDER HERON, LL.B.
PAUL FRANKLIN BARNES, LL.B.
WILLIAM GEORGE THURSTON, LL.B.

TELEPHONE 45-190 (7 LINES)
C.P.O. BOX 236
CABLE & TELEGRAPHIC ADDRESS:
"GATESHEAD"

LOWER HUTT CITY COUNCIL
RECEIVED
8 MAY 1968
In reply, please refer to
M. Heron
ACK. ANSD

ONE FLOOR.
CHALLENGER HOUSE.
108-109 THE TERRACE.
WELLINGTON, C.I., N.Z.

LONDON QUAY ACCESS
NOT SHOWN ON MAP OF THE TOWN

7th May, 1968.

The Town Clerk,
Lower Hutt City Council,
Private Bag,
LOWER HUTT.

Dear Sir,

Re: B.A. Henley & Co. Ltd. Plans Nos. 29033
and 29014

Further to your letter of the 2nd May, we now wish to advise that a formal copy of your Resolution approving the surrender of the right of way will be sufficient to meet the Land Transfer Office requirements. Accordingly would you please instruct your Solicitors to prepare a certified copy of the Resolution approving the surrender so the same may be handed to the Land Transfer Office.

approved by Council on 25/3/68 file 332/7/683

Re: B.A. Henley & Co. Ltd. Plans Nos. 29204
and 29205

With regard to the above plans which are now on requisition we would be pleased if you could deal with two matters -

1. We also require a surrender of the rights of way which are still appurtenant to this land and are the same rights of way referred to in our correspondence previously. The same circumstances apply and a copy of Council's Resolution approving the surrender is required.
2. In the re-subdivision of Lots 4 and 5 D.P. 25914 the right of way serving Lots 4 and 5 is no longer required. Lot 4 will have a separate right of way already approved over Lot 1 and Lot 5 will have its own right of way and not share as previously.

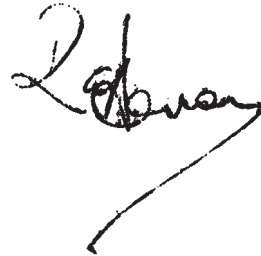
Cont'd

Pursuant to Section 10 of the Municipal Corporations Amendment Act 1961 the Council may revoke any condition on any specified easement shown on the plan being duly granted or reserved. We formally ask for the Council to resolve that the easement of right of way formerly serving Lots 4 and 5 be revoked and a copy of the Resolution supplied to us. You will be aware that you have already approved this plan which sets out on the face of it this re-arrangement.

The matter is urgently required and we would be pleased if you could give it favourable consideration at the next meeting of Council.

Yours faithfully,
SWAN, DAVIES, MCKAY & CO.

Per:



C.T.		
C.F.	✓	
D.P.R.		

CSP ✓
LS ✓
do ✓

- 1st.

ARCH 51538

Blele
c.c. City Engineer,
S.S.E. (General).

16th December, 1963

c/mm
29540

Messrs. Marshall, Page, Gibson & Sheat,
Barristers and Solicitors,
P.O. Box 10,
LOWER HUTT.

46/23/1

Dear Sirs,

re: G.M. Walter - 35 Thomas Street

I acknowledge receipt of your letter dated 25th November, 1963 and in this regard would refer you to my letter dated 29th November, 1963.

My previous letter dealt with the compaction of the soil in the earthworks of the subdivision behind Mr. Walter's property, and at this stage I can only reaffirm that my Council will do everything possible to ensure that the standard of the developmental work complies with the Council's normal requirements.

The Agreement dated 5th June, 1963 referred to in your letter concerns the land on the western side of the Eastern Hutt Road. This area is included in the one title with the hill land being developed by Commercial Development Limited and hence any caveat affecting a portion of the land is tied to the whole block. The statement that "the owners of the land agreed to transfer all the land to the Lower Hutt City Council" applies in the agreement only to portions of the land between Eastern Hutt Road and the River.

It is clear therefore, that the Council's responsibility in this matter is merely to see that its subdivisional standards are maintained.

Yours faithfully,

E. C. Perry

(E.C. Perry)
TOWN CLERK

28 Dudley St.
Lower Hutt.
9th Dec. 63.

The City Engineer.
Lower Hutt City Council,
Lower Hutt.

LOWER HUTT CITY COUNCIL CITY ENGINEER'S OFFICE.	
11 DEC 1963	
FILE No.	46-23-1
NAME	W
SUBJECT	-
LOCATION	J

Dear Sir,

re Completion of roading John St. Stokes Valley
for Valley Developments. Plans Etc.

We now wish to report that the work on the above subdivision is complete. This follows a recent inspection on the ground by your staff when all the uncompleted work was agreed upon and listed.

We also attach finished service plans and I would mention that the whole subdivision was relevelled and all the water fittings measured in by accurate stadia survey. The water fittings have been well marked on the ground and can be accurately scaled off these plans.

Finally please find attached the following accounts for payment now.

J.H. Walsh. drainlayer.

£ S D
208 6. 2.

Survey account W.S. Wright. based upon total cost of £4681.6.2½ at 6%. that is £280.
less progress payment of £200.

80.0. 0.

46/23/1 11/12/63

CE.	✓	✓
DEP. CE.	✓	✓
S.S.E. GENERAL	✓	✓
S.S.E. STREETS	✓	✓
S.S.E. DRAINAGE	✓	✓
S.S.E. DESIGN		
S.S.E. WATER	✓	✓
STAFF ENG. WATER		

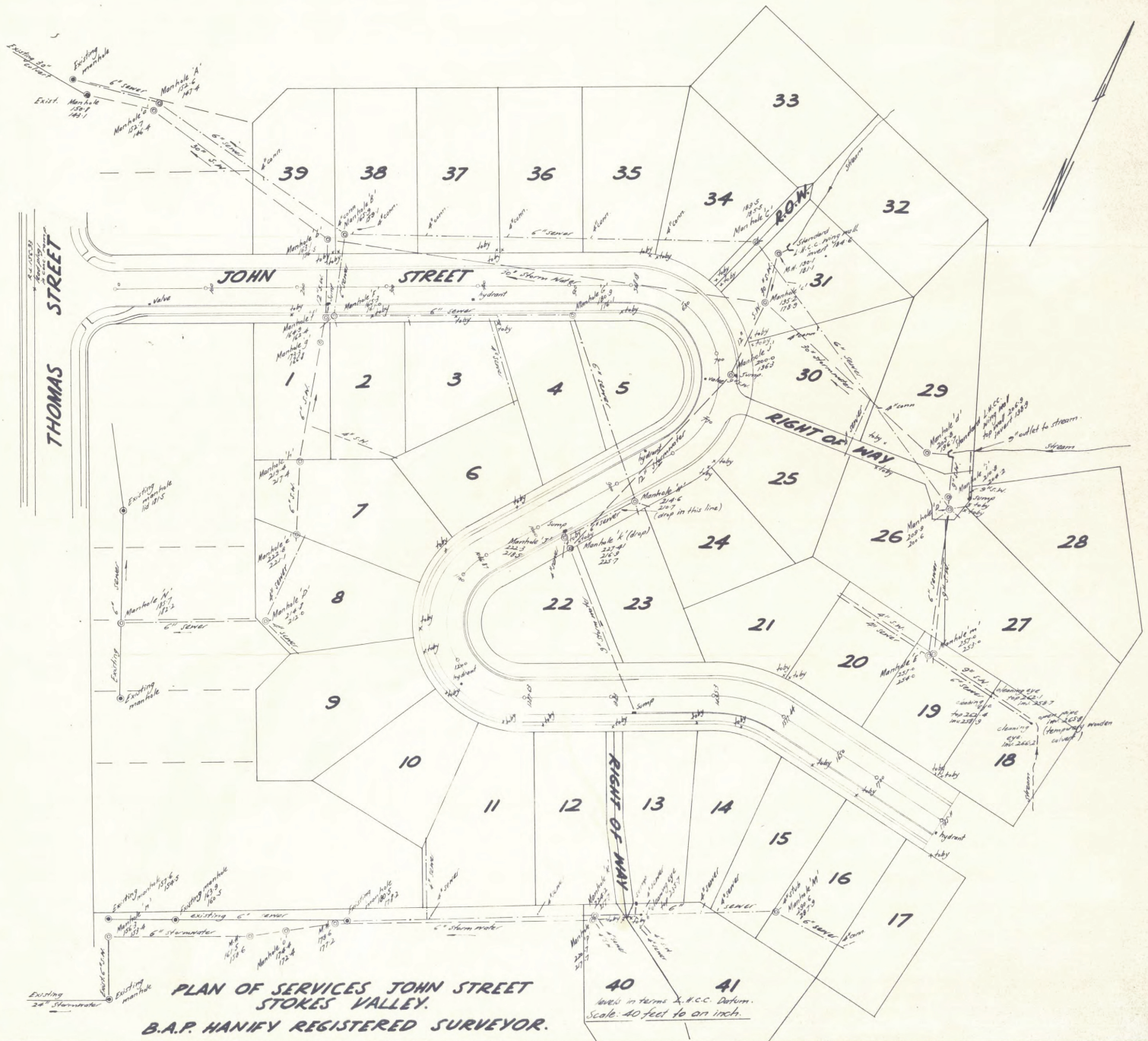
Yours faithfully,

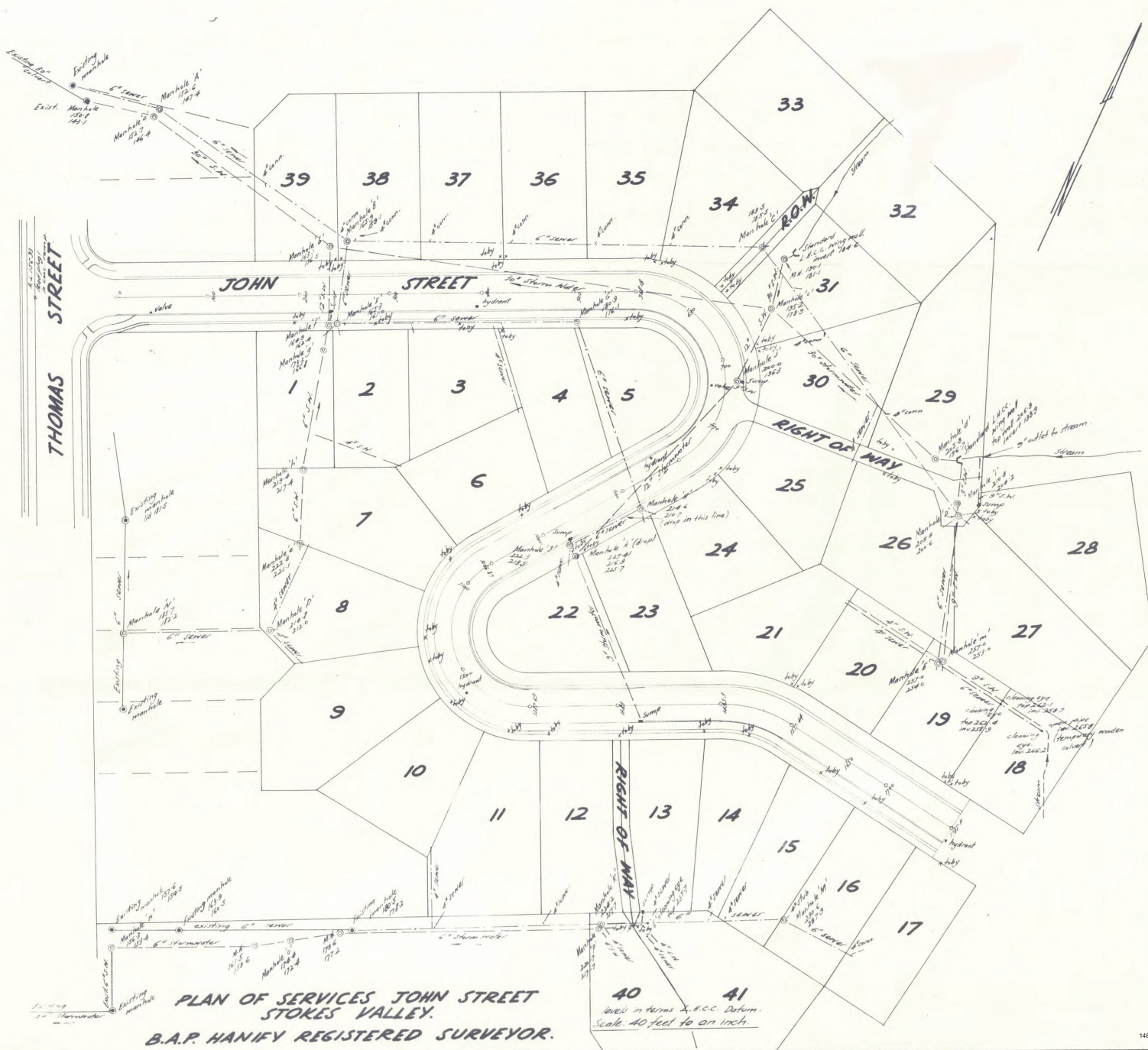
W. S. Wright

3-1-64,

The Mayor

any comments better? Too Right!
Re written measurements as built
account attached.





ARCH 51539



PROPOSED SUBDIVISION OF LOTS 20, 27 & 28, D.P. 29039, LOTS 53-55,
86-89 & 102, D.P. 31391 & Pts LOTS 1 & 2, D.P. 25869.
Scale - 40 ft. to an inch.

NOTE:
1. AREAS & DIMENSIONS SUBJECT TO FINAL SURVEY.
2. CONTOUR SURVEY TIES ——— BASED ON
FIELD SURVEY.
3. CONTOUR SURVEY TIES - - - - - BASED ON
AERIAL SURVEY.

GANDAR ASSOCIATES
Registered Engineers & Surveyors
Nathaniel Building Grey Street, Wellington.
Telephone 41880 & 46044 P.O. Box 9037
(P.O. Box 100000 NOT RECORDED)

S-70/86

✓ 46/23/1
JLA/GLL

16th December, 1968

Andersen

Mr. J. Holmes Miller,
Registered Surveyor,
Paragon Chambers,
Cable Car Lane,
WELLINGTON.

Dear Sir,

KINGSLEY STREET SUBDIVISION - STAGE II

I wish to confirm your recent telephone conversation with Mr. Andersen of my staff concerning the completion of this subdivision.

The only outstanding requirement to the completion of this stage is the excavation and soiling of the berms.

This requires any excavation necessary to provide 3" of soil and the placing and spreading of the topsoil required. You will appreciate that preparation and sowing of the berms at this stage is wasted effort because of damage by builders carriers etc., and because they will not be mown until the owners are in residence and will personally care for the individual area fronting their respective sections.

I would therefore ask that after completing the above work, payment of 30 cents per square yard to Council should be made, who will then undertake all future work required to prepare and sow berms as the residents require them.

Yours faithfully,

ANC

CITY ENGINEER.

Per: *27*

C.C. HIS WORSHIP THE MAYOR

2nd December, 1968

43/23
ANG/jvm: 46/23/1
Grigg

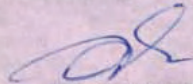
Mr R.E. Dalton,
1 Manor Drive,
STOKES VALLEY

Dear Sir,

Further to your interview on 29th November with His Worship the Mayor and myself, concerning the restoration work you have carried out to the embankment at your residence, I advise that I have given consideration to the necessity or otherwise for the Council to have done any of the work.

It is difficult to assess at this stage if there was any obligation on the Council as it is possible that some stabilising work would have been done. Under the circumstances, if you should wish to forward an account to me, claiming payment in the sum of ten dollars for stabilising work you did on your bank, I will be prepared to authorise payment for the same.

Yours faithfully,



CITY ENGINEER

Nolan & Skeet

BALLETTERS, SOLICITORS
AND
NOTARIES PUBLIC

R. F. GAMBRILL
J. G. NOLAN, NOTARY PUBLIC
R. E. GAMBRILL
T. M. THORP, LL.B.
P. F. ROBINSON, LL.M.
J. C. EGAN, LL.B.

CE.	
DEP CE.	✓
ST. WORKS ENGINEER	
WATERWORKS ENGINEER	
DRAINAGE ENGINEER	✓
DESIGN ENGINEER	
ST. DESIGN & TRAFFIC ENGINEER	✓
TOWN PLANNER	

P.O. Box 721
TELEPHONE - 6722

WRITING PLEASE QUOTE
OUR REFERENCE: TMT/CME
IF CALLING OR TELEPHONING
PLEASE ASK FOR:

Mr. Thorp

46 Childers Road,
Gisborne, N.Z.

8th November, 1968.

The Engineer,
Lower Hutt City Corporation,
Private Bag,
LOWER HUTT.

Dear Sir,

Attention Mr. Sissons

B.A. Henley & Co. Limited, Manor View
Subdivision

LOWER HUTT CITY COUNCIL CITY ENGINEER'S OFFICE.	
12 NOV 1968	
FILE NO.	46-23-1
NAME	N
SUBJECT	S
LOCATION	SV

During the course of the discussion between the writer and Mr. J.R. Hair (Managing Director of B.A. Henley & Co. Limited) for the owners and Messrs. Anderson and Maxwell of your office, we mentioned that our Consulting Engineer Mr. J.H. Miller had sent to us a copy of a letter written by him to you on the 1st November concerning your Corporation's share of the costs of the private way serving Lots 4 to 8, and stating that in Mr. Miller's opinion the Corporation should pay our client company a sum of \$1270.23.

We advised Mr. Anderson that we had intended to review this matter with Mr. Miller, as it seems plain to us that he has overlooked bringing into charge certain items, the most obvious being a charge of \$200 for underground power installation, paid by our client to the Lower Hutt Power Board.

We asked that the Council disregard Mr. Miller's letter and let us have sufficient time to have this apportionment re-calculated and a further claim presented. Mr. Anderson suggested that since Mr. Miller is away overseas and may not be back for another month, we should write formally notifying you that this claim is not approved by our client company and is withdrawn.

In concluding, may we record our gratitude to Mr. Anderson and Mr. Maxwell for the co-operative manner in which they approached the settlement of the various matters outstanding on the whole Stage II subdivision.

Yours faithfully,

Nolan & Skeet

COMMUNITY SERVICES

LOCAL ELECTORAL AREA

The property is in the Northern Ward.

RUBBISH AND RECYCLING

Thursday is the rubbish collection day for the property.

Every residential property in Lower Hutt has been provided with a red rubbish bin, a yellow recycling bin and blue glass crate. Households can also opt into receiving a green garden waste bin. Please visit our website for more information. If you have any enquiries, please call 04 570 6666 or email binchanges@huttcity.govt.nz.

Find out more about our bins, and what goes into them, on our website [Too Good to Waste](#). Hutt City Council and councils in the Greater Wellington Region have partnered on a campaign to help support communities to reduce their waste. Please visit our joint council website and learn how to think differently about waste – from purchase, to storage and transport, to reuse and repurpose so that we can work towards living lives that are waste free.

POLICE

Phone 111 for emergencies or 105 for non-emergencies.

Lower Hutt Police (phone 04 560 2600) can connect callers to their local community constable, where available. For more information on local police, please click [here](#).

EXPLORE LOWER HUTT

This property is in the Hutt Valley, with forested mountains, river valleys, rugged coastline and natural surrounds resulting in plenty of options to explore. Wander to the highest waterfall, go midnight kiwi listening and connect with history. Here are the roots of New Zealand's first European settlement where they were welcomed by Te Āti Awa, the place you now call home. For more ideas on how to spend your weekends by attending events or uncovering your big backyard, head to <https://www.wellingtonnz.com/visit/hutt-valley>

REPORT A PROBLEM

If you've spotted any issues or problems with any of council's services, tell us about it using our Report a Problem [portal](#).

COMMUNITY SUPPORT

Council supports communities by providing advice, training and resources, and places for community groups to gather. We also work with others to make our communities safe. Find out how [here](#).

Contact Us

Phone	04 570 6666 or 0800 HUTT CITY
Calling from overseas	<u>0064 570 6666</u>
E-mail the LIM team	<u>Lim.reports@huttcity.govt.nz</u>
Feedback survey for the LIM team	<u>www.surveymonkey.com/r/LIMSURV</u>
E-mail Council	<u>contact@huttcity.govt.nz</u>
Website	<u>www.huttcity.govt.nz</u>
Report a Problem	<u>https://maps.huttcity.govt.nz/RAP/viewer/</u>
Physical address	Hutt City Council 30 Laings Road Lower Hutt 5010
Office hours	Weekdays 8am to 5pm Not open public holidays
Postal address	Hutt City Council Private Bag 31 912 Lower Hutt 5040
Facebook	<u>www.facebook.com/huttcitycouncil</u>
Twitter	<u>www.twitter.com/huttcitycouncil</u>